



CITY OF GREENACRES, FLORIDA

AGENDA

City Council Meeting

Monday, January 22, 2018 – 7:00 p.m.

City Hall Council Chambers
5800 Melaleuca Lane

Mayor and City Council

Joel Flores, Mayor
Paula Bousquet, Deputy Mayor

John Tharp, Council Member	District I
Peter A. Noble, Council Member	District II
Judith Dugo, Council Member	District III
Anderson Thelusme, Council Member	District IV

Administration

Andrea McCue, City Manager
James Stokes, City Attorney
Joanna Cunningham, City Clerk

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Attention All Lobbyists: Palm Beach County Code of Ordinances, Article VIII, entitled "Lobbyist Registration" requires the registration of all lobbyists prior to engaging in any lobbying activity with the City Council, any City Board or Committee, or any employee as defined in the aforementioned Palm Beach County Ordinance. Copies of the Palm Beach County Ordinance are available upon request in the City Clerk's Office.

Web Site: <http://www.greenacresfl.gov>

Agenda
City Council Meeting
City Hall Council Chambers
5800 Melaleuca Lane
Monday, January 22, 2018 - 7:00 p.m.

Notice: Any person requesting the appeal of a decision of the City Council will require a verbatim record of the proceedings and for that purpose will need to ensure that such verbatim record is made. Pursuant to F.S. 286.0105, the record must include the testimony and evidence upon which the appeal is to be based. The City of Greenacres does not prepare or provide such verbatim record.

1. **Call To Order and Roll Call.**
2. **Pledge of Allegiance to the Flag.**
3. **Comments From the Public for Agenda Items Only.**
4. **Agenda Approval.**
 - A. Additions, deletions, or substitutions to the agenda.
 - B. Motion to approve and adopt entire agenda as set.
5. **Special Business**
 - A. **Presentation:** Certificate of Congratulations to Mr. Edgar Perez of El Sabor Latino for being named the Hispanic Chamber of Commerce “Business of the Year” – Joel Flores, Mayor.
6. **Consent Agenda.**
 - A. Motion to Approve Consent Agenda.
 1. **Official Minutes:** City Council Meeting December 18, 2017 – Joanna Cunningham, City Clerk.
 2. **Proclamation:** “School Choice Week” – Joel Flores, Mayor.
 3. **Resolution No. 2018-01:** Authorizing the execution of the Fiscal Year 2017-2018 Community Development Block Grant (CDBG) Agreement for Phase 5 of the Stormwater Drainage Enhancement in the Original Section; and providing for an effective date; pursuant to Staff Memo - Kara Ferris, Planning & Engineering Director.
 4. **Resolution No. 2018-02:** Opposing legislative efforts to impede the constitutional right Florida’s citizens have enjoyed for nearly 50 years to govern themselves under municipal home rule powers; opposing the legislature’s persistent intrusion into local finances, which are necessary to provide financial stability and essential services

uniquely required by municipal residents and local businesses; directing city administration to transmit a certified copy of this resolution to the Florida League of Cities, the Palm Beach County legislative delegation and any other interested parties; providing for conflicts; providing for severability; and providing an effective date – Andrea McCue, City Manager.

5. **Resolution No. 2018-03:** Satisfying certain liens imposed against residential property, pursuant to Section 15-32, City of Greenacres Code; pursuant to Staff Memo - James McInnis, Finance Director.
6. **Resolution No. 2018-04:** Authorizing the Interlocal Agreement ("Agreement") between the Board of County Commissioners, Palm Beach County, a political subdivision of the State of Florida (herein referred to as the "County"), and the City of Greenacres, a municipal corporation of the State of Florida (herein referred to as the "City"), each one constituting a public entity as defined in Part I of Chapter 163, Florida Statutes, to provide the staffing of emergency shelters by emergency medical services staff and providing for an effective date; .–Mark Pure, Fire Chief.

7. **Regular Agenda.**

- A. **PUBLIC HEARING Ordinance No. 2017-20:** Second Reading; Annexing three parcels of land totaling approximately 5.4249 acres, located approximately 500 feet south of the intersection of Lake Worth Road and South Military Trail at 4215 South Military Trail, 4101 South Military Trail, and the adjacent Lake Worth Drainage District Drainage Right-of-Way, as requested by the Planning and Engineering Department in accordance with Chapter 171.0413 of the Florida Statutes; providing for redefining the boundary lines of the City of Greenacres to include the subject property in the City's Official Boundary Map; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo and Staff Report – Kara Ferris, Planning & Engineering Director.
- B. **PUBLIC HEARING Ordinance No. 2017 27:** Second Reading; Amending the future land use map of the Future Land Use Element of the City's Comprehensive Plan, to change the Future Land Use Designation of two parcels of land totaling approximately 3.9949 acres, located approximately 500 feet south of the southwest corner of Lake Worth Road and South Military Trail at 4215 South Military Trail, 4101 South Military Trail, from a Palm Beach County Designation of Urban Infill (PBC UI) to a City of Greenacres designation of Commercial (CM) and Public Institutional (PI), as requested by the Planning and Engineering Department; providing for repeal of conflicting ordinances; providing for severability; providing for transmittal to the Division of Community Development; providing for inclusion in the Comprehensive Plan; and providing for an effective date; pursuant to Staff Memo and Staff Report – Kara Ferris, Planning & Engineering Director.

- C. **PUBLIC HEARING Ordinance No. 2017-28:** Second Reading; Approving the application for a zoning change for two parcels of land totaling approximately 3.9949 acres, located approximately 500 feet south of the intersection of Lake Worth Road and South Military Trail at 4215 South Military Trail, 4101 South Military Trail, from a Palm Beach County Zoning Designation of Urban Infill (PBC UI) to a City of Greenacres Zoning Designation of Commercial Intensive (CI) and Government Use (GU), as requested by the Planning and Engineering Department; providing for changes to the Official Zoning Map; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo and Staff Report – Kara Ferris, Planning & Engineering Director.
- D. **PUBLIC HEARING Ordinance No. 2017-29:** Second Reading; Amending the Future Land Use Map of the Future Land Use Element of the City's Comprehensive Plan, to change the Future Land Use Designation of one parcel of land totaling approximately 0.16 acres, located on the south side of Lake Worth Road approximately 515 feet west of South Military Trail at 4644 Lake Worth Road, from a Palm Beach County Designation of Urban Infill (PBC UI) to a City of Greenacres designation of Commercial (CM), as requested by the Planning and Engineering Department; providing for repeal of conflicting ordinances; providing for severability; providing for transmittal to the Division of Community Development; providing for inclusion in the Comprehensive Plan; and providing for an effective date; pursuant to Staff Memo and Staff Report - Kara Ferris, Planning & Engineering Director.
- E. **PUBLIC HEARING Ordinance No. 2017-30:** Second Reading; Approving the application for a Zoning Change for one parcel of land totaling approximately 0.16 acres, located on the south side of Lake Worth Road approximately 515 feet west of South Military Trail at 4644 Lake Worth Road, from a Palm Beach County Zoning Designation of Urban Infill (PBC UI) to a City of Greenacres Zoning Designation of Commercial Intensive (CI), as requested by the Planning and Engineering Department; providing for changes to the Official Zoning Map; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo - Kara Ferris, Planning & Engineering Director.
- F. **PUBLIC HEARING Ordinance No. 2017-32:** Second Reading; Annexing three (3) parcels of land totaling approximately 2.14 acres, located at the northwest corner of Chickasaw Road and South Jog Road, as requested by the petitioner, Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Roslyn L. Emerson and Craig B. Morris; providing for redefining the boundary lines of the City of Greenacres to include the subject property in the City's Official Boundary Map; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo and Staff Report -Kara Ferris, Planning & Engineering Director.
- G. **PUBLIC HEARING Ordinance No. 2017-33:** Second Reading; Amending

the Future Land Use Map of the Future Land Use Element of the City's Comprehensive Plan, to change the Future Land Use Designation of four parcels of land totaling approximately 3.201 acres, located at the northwest corner of Chickasaw Road and South Jog Road, from a Palm Beach County Designation of Low Residential 3 units per acre (RL-3) in part and from City Mixed Use (MU) to a City of Greenacres Designation of Commercial (CM) located on the west side of South Jog Road and north of Chickasaw Road as requested by the petitioner, Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Roslyn L. Emerson, Craig B. Morris and Shahveer Dhatigara; providing for repeal of conflicting ordinances; providing for severability; providing for transmittal to the Division of Community Development; providing for inclusion in the Comprehensive Plan; and providing for an effective date; pursuant to Staff Memo and Staff Report - Kara Ferris, Planning & Engineering Director.

- H. **PUBLIC HEARING Ordinance No. 2017-34:** Second Reading; Approving the application for a zoning change for four (4) parcels of land totaling approximately 3.201 acres, located at the northwest corner of Chickasaw Road and South Jog Road, from a Palm Beach County Zoning Designation of Agricultural (AR) in part and City Mixed Use Development Office Zoning (MXD-O) to a City of Greenacres Zoning Designation of Commercial Neighborhood (CN), as requested by the petitioner, Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Roslyn L. Emerson, Craig B. Morris and Shahveer Dhatigara; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo and Staff Report - Kara Ferris, Planning & Engineering Director.
 - I. **Site Plan Amendment – SP-17-02:** – Approving Site Plan for NW Corner of Chickasaw Road and South Jog Road (Aldi's); pursuant to Staff Memo and Staff Report – Kara Ferris, Planning & Engineering Director
 - J. **PUBLIC HEARING Ordinance No. 2017-39:** Second Reading; Amending Chapter 4, entitled Buildings and Building Regulations, of the City of Greenacres Code, to include the Florida Building Code 6th Edition, together with all amendments thereto, as recommended by the Building Code Advisory Board of Palm Beach County, Florida and as conformed to the City's Operational Standards; providing for repeal of conflicting ordinances; providing for severability; providing for an effective date; pursuant to Staff Memo – Michael Grimm, Building Director.
- 8. **Comments from the Public.**
 - 9. **Discussion Items:**
 - 10. **Staff Comments.**

A. **City Manager’s Report.**

1. Building Department Report
2. Finance Department Report
3. Leisure Services Department Report
4. Planning & Engineering Department Report
5. Fire Rescue Department Report
6. Public Works Department Report
7. PBSO Report

B. **City Attorney’s Report.**

11. **Mayor and City Council Reports.**

12. **Adjournment.**

NOTICE OF COUNCIL MEETINGS AND AGENDAS

The first and third Monday of each month are regular meeting dates for the City Council; special or workshop meetings may be called on the second and fourth Mondays of the month, or whenever necessary. Council Agendas are posted on the City’s website on the Friday prior to each Council meeting. A public copy of the complete agenda is also available for review in the City Clerk’s Office at City Hall. Questions regarding the agenda should be directed to the City Clerk at 642-2006.

February 2018 - Calendar of Meetings and Events

02-05-18	City Council Meeting	Cancelled
02-07-18	Planning Commission Meeting (Tentative)	7:00 pm
02-12-18	City Council Meeting	7:00 pm
02-19-18	President’s Day City Offices Closed	
02-21-18	Planning Commission Meeting (Tentative)	7:00 pm
02-26-18	Zoning Board of Adjustments & Appeals (Tentative)	7:00 pm
02-28-18	Code Enforcement Board	3:00 pm

CITY OF GREENACRES

Certificate of Congratulations

Presented to

Edgar Perez

In recognition of your hard work and dedication in being a community partner
and El Sabor Latino being named the Hispanic Chamber of Commerce
“Business of the Year”

Presented by the City of Greenacres on January 22, 2018


Joel Flores, Mayor





OFFICIAL MINUTES

CITY OF GREENACRES
5800 Melaleuca Lane
Greenacres, FL 33463

CITY COUNCIL MEETING
Monday, December 18, 2017 - 7:00 P.M.

1. Call To Order and Roll Call.

Mayor Flores called the City Council Meeting of Monday, December 18, 2017 to order at 7:00 p.m. City Clerk Joanna Cunningham called the roll.

ROLL CALL:

Council Present:

Joel Flores, Mayor
Paula Bousquet, Deputy Mayor
John Tharp, Council Member
Peter A. Noble, Council Member
Judith Dugo, Council Member
Anderson Thelusme, Council Member

Attendees from Public: 39

Press: 1

Staff Present:

Andrea McCue, City Manager
James D. Stokes, City Attorney
Joanna Cunningham, City Clerk/PIO
Michael Grimm, Director/Building
Jim McInnis, Director/Finance
Mark Pure, Fire Chief/Fire Rescue Department
Suzanne Skidmore, Director/Human Resources
Michele Thompson, Director/Leisure Services
Kara L. Irwin-Ferris, Director/Planning & Engineering
Carlos Cedeño, Director/Public Works
Osniel Leon, Senior Planner/Plng. & Engineering
Scott Cirino, Associate Planner/Plng. & Engineering
Melody Larson, Assistant to the City Clerk
Capt. Tristram Moore/PBSO

2. Pledge of Allegiance to the Flag.

Mayor Joel Flores led the Pledge of Allegiance.

3. Comments From the Public for Agenda Items Only.

Mayor Flores asked if there were comments from the public. Noting the number of attendees, he asked those present to limit their comments to three minutes to give everyone a chance to be heard.

Sam Ferreri, former mayor of Greenacres, addressed Agenda Item K (Ordinance 2017-33) and Item L (Ordinance 2017-34), proposals to change the future land use to

Commercial Neighborhood (CN) and Commercial (CM) zoning. He explained that historically, in 1986, the City worked hard to down-zone properties along South Jog Road from commercial to residential to avoid turning it into another South Military Trail. The development approvals, other than those at the major intersections of Forest Hill Boulevard, 10th Avenue North and Lake Worth Road have been for office, professional, child care, assisted living, etc.; uses that do not affect the adjacent residential properties. The City worked very hard to minimize the commercial impact on residents like that of a grocery store which is better suited for a major intersection. Chickasaw Road is a private easement owned by the Lake Worth Drainage District. He urged the Mayor and Council to look at what happened historically and hoped they would vote "no". The proposed use will negatively affect residents and their property values.

Gerald Bowe 6504 Cindi Lane, reported he was an original owner who was deployed at sea when he received a notice from his builder giving him and his wife a chance to back out of the sale of their home because the builder could not get approval from the City or the County to build the road (Chickasaw Road) since it was owned by the Lake Worth Drainage District (LWDD). Six months later, he received another notice from the builder stating that the City and County were granted access of the road but that LWDD maintained ownership because of the canal. The builder then paved the road and later added on another six feet and the City began maintaining the road. He asked if Chickasaw Road is a "private" road, how can the City grant approval for a road that is not theirs? The road does not meet City or County road widths and there's no barrier along the canal. He asked if permits had been pulled yet? Who is going to maintain the road? The County wants owners to pay and grant them an easement. Five cars exiting Aldi's will cause major traffic problems.

Property owner Lisa Saxon of 3409 Wry Road, reported on residents' outrage when they learned about the proposed Aldi's with an entrance/exit onto Chickasaw Road. She said this project will create more traffic and create increased child safety concerns.

Steve Katz of 6561 Cindi Lane, reported that during the Planning Commission meeting, a board member who lives in Village of Woodlakes agreed with the residents over traffic concerns that would be created by the proposed Aldi's. Chickasaw Road is an illegal road since it is not wide enough nor does it have a guardrail. In 2013, Mr. Katz spoke with the former City Manager who approached the Board of County Commissioners about improving the road. It was determined at that time that it would cost residents an estimated \$700,000. Residents received a similar response from the City. No one wants to pay for road improvements, but are quick to accept revenue money for the Aldi's. The notice from the County is charging \$20,000 per household over 20 years and will cost \$1.4 million to build. The City and the County were aware that 60 feet of road would require improvement. Chickasaw Road is one of the only roads with four U-turns in both directions. Accidents have been avoided because residents are extra cautious when exiting.

Patricia Collado of 3469 Chickasaw Circle is a 40-year resident. She stated if it were not for neighbors filling potholes, there would be no Chickasaw Road. The proposed project does not provide any outlet heading west on Chickasaw Road. She questioned signage for drivers exiting Aldi's traveling west through their neighborhood only to realize there's no exit. She agreed with the safety concerns mentioned.

Peter Horn of 6567 Cindi Lane, noted that no one takes responsibility for Chickasaw Road, so how can the City grant approvals. He questioned how the traffic study was conducted. There is already a dangerous intersection with two (2) U-turns on both sides with six lanes of traffic. He asked, "Why not only provide one entrance/exit off of South Jog Road?" He believed the issue was due to safety. He asked if moving it 60 feet down the road will make it safer.

Michelle Imbimbo of 3499 Chickasaw Circle explained that Chickasaw Road is a school bus pickup/drop-off point for children. This project will cause more traffic and serious safety issues. It is horrendous to get onto South Jog Road.

Linda Warren of 3524 Harwich Court, explained that at Chickasaw Road and South Jog Road is a school bus pickup/drop-off point for Okeeheelee Middle School. She proposed installing a traffic light.

Carol Eubank of, 3560 Harwich Court, a 31 year resident, agreed with her neighbors. We don't need another grocery store at that location. Publix is approximately 1.5 miles to the west, Walmart is 1/10 of a mile away, there is another Publix in River Bridge Plaza on South Jog Road and Forest Hill Boulevard, and a Save-A-Lot on the corner of Lake Worth Road and South Jog Road that has gone out of business.

Seeing no one else come forward, Mayor Flores closed the floor for public comments and continued with the Agenda.

4. **Agenda Approval.**

- A. Additions, deletions, or substitutions to the Agenda.
- B. Motion to approve and adopt entire agenda as set.

Mayor Flores inquired if there were any additions, deletions or substitutions to the Agenda.

Council Member Noble requested moving Agenda Items 7.J, 7.K and 7.L to A.1, A.2 and A.3 of the Agenda.

Council Member Dugo believed that A.1 should be moved.

Mayor Flores called for a motion.

MOTION: Council Member Noble made a motion to move Agenda Items 7.J, 7.K and 7.L to 7.A, 7.B and 7.C of the Agenda. Council Member Dugo seconded the motion.

Discussion on the Motion:

Council Member Dugo believed that 7.A (Ordinance No. 2017-31) should remain and be heard first. Deputy Mayor Bousquet agreed.

AMENDED MOTION: Council Member Dugo moved to keep 7.A in place, moving Agenda Items 7.J, 7.K and 7.L to 7.B, 7.C and 7.D. Council Member Thelusme seconded the motion as amended.

VOTE ON **In Favor:** Deputy Mayor Bousquet, Council Member Tharp,
THE AMENDED Council Member Dugo, and Council Member Thelusme.
MOTION: **Opposed:** Council Member Noble.

Motion carried: 4 - 1.

5. Special Business.

A. Presentation: Florida League of Cities Certificate of Completion to Mayor Joel Flores- Paula Bousquet, Deputy Mayor.

Deputy Mayor Bousquet was pleased to present Mayor Flores with a Certificate of Completion by the John Scott Daley Florida Institute of Government and the Florida League of Cities for completing 18 hours of instruction at the Institute for Elected Municipal Officials in Jacksonville Florida on October 13-15, 2017. He thanked former mayor Sam Ferreri for his encouragement and believed in the democratic process. Photos were taken.

B. Presentation: Honoring Estelle Friedman for over twenty years of volunteer service to the City– Joel Flores, Mayor.

Mayor Flores presented long-time volunteer Estelle Friedman with a Certificate of Appreciation and a token of the City’s appreciation for her 24 years of community service.

Ms. Friedman thanked the Mayor and Council and spoke of the importance of giving back to the community. The most meaningful gift she ever received was a post-it note that said, “You made a difference”. She urged everyone to give back.

6. Consent Agenda.

A. Mayor Flores asked Council if they wished to pull the Consent Agenda item hearing none, he called for a motion.

MOTION: Council Member Tharp made a motion to approve the Consent Agenda item. Council Member Noble seconded the motion.

VOTE ON **In Favor:** Deputy Mayor Bousquet, Council
THE MOTION: Member Tharp, Council Member Noble, Council
 Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

7. Regular Agenda:

A. PUBLIC HEARING Ordinance No. 2017-31: Second Reading; Amending Chapter 11, Streets, Sidewalks, and Other Public Places, in order to modify and

clarify the regulations that govern the use of the City's streets, swales, rights-of-way, and public places and to provide for regulations governing the collocation of small wireless facilities or micro wireless facilities on existing utility poles or the installation of new utility poles to support the collocation of small wireless facilities or micro wireless facilities in City-owned rights-of-way and amending the definitions to be consistent with Section 337.401, Florida Statutes; providing for repeal of conflicting ordinances; providing for severability; providing for inclusion in Code; and providing for an effective date; pursuant to Staff Memo – Kara Irwin Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-31 into the record on second reading.

Planning and Engineering Director Kara L. Ferris reported that there were this is and no changes from first reading. She stated that a copy of this Ordinance was sent to the Secretary of State on November 17, 2017, as well as to Holland & Knight on December 7, 2017. Comments were received back from Holland & Knight on December 18, 2017. The moratorium expires on December 19, 2017; therefore, staff recommends approval of Ordinance 2017-31. She noted that code amendments and policies can be made in the future.

Mayor Flores called on Council Members for comments.

Council Member Noble emphasized the importance of passing this Ordinance as presented and suggested that staff can meet later with Verizon and present changes to Council at a future public hearing.

Director Ferris reminded the Mayor and Council that regulations must be adopted by January 2018.

Mayor Flores called on Council Members for comments; hearing none, he opened the meeting to the public. He asked if anyone was in favor of Ordinance No. 2017-31 to come forward.

Scott Gustafson of 1396 Country Club Drive, Tequesta, Florida on behalf of Verizon, requested amendment and reported that City Attorney James Stokes had been in contact with attorneys for Verizon and T-Mobile.

Mayor Flores asked if anyone was opposed to Ordinance No. 2017-31 to come forward. Seeing no one come forward, he closed the meeting to the public and called for a motion.

MOTION: Deputy Mayor Bousquet made a motion to approve Ordinance No. 2017-31 on second reading. Council Member Dugo seconded the motion.

**VOTE ON
THE MOTION:** **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- B. Ordinance No. 2017-32:** First Reading; Annexing three (3) parcels of land totaling approximately 2.14 acres, located at the northwest corner of Chickasaw Road and South Jog Road, as requested by the petitioner, Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Roslyn L. Emerson and Craig B. Morris; providing for redefining the boundary lines of the City of Greenacres to include the subject property in the City's Official Boundary Map; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo and Staff Report. -Kara Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-32 into the record on first reading.

Senior Planner Osniel Leon described the voluntary annexation request for three parcels of land located on the northwest corner of South Jog Road and Chickasaw Road. The subject parcels are contiguous to City property on the north, south and east, they are located within the City's Future Annexation Area and are within an existing enclave. The proposal meets the six (6) annexation criteria and the Planning Commission recommended approval; therefore, staff recommends approval of ANX-17-03 through the adoption of Ordinance 2017-32.

Mayor Flores called on Council Members for comments.

Council and staff discussed that by approving the annexation it does not mean Council is approving the petition for rezoning; the issue is not the proposed use (a grocery store), the issue is Chickasaw Road; local gas tax monies could be used to improve the road; what is the City's and County's position on the road and who owns the road.

Director Ferris explained that the City approached the County to partner with them to build the road and the City would agree to maintain it. The County agreed to review the issue. In October 2016, the County notified the City that they would be moving forward with the matter and one year later sent notices to residents asking them to pay for the improvements. The cost was assessed based on acreage. The County continues refusing to take ownership of the road and it does not show on any County road maps. Notwithstanding, during the site plan review, the County requested right-of-way dedications, a corner clip and corner road improvements for the Aldi's. It is possible the road was originally an access easement for the homes during construction. The plats had legal access to get to South Jog Road using Chickasaw Road, but the road was never built. She could not definitively confirm who owns the road, however, there are many unincorporated pockets that were developed on easements with direct access to a major roadway or thoroughfare. As long as you have an easement you can develop. One resident questioned how does the applicant have the right to access Chickasaw Road; it is because two sites are being purchased that have direct legal access to Chickasaw

Road.

Mayor Flores asked for clarification on the County notice sent to residents about the Chickasaw Road improvements.

Director Ferris explained that the County sent a letter to residents who have access onto Chickasaw Road. The cost is based on acreage and the improvements would be implemented as a voluntary taxing district (MSTU). Residents must respond by January 18, 2018. The County was five (5) "no" votes short of reaching 50% to tax residents. There has been no further update.

MOTION: Council Member Dugo made a motion to approve Ordinance No. 2017-32 on first reading. Council Member Tharp seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- A. **Ordinance No. 2017-33:** First Reading; Amending the Future Land Use Map of the Future Land Use Element of the City's Comprehensive Plan, to change the Future Land Use Designation of four parcels of land totaling approximately 3.201 acres, located at the northwest corner of Chickasaw Road and South Jog Road, from a Palm Beach County Designation of Low Residential 3 units per acre (RL-3) in part and from City Mixed Use (MU) to a City of Greenacres Designation of Commercial (CM) located on the west side of South Jog Road and north of Chickasaw Road as requested by the petitioner, Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Roslyn L. Emerson, Craig B. Morris and Shahveer Dhatigara; providing for repeal of conflicting ordinances; providing for severability; providing for transmittal to the Division of Community Development; providing for inclusion in the Comprehensive Plan; and providing for an effective date; pursuant to Staff Memo and Staff Report. - Kara Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-33 into the record on first reading.

Senior Planner Osniel Leon described the small-scale future land use amendment to replace the County future land use designation of RL-3 in part and a City MU designation with a City designation of CM. Uses include retail, professional businesses, personal services and restaurants. Map 5 of the City's Comprehensive Plan identifies the subject site as a secondary activity sphere which consists of less intensive commercial. Senior Planner Leon stated the proposal is compatible with surrounding land uses, it is consistent with the goals, objectives and policies of the City's Comprehensive Plan, the Treasure Coast Regional Planning Council's Strategic Regional Planning Policy (SRPP) and Florida Statutes. Therefore, staff recommends approval of Ordinance No. 2017-33.

Mayor Flores called on Council Members for comments.

Deputy Mayor Bousquet asked how does this project impact the City's ability to control development along South Jog Road so as to avoid another South Military Trail. She asked if it was possible to eliminate the Chickasaw Road exit from the project.

Director Ferris explained that Council has complete legislative control over any land use designations. Staff looked at density and intensity and concurrency issues. When comparing the Commercial (CM) and Commercial Neighborhood (CN) zoning designations, the density/intensity is less than in a Mixed Use Development-Office (MXD-O) district. This proposal reduces the impact on adjacent residential. As for eliminating the exit onto Chickasaw Road, Director Ferris explained that the applicant was granted concurrency approval by the County including the exit, to help distribute traffic circulation. The site will have access with a turn-lane from South Jog Road.

Council Member Noble asked Director Ferris to explain the definition of a corner clip.

Director Ferris explained that the County took a 20-foot right-of-way for future improvements like turn lanes.

Council Member Thelusme asked if installing a traffic light had been considered.

Director Ferris reported that initial discussions with Aldi's included providing a traffic light; however, the County did not feel a traffic signal was warranted.

Council Member Dugo agreed that a signal may not be warranted now, but when the store is built, a signal would be warranted. With the school bus stops and the County rejecting a signal, residents would still need to use Chickasaw Road to exit Aldi's.

Director Ferris reported that a traffic study was conducted for the project using existing data. Some drivers will turn right and head south, others will make a U-turn and head north onto South Jog Road.

Council Member Tharp asked if drivers can exit Chickasaw Road and head north onto South Jog Road.

Director Ferris replied, "Yes".

Council Member Thelusme noted that Aldi's conducted their own traffic study.

Director Ferris explained that Aldi's hired a traffic engineer to conduct a traffic study. That study was submitted and reviewed by the County who ensured the study meets Traffic Performance Standards (TPS) and granted concurrency. The study was also reviewed by the City's traffic engineer.

Senior Planner Leon emphasized that the traffic study takes into consideration the highest use (maximum development potential) of the site not just for a grocery store.

This includes all uses under Commercial (CM) and Commercial Neighborhood (CN) zoning districts.

Council Member Tharp asked with respect to the annexation passing on first reading, what becomes of the land use and zoning designations if Council decides to vote against them?

Director Ferris explained if City land use and zoning is not assigned, the property will keep County designations until a determination is made.

MOTION: Council Member Dugo made a motion to approve Ordinance No. 2017-33 on first reading. Council Member Noble seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Noble, Council Member Dugo, and Council Member Thelusme.
Opposed: Council Member Tharp

Motion carried: 4 - 1.

- A. **Ordinance No. 2017-34:** First Reading; Approving the application for a zoning change for four (4) parcels of land totaling approximately 3.201 acres, located at the northwest corner of Chickasaw Road and South Jog Road, from a Palm Beach County Zoning Designation of Agricultural (AR) in part and City Mixed Use Development Office Zoning (MXD-O) to a City of Greenacres Zoning Designation of Commercial Neighborhood (CN), as requested by the petitioner, Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Roslyn L. Emerson, Craig B. Morris and Shahveer Dhatigara; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo and Staff Report.- Kara Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-34 into the record on first reading.

Senior Planner Leon described the request to rezone four parcels of land totaling 3.2 acres located on the northwest corner of Chickasaw and South Jog Road. An annexation, land use amendment and site plan petitions are being processed concurrently with this request for rezoning. The proposed zoning is for an Aldi's Grocery Store.

The 1.09-acre parcel to the north was annexed into the City in 2010. The proposed zoning designation of Commercial Neighborhood (CN) is consistent with the proposed Commercial (CM) future land use designation. The proposal meets the goals, objectives and policies of the City's Comprehensive Plan and the CN zoning designation is consistent with the surrounding land use pattern. The proposal meets the ten (10) zoning change criteria as supermarkets are allowed by right in a CN zoning district. The Planning Commission recommended approval of ZC-13-04; therefore, staff recommends approval of Ordinance No. 2017-34.

Mayor Flores called on Council Members for comments.

The Mayor and Council discussed if the Aldi's does not receive development approval the road will remain the same; using the local gas tax funds of \$1.9 million to improve the road; Aldi's should pay for the road and right-of-way improvements; look at alternative sites for an Aldi's and vote against this project; road improvements to be made to portions adjacent to the site; dedicating a clip to the County, improve the road and provide a barrier between the canal and right-of-way; road issue needs to be resolved before second reading of ordinance; the County notice asking residents to pay for the road improvements; it being insane for the County to assess residents for a road who are already paying taxes; renegotiate with Aldi's regarding Chickasaw Road.

Mayor Flores called on the applicant for comment.

Attorney Dwayne Dickerson, of Dunay, Miskel & Backman, LLP, pointed out that many of the public comments made relate to the site plan which is scheduled for public hearing next month. Aldi's has agreed to make substantial improvements on South Jog Road and Chickasaw Road. They met with the Lake Worth Drainage District (LWDD) and have agreed to install a guardrail the length of the property along the canal on Chickasaw Road. Additionally, Aldi's has agreed to repave areas where customers will access the site from Chickasaw Road to South Jog Road and agreed to install a dedicated right-turn lane from South Jog Road into the site, although it was not required. The City's traffic engineer reviewed the traffic study and the County's traffic engineer reviewed/approved it.

Mayor Flores called for a motion

MOTION: Council Member Dugo made a motion to approve Ordinance No. 2017-34 on first reading. Council Thelusme seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Noble, Council Member Dugo, and Council Member Thelusme.
Opposed: Council Member Tharp.

Motion carried: 4 - 1.

- E. **PUBLIC HEARING Ordinance No. 2017-35:** Second Reading; Amending Chapter 5 of the City of Greenacres Code entitled, "Fire Prevention and Protection," Section 5-2 to update the name of the Department; Section 5-3 to adopt the Florida Fire Prevention Code 6th Edition, together with the local amendments thereto as conformed to the City's operational standards; Sections 5-6 and 5-10 to update the name of the Department; providing for repeal of conflicting ordinances; providing for severability; providing for inclusion in Code; and providing for an effective date; pursuant to Staff Memo. – Mark Pure, Fire Chief.

City Clerk Joanna Cunningham read Ordinance No. 2017-35 into the record on second reading.

Mayor Flores called for a recess. The meeting reconvened at 8:30 pm.

Fire Chief Mark Pure reported on the adoption by the State Fire Marshal of the Florida Fire Prevention Code, 6th Edition to become effective statewide commencing on January 1, 2018. Pursuant to state statutes, local governments are required to re-adopt their local amendments following the adoption of the state edition, therefore, staff recommends approval of Ordinance No. 2017-35.

Mayor Flores called on Council Members for comments; hearing none, he opened the meeting to the public. He asked if anyone was in favor of, or opposed to, Ordinance No. 2017-35 to come forward. Seeing no one come forward, he closed the meeting to the public and called for a motion.

MOTION: Council Member Noble made a motion to approve Ordinance No. 2017-35 on second reading. Deputy Mayor Bousquet seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- F. **PUBLIC HEARING Ordinance No. 2017-36:** Second Reading; Providing for a temporary ban on medical marijuana dispensaries which extends the moratorium previously adopted by the City Council; providing for further extensions if necessary; providing for geographic boundaries of applicability; providing provisions for early termination; providing for conflicts; providing for severability; and providing an effective date; pursuant to Staff Memo. – Andrea McCue, City Manager and James Stokes City Attorney.

City Clerk Joanna Cunningham read Ordinance No. 2017-36 into the record on second reading.

City Manager Andrea McCue reported there were no changes from first reading and explained that this extension was needed in order to coordinate a Council workshop scheduled for January 16, 2018. At that workshop, PBSO will provide a presentation on medical marijuana and Council will discuss the successes and challenges of having a medical cannabis dispensary in the City.

Mayor Flores called on Council Members for comments; hearing none, he opened the meeting to the public. He asked if anyone was in favor of, or opposed to, Ordinance No. 2017-36 to come forward. Seeing no one come forward, he closed the meeting to the public and called for a motion.

MOTION: Council Member Noble made a motion to approve Ordinance No. 2017-36 on second reading. Deputy Mayor Bousquet seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- G. PUBLIC HEARING Ordinance No. 2017-37:** Second Reading; Amending Chapter 7 “Health, Sanitation and Nuisances” Article II “Property Maintenance” Section 7-27 “Nuisances Declared”, to declare the collection of textiles for recycling purposes from stationary vehicles to be a nuisance and to allow for the placement of unattended drop-off bins through a franchise agreement with the City; providing for repeal of conflicting ordinances; providing for severability; providing for inclusion in Code; and providing for an effective date; pursuant to Staff Memo – Michael Grimm, Building Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-37 into the record on second reading.

Building Director Michael Grimm reported there were no changes to this Ordinance from first reading; therefore, staff recommends approval of Ordinance No. 2017-37.

Mayor Flores called on Council Members for comments; hearing none, he opened the meeting to the public. He asked if anyone was in favor of, or opposed to, Ordinance No. 2017-37 to come forward. Seeing no one come forward, he closed the meeting to the public and called for a motion.

MOTION: Council Member Tharp made a motion to approve Ordinance No. 2017-37 on second reading. Council Member Noble seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- H. Ordinance No. 2017-20:** First Reading; Annexing one parcel of land totaling approximately 5.4249 acres, located approximately 500 feet south of the southwest corner of Lake Worth Road and South Military Trail at 4215 South Military Trail, 4101 South Military Trail, and the adjacent Lake Worth Drainage District Drainage Right-of-Way, as requested by the Planning and Engineering Department in accordance with Chapter 171.0413 of the Florida Statutes; providing for redefining the boundary lines of the City of Greenacres to include the

subject property in the City's Official Boundary Map; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo and Staff Report. – Kara Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-20 into the record on first reading.

Planning & Engineering Director Kara L. Ferris reported that the proposal began as a voluntary annexation of the PBC Tax Collector site; however, the City looked at including adjacent parcels to reduce an existing unincorporated pocket area. Parcel One is the FPL substation built in 1980, Parcel Two is a Lake Worth Drainage District (LWDD) drainage right-of-way, and Parcel Three is the PBC Tax Collector site. The proposal meets the six (6) requirements for involuntary annexation and the parcels are contiguous to the existing City boundary; therefore, staff recommends approval of ANX-17-01 through the adoption of Ordinance No. 2017-20.

Mayor Flores disclosed attending a meeting with Anne Gannon, PBC Tax Collector and staff, City Manager McCue and Planning & Engineering Director Ferris where they expressed their interest in annexing into the City.

Council comments included the City not receiving revenue from the PBC Tax Collector or LWDD but would from FPL; the PBC Tax Collector site not having sufficient parking; the proposal meeting levels of service requirements; and what happens to County building permits.

MOTION: Council Member Dugo made a motion to approve Ordinance No. 2017-20 on first reading. Council Member Thelusme seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- I. **Ordinance No. 2017 27:** First Reading; Amending the future land use map of the Future Land Use Element of the City's Comprehensive Plan, to change the Future Land Use Designation of one parcel of land totaling approximately 5.4249 acres, located approximately 500 feet south of the southwest corner of Lake Worth Road and South Military Trail at 4215 South Military Trail, 4101 South Military Trail, and the adjacent Lake Worth Drainage District Drainage Right-of-Way, from a Palm Beach County Designation of Urban Infill (PBC UI) to a City of Greenacres designation of Commercial (CM) and Public Institutional (PI), as requested by the Planning and Engineering Department; providing for repeal of conflicting ordinances; providing for severability; providing for transmittal to the Division of Community Development; providing for inclusion in the Comprehensive Plan; and providing for an effective date; pursuant to Staff Memo and Staff Report.– Kara Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-27 into the record on first reading.

Director Ferris described the small-scale future land amendment to assign a City future land use designation of CM to the FPL site and a future land use designation of PI for the PBC Tax Collector site. The proposal is compatible with surrounding properties to the north, south, east, and west, it meets concurrency and is consistent with the City's Comprehensive Plan, the Treasure Coast Regional Planning Council's Strategic Regional Policy Plan (SRPP) and Florida Statutes; therefore, staff recommends approval of CPA-17-02 through the adoption of Ordinance No. 2017-27.

Mayor Flores called for a motion.

MOTION: Council Member Noble made a motion to approve Ordinance No. 2017-27 on first reading. Council Member Tharp seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 – 0.

- J. Ordinance No. 2017-28:** First Reading; Approving the application for a zoning change for one parcel of land totaling approximately 5.4249 acres, located approximately 500 feet south of the southwest corner of Lake Worth Road and South Military Trail at 4215 South Military Trail, 4101 South Military Trail, and the adjacent Lake Worth Drainage District Drainage Right-of-Way, from a Palm Beach County Zoning Designation of Urban Infill (PBC UI) to a City of Greenacres Zoning Designation of Commercial Intensive (CI) and Government Use (GU), as requested by the Planning and Engineering Department; providing for changes to the Official Zoning Map; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo and Staff Report. – Kara Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-28 into the record on first reading.

Director Ferris described the request to rezone one parcel of land from a County UI zoning designation to a City CI designation for the FPL site and a GU designation to the PBC Tax Collector and the LWDD drainage right-of-way. The proposal meets the ten (10) zoning change criteria; therefore, staff recommends approval of ZC-17-02 through the adoption of Ordinance No 2017-28.

Mayor Flores called for comments; hearing none, he called for a motion.

MOTION: Council Member Dugo made a motion to approve Ordinance No. 2017-28 on first reading. Council Member Thelusme seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- K. Ordinance No. 2017-29:** First Reading; Amending the Future Land Use Map of the Future Land Use Element of the City's Comprehensive Plan, to change the Future Land Use Designation of one parcel of land totaling approximately 0.16 acres, located on the south side of Lake Worth Road approximately 515 feet west of South Military Trail at 4644 Lake Worth Road, from a Palm Beach County Designation of Urban Infill (PBC UI) to a City of Greenacres designation of Commercial (CM), as requested by the Planning and Engineering Department; providing for repeal of conflicting ordinances; providing for severability; providing for transmittal to the Division of Community Development; providing for inclusion in the Comprehensive Plan; and providing for an effective date; pursuant to Staff Memo and Staff Report.- Kara Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-29 into the record on first reading.

Director Ferris described the small-scale future land use amendment for the Dunkin Donuts located at 4644 Lake Worth Road. The parcel was annexed into the City through an interlocal annexation agreement with the County. This proposal is to assign a City land use designation of CM. The subject site is an outparcel of the Office Depot Plaza. The proposed land use designation of CM is consistent with the adjacent parcels; it is consistent with the goals, objectives and policies of the City's Comprehensive Plan, the Treasure Coast Regional Planning Council's Strategic Regional Policy Plan (SRPP) and Florida Statutes; therefore, staff recommends approval of CPA-17-01 through the adoption of Ordinance No. 2017-29.

Mayor Flores called on Council Members for comments; hearing none, he called for a motion.

MOTION: Council Member Noble made a motion to approve Ordinance No. 2017-29 on first reading. Deputy Mayor Bousquet seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- L. **Ordinance No. 2017-30:** First Reading; Approving the application for a Zoning Change for one parcel of land totaling approximately 0.16 acres, located on the south side of Lake Worth Road approximately 515 feet west of South Military Trail at 4644 Lake Worth Road, from a Palm Beach County Zoning Designation of Urban Infill (PBC UI) to a City of Greenacres Zoning Designation of Commercial Intensive (CI), as requested by the Planning and Engineering Department; providing for changes to the Official Zoning Map; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date; pursuant to Staff Memo.- Kara Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-30 into the record on first reading.

Director Ferris described the proposed zoning request to change the zoning designation of the Dunkin Donuts from a County UI designation to a City designation of CI. The proposal is compatible with surrounding properties and meets the ten (10) zoning change criteria; therefore, staff recommends approval of ZC-17-01 through the adoption of Ordinance No. 2017-30.

Mayor Flores called on Council Members for comments; hearing none, he called for a motion.

MOTION: Deputy Mayor Bousquet made a motion to approve Ordinance No. 2017-30 on first reading. Council Member Tharp seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- M. **Ordinance No. 2017-39:** First Reading; Amending Chapter 4, entitled Buildings and Building Regulations, of the City of Greenacres Code, to include the Florida Building Code 6th Edition, together with all amendments thereto, as recommended by the Building Code Advisory Board of Palm Beach County, Florida and as conformed to the City’s Operational Standards; providing for repeal of conflicting ordinances; providing for severability; providing for an effective date; pursuant to Staff Memo. – Michael Grimm, Building Director.

City Clerk Joanna Cunningham read Ordinance No. 2017-39 into the record on first reading.

Building Official Michael Grimm gave a brief history of the various building codes in

Florida and the State Legislature’s creation of the Florida Building Code to provide uniformity state-wide. Every three years, a new edition is issued and administrative amendments to Chapter One are reviewed by the PBC Building Advisory Board, who proposes additional changes to meet local standards. The County recommendations are then adopted by each municipality; therefore, staff recommends approval of Ordinance No. 2017-39.

Mayor Flores called on Council Members for comments; hearing none, he called for a motion.

MOTION: Council Member Dugo made a motion to approve Ordinance No. 2017-39 on first reading. Deputy Mayor Bousquet seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- N. **Resolution No. 2017-51:** Approving an Agreement between the City of Greenacres and Palm Beach County Tax Collector for services related to the collection of Non-Ad Valorem Assessments, authorizing the appropriate city officials to execute the Agreement, and providing for an effective date; pursuant to Staff memo. – James McInnis, Finance Director.

City Clerk Joanna Cunningham read Resolution No. 2017-51 into the record on first reading.

Finance Director Jim McInnis reported that the purpose of this Resolution is to continue with the solid waste collection assessment process which is to enter into agreements with the PBC Property Appraiser’s Office and the PBC Tax Collector to cover administrative fees for services. Resolution No. 2017-51 is the agreement with the PBC Tax Collector to place the assessment on the 2018 tax bill.

Mayor Flores called on Council Members for comments; hearing none, he called for a motion.

MOTION: Council Member Tharp made a motion to approve Resolution No. 2017-51 as presented by staff. Deputy Mayor Bousquet seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- O. **Resolution No. 2017-52:** Approving an Agreement between the City of Greenacres

and Palm Beach County Property Appraiser for services related to the collection of Non-Ad Valorem Assessments, and providing for an effective date; pursuant to Staff Memo. – James McInnis, Finance Director.

City Clerk Joanna Cunningham read Resolution No. 2017-52 into the record on first reading.

Finance Director Jim McInnis reported that the purpose of this Resolution is to enter into an agreement with the PBC Property Appraiser's Office to place the solid waste collection assessment on the 2018 tax bill; therefore, staff recommends approval of Resolution No. 2017-52.

Mayor Flores called on Council Members for comments.

Council Member Noble questioned the cost of \$13,500 and asked where were the savings.

Director McInnis explained that the \$13,500 represented 1% of the amount billed. The savings will come in the form of greatly improving collection rates of unpaid balances and will reduce City administrative costs.

MOTION: Deputy Mayor Bousquet made a motion to approve Resolution No. 2017-52 as presented by staff. Council Member Thelusme seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- P. Resolution No. 2017-53:** Authorizing the execution of the Fiscal Year 2017-2018 Community Development Block Grant (CDBG) Agreement for Phase 4 of the Stormwater Drainage Enhancement in the Original Section; and providing for an effective date; pursuant to Staff Memo.- Kara Ferris, Planning & Engineering Director.

City Clerk Joanna Cunningham, read Resolution No. 2017-53 into the record.

Director Ferris reported that this is the grant agreement for Phase 4 of the Stormwater Drainage Enhancement Project currently being done at the southeast quadrant of the Original Section. This phase consists of improving drainage by modifying the swales and alleyways. The City is looking to improving outfalls along Biscayne Drive. The City has been notified that \$148,771 has been granted and the total cost of the project is \$242,000. Staff recommends approval of Resolution No. 2017-53.

Mayor Flores called on Council Members for comments; hearing none, he called for a motion.

MOTION: Council Member Tharp made a motion to approve Resolution No. 2017-53 as presented by staff. Deputy Mayor Bousquet seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- Q. **Board Appointments:** Appoint one member to the Alternate 1 position on the Planning and Zoning Commission from the two applications received, and appoint one member to the Zoning Board of Adjustments and Appeals; pursuant to Staff Memo. – Joel Flores, Mayor.

Mayor Flores presented Council his recommendation to appoint Valerie Neilson to the Planning Commission and Terry Snively to the Zoning Board of Adjustments and Appeals and called for a motion.

MOTION: Council Member Noble made a motion to approve the board appointments as recommended. Deputy Mayor Bousquet seconded the motion.

VOTE ON THE MOTION: **In Favor:** Deputy Mayor Bousquet, Council Member Tharp, Council Member Noble, Council Member Dugo, and Council Member Thelusme.

Motion carried: 5 - 0.

- 8. **Comments from the Public.** None.

- 9. **Discussion Items:**

- A. **Legal Fee Discussion** –Paula Bousquet, Deputy Mayor

Deputy Mayor Bousquet commented that upon comparing the fully burdened salary of an in-house City Attorney to the cost of hiring an outside counsel and speaking with other municipalities who use outside counsel, she directed the City Manager and the Finance Director to review further. She distributed a cost comparison to the Mayor and Council for consideration.

Mayor Flores asked what would be the benefits for the City to make such a move.

Deputy Mayor Bousquet reported a \$20,000-\$30,000 annual savings and explained that firms can offer specialty services .

Council Member Dugo pointed out that the City is also paying for a Special Magistrate.

Deputy Mayor Bousquet explained that under Personnel Services, she backed out special expenses in 2015, 2016, and 2017. She noted that it totals \$96,000.

Council Member Dugo recalled Council discussing the hiring outside counsel in the past.

Council Member Noble noted that in his 20-years serving as a Councilmember, the City has had in-house counsel and cautioned that when dealing with a legal firm you are paying a clock.

Deputy Mayor Bousquet believed the City Manager should conduct a cost analysis. She noted that the pension negotiations were not included and she removed the extra payout for the former City Attorney and additional monies paid to Attorney Stokes for the PBSO contract.

Mayor Flores called for a consensus on the City Manager conducting a cost comparison.

Deputy Mayor Bousquet: Yes.

Council Member Tharp: Yes.

Council Member Noble: Not necessary.

Council Member Dugo: Yes.

Council Member Thelusme: Agreed, not a bad idea.

Consensus: Mayor Flores directed the City Manager to conduct a cost comparison.

B. Property Acquisition Discussion – James Stokes, City Attorney.

City Attorney James Stokes reported that based on Council's request to research the legality of purchasing the Roedel property, the determining factor would be if Council finds the purchase to serve a public purpose. A super majority vote would be required if the cost exceeds \$500,000; however, that is not the case therefore, it would only require a simple majority vote and the willingness of the Roedel's to sell.

Council and staff commented on what kind of legal precedent would the sale create; it would be an administrative action; Council may want to look at the impact on other property owners abutting City parks; offer the Roedel's a price and enter into negotiations; the City offered to purchase the property years before but the Roedel's were not interested; the City should offer a fair price and if the Roedel's are not willing to sell, then they should stop complaining; the intent is to remove a constant nuisance that will continue until resolved; the Roedel's have not shown an interest in selling and the property is not currently on the market so it is meaningless if they are not willing to sell; if the City should consider purchasing the property at a fair market value, not at \$300,000; in the Roedel's mind it will be difficult to bring them down to a fair market value and the City is not in the business of using taxpayer's money to purchase homes.

Mayor Flores recommended that Council direct the City Manager to pursue a

purchase and called for a consensus on Council's interest in buying the Roedel property at fair market value.

Deputy Mayor Bousquet: Against the purchase unless the Leisure Services Department has a use for the property

Council Member Tharp: He would be in favor of the purchase only if the Roedel's list the property for sale.

Council Member Noble: In favor, the City will continue with the same problem for many years to come.

Council Member Dugo: Against, the City has the courts and parking lot and the Roedel's refused fair market value before.

Council Member Thelusme: Against, the Roedel's have no interest in selling.

Consensus: The City is not looking to purchase the Roedel property at this time.

C. Textile Bin Options and Locations – Andrea McCue, City Manager and James Stokes, City Attorney.

City Manager Andrea McCue reported that based upon Council discussion on Ordinance 2017-37 related to textile recycling bins and locations, she provided the Mayor and Council with information previously provided by Florida Textile Recycling during their presentation which included a rendering of the private and public locations throughout the City. This information was provided to assist Council in future discussions moving forward.

D. Legislative Priorities Review – Andrea McCue, City Manager.

City Manager McCue provided the Mayor and Council with 16 pages of proposed legislation seeking Council feedback.

Mayor Flores announced his future attendance at Palm Beach County Days in Tallahassee. With the passing of recent legislation that had a direct impact on municipalities he believed this was a great first step in working with the League of Cities and municipalities. His hope was to put Greenacres in the minds of our state legislators.

E. Ordinance Presentation Procedure – Judy Dugo, Council Member

Council Member Dugo suggested that in an effort to expedite meetings, ordinances and resolutions should read into the record on first reading only.

City Attorney Stokes clarified that staff performs full presentations on first and second reading of all ordinances. Florida Statutes requires the reading of first and second reading; however, generally, staff does not need to provide a full presentation for both public hearings, only at first reading. He suggested having further discussion on incorporating quasi-judicial matters and meeting procedural changes as well.

Mayor Flores called for a consensus on having the City Attorney and City Clerk research and present information on meeting procedures.

Deputy Mayor Bousquet: Yes.
 Council Member Tharp: Yes.
 Council Member Noble: Passed.
 Council Member Dugo: Yes.
 Council Member Thelusme: Yes.

10. Staff Comments:

A. City Manager's Report.

- Lunch with Santa – She thanked staff for the great events since the last meeting
- Passport Acceptance Program – The application has been submitted and the City is awaiting a response from the Department of State.
- Medical Marijuana Moratorium – A Council Workshop is scheduled for January 16, 2018.
- Legislative Session App – This is a one-stop shop that includes the 2018 Action Agenda, bill summaries, a directory of state legislators, policy committee information, advocacy resources and more.
- News Rack Placement Policy – The County has a policy that regulates newspaper racks. She will forward the information to the Mayor and Council.
- Fire Rescue Toy Collection for the Children's Hospital at Palms West – Toys will be collected through December 20th and delivered to the hospital on December 24th.
- 2018 Municipal Election - Candidate qualifying goes through December 19th at noon for Council Seats II, III and IV.
- Holiday Schedule - City Offices will be closed December 25-26, 2017 for the holiday.

B. City Attorney's Report. None.

11. Mayor and City Council Reports.

District I – Council Member Tharp wished everyone Happy Holidays and Happy Hanukkah and thanked PBSO for their holiday party.

District II – Council Member Noble commended Mark Eastman of the Lake Worth Herald for his wonderful photo of the horse and carriage with Santa. He was hopeful that between

now and making a final decision on Aldi's, the City will research the cost to pave Chickasaw Road. He emphasized that the City has \$1.9 million of local gas tax monies that are earmarked specifically for road construction. As part of the deal, he recommended annexing nearby residents in unincorporated Palm Beach County.

Mayor Flores asked if preliminary costs for the road were available.

City Manager McCue reported that the estimate received for resurfacing Wry Road and Chickasaw Circle was \$60,000. As for Chickasaw Road, more research would be required. Public Works Director Carlos Cedeno will be contacting the Lake Worth Drainage District to gather more information and she will be meeting with the Planning and Engineering Director and representatives from Aldi's to work out a solution.

District III – Council Member Dugo had nothing new to report.

District IV – Council Member Thelusme thanked the Mayor, Council and staff for their support the seven months he has served on the Council and wished everyone Happy Holidays. He reported on attending a productive meeting with the sports director of Palm Beach County, the City Manager and Leisure Services staff where they discussed how to better promote Greenacres and attract more sporting events. The County is looking for multi-purpose fields and the City is looking into future accommodations. A club in Boca Raton has shown an interest in using unused land at Freedom Park.

District V – Deputy Mayor Bousquet thanked the Mayor, City Manager, Department Directors, Fire Rescue and PBSO for holding fabulous events. The feedback she has received from residents has been very positive.

Mayor – Mayor Flores announced his upcoming participation in a Puerto Rican tradition of Christmas caroling at Community Park, Wednesday, Dec. 20th between from 6:00 pm-9:00 pm and invited everyone to attend.

Mayor Flores wanted to discuss shopping carts, specifically on South Jog Road in unincorporated Palm Beach County and suggested meeting with shopping plaza owners.

City Manager McCue noted that Council had previously discussed meeting with plaza owners as part of the economic development vision and marketing of the City. The focus was to get plaza owners engaged in the City's plans to improve aesthetics. She reported that meetings could begin as soon as February. Public Works staff have been actively removing carts across from the Post Office. Trying to contact the responsible parties to get them removed can be costly and timely. She urged Council to contact Public Works if they see any carts. She explained that the confusion lies with residents not realizing the City's boundaries.

Mayor Flores stressed the desire to have a healthy discussion on shopping carts since he did not agree with City staff removing the carts when it should be the responsibility of the store owners. –He asked that this topic be added to a future agenda for discussion.

Mayor Flores heard tonight from many residents regarding the proposed Aldi's. He reported receiving emails and Facebook messages from residents in support of the project from an economic standpoint as it would provide added revenue and job opportunities.

He urged that road improvements need to be considered. Aldi's will provide affordable food prices and economic growth to the City.

Council Member Noble thanked City Manager McCue for immediately pursuing his idea of approaching Aldi's and upon being contacted, Aldi's agreed to come into the City. He reiterated the need to resolve the Chickasaw Road issue.

12. Adjournment.

Deputy Mayor Bousquet moved to adjourn the meeting, seconded by Council Member Thelusme. The meeting adjourned at 10:06 p.m.

CITY COUNCIL

Respectfully submitted,

Joel Flores
Mayor

Joanna Cunningham, MMC
City Clerk

Date Approved: _____

/mel

Attachment

PROCLAMATION



OF THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, PROCLAIMING “SCHOOL CHOICE WEEK” FOR JANUARY 21-27, 2018

WHEREAS, all children in Greenacres should have access to the highest-quality education possible; and

WHEREAS, Greenacres recognizes the important role that an effective education plays in preparing all students in Greenacres to be successful adults; and

WHEREAS, quality education is critically important to the economic vitality of Greenacres; and

WHEREAS, Greenacres is home to a variety of high quality public and non-public schools from which parents can choose for their children, in addition to families who educate their children in the home; and

WHEREAS, educational variety not only helps to diversify our economy, but also enhances the vibrancy of our community; and

WHEREAS, Greenacres has many high-quality teaching professionals in all types of school settings who are committed to educating our children; and

WHEREAS, “School Choice Week” is celebrated across the country by millions of students, parents, educators, schools and organizations to raise awareness of the need for effective educational options; and

NOW, THEREFORE, I, Joel Flores, Mayor of the City of Greenacres, proclaim the week of January 21-27, 2018 as “School Choice Week” in Greenacres and call this observance to the attention of all of our citizens.

Given under my Hand and Seal of the City of
Greenacres, Florida this 22nd day of January,
2018.

Joel Flores, Mayor

Attest:

Joanna Cunningham, City Clerk

CITY OF GREENACRES

Council Agenda Memo
2018.01KF03.010

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **Resolution No. 2018-01**
Original Section First Street Stormwater Drainage Enhancement Phase 5
2018-2019 CDBG Application
City Council Agenda Item for 01-22-18

DATE: January 3, 2018

COPIES: James D. Stokes, City Attorney
Joanna Cunningham, City Clerk
File: CDBG 2018-2019

Background:

The Palm Beach County Department of Economic Sustainability (DES) provides grants through the Community Development Block Grant (CDBG) program to local governments to provide for either housing or capital improvements in designated Target Areas. The City has previously secured grants from DES to assist in the redevelopment of Ira Van Bullock Park; the installation of sidewalks and canal crossing improvements along Fleming, Jennings, Perry, Martin, Broward, Walker and Jackson Avenues south of 10th Avenue North; the improvement of Swain Boulevard, Jackson, Martin, Broward, Walker, Perry, Jennings and Fleming Avenues north of 10th Avenue North; the construction of Phase II of the Community Center parking lot on the site of the old Public Works building; the enhancement of Ira Van Bullock Park by adding recreational amenities at the old Public Works compound; the renovation of 301 Swain Boulevard; the construction of Phases 2 through 5 of the 10th Avenue North gravity sewer extension project; and Phases 1 through 4 of the stormwater drainage improvement project. These areas are located within the Original Section, the City's designated Target Area. DES is currently requesting applications for the 2018-2019 Action Plan. The City is proposing that this year's CDBG application include a project to enhance the stormwater drainage north of Biscayne Drive between Swain Boulevard and the E-3 Canal in the Original Section. The CDBG application will request a grant of approximately \$125,000 to fund these improvements.

Analysis:

In addition to furthering the goals and objectives of the Comprehensive Plan, this request through the CDBG program will enhance the living conditions in the area by improving drainage system performance and reducing flooding. Recent storm events, including Tropical Storm Isaac on August 27, 2012, revealed weaknesses in the current drainage arrangements for the Original Section, and the project will address one of these weaknesses.

Legal:

If the project is recommended for approval by DES, the City will enter into an agreement with DES as the City has done previously.

Financial:

The City will be requesting approximately \$125,000 as part of the Fiscal Year 2017-2018 grant application. CDBG grants do not require matching funds and this work will be proposed for the City's Capital Improvement Program for FY 2019; thus, there are no adverse financial impacts associated with this grant application.

Staff Recommendation:

Approval of Resolution 2018-01 authorizing staff to submit the Fiscal Year 2018-2019 CDBG grant application to the Palm Beach County Department of Economic Sustainability.



Kara L. Irwin-Ferris, AICP
Planning and Engineering Director

Attachment:

1. Resolution 2018-01

RESOLUTION NO. 2018-01

A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, AUTHORIZING THE SUBMITTAL OF AN APPLICATION TO THE PALM BEACH COUNTY DEPARTMENT OF ECONOMIC SUSTAINABILITY FOR COMMUNITY DEVELOPMENT BLOCK GRANT FUNDING FOR FY 2018-2019, FOR PHASE 5 OF THE STORMWATER DRAINAGE ENHANCEMENT PROJECT IN THE ORIGINAL SECTION; AND AUTHORIZING THE APPROPRIATE CITY OFFICIALS TO EXECUTE ALL NECESSARY DOCUMENTS.

WHEREAS, the City Council entered into an Interlocal Agreement with Palm Beach County on June 5, 2017, for the Community Development Block Grant program to qualify for appropriations in Federal Fiscal Years 2018, 2019, and 2020; and

WHEREAS, the City Council has identified the Original Section of the City as a target area eligible for authorized Community Development Block Grant activities; and

WHEREAS, it was determined there is a need for Phase 5 of the Stormwater Drainage Enhancement Project in the Original Section of the City of Greenacres; entailing the construction of a stormwater conveyance system north of and flowing into the First Street collection system between the Lake Worth Drainage District E-3 Canal and the Haverhill Road constructed in Phase 1 thru 4 and restoration of pavement, driveways, and sidewalks disturbed by the construction; and

WHEREAS, the City Council has determined that this project has priority and is consistent with all relevant sections of the City's adopted Comprehensive Plan.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, THAT:

Section 1. The City Council grants authorization for the submittal of the application to the Palm Beach County Department of Economic Sustainability for FY 2018-

2019 Community Development Block Grant (CDBG) funding for the Phase 5 of the Stormwater Drainage Enhancement Project in the Original Section of the City of Greenacres.

Section 2. The City authorizes the appropriate City officials to execute and submit all documents for the 2018-2019 Community Development Block Grant Application.

RESOLVED AND ADOPTED this 22nd of January, 2018.

Voted

Joel Flores
Mayor

Paula Bousquet
Deputy Mayor

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Attest:

Joanna Cunningham
City Clerk

John Tharp
Council Member, District I

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Peter Noble
Council Member, District II

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Judith Dugo
Council Member, District III

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Anderson Thelusme
Council Member, District IV

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Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney

RESOLUTION NO. 2018-02

A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES FLORIDA, OPPOSING LEGISLATIVE EFFORTS TO IMPEDE THE CONSTITUTIONAL RIGHT FLORIDA'S CITIZENS HAVE ENJOYED FOR NEARLY 50 YEARS TO GOVERN THEMSELVES UNDER MUNICIPAL HOME RULE POWERS; OPPOSING THE LEGISLATURE'S PERSISTENT INTRUSION INTO LOCAL FINANCES, WHICH ARE NECESSARY TO PROVIDE FINANCIAL STABILITY AND ESSENTIAL SERVICES UNIQUELY REQUIRED BY MUNICIPAL RESIDENTS AND LOCAL BUSINESSES; DIRECTING CITY ADMINISTRATION TO TRANSMIT A CERTIFIED COPY OF THIS RESOLUTION TO THE FLORIDA LEAGUE OF CITIES, THE PALM BEACH COUNTY LEGISLATIVE DELEGATION AND ANY OTHER INTERESTED PARTIES; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, it is the expressed will of the voters of Florida to have the right to govern themselves under municipal Home Rule powers; and

WHEREAS, Floridians have possessed this constitutional right of local self-government for nearly 50 years; and

WHEREAS, as the only form of voluntary government, Florida's municipalities are the embodiment of the Florida Constitution's right of local self-government; and

WHEREAS, municipal Home Rule powers include all governmental, corporate and proprietary powers necessary to conduct municipal government, perform municipal functions and render municipal services for the unique benefit of the people who live and work within a municipality; and

WHEREAS, Floridians exercise their Home Rule powers by voting to incorporate and be governed under a municipal form of government for a variety of reasons, including increased services, a unique business and residential environment, and greater voice in how their government is run; and

WHEREAS, municipal citizens further exercise their Home Rule powers by voting on a charter that specifies the desired form, functions and powers of their municipal government; and

WHEREAS, Floridians' constitutional right to govern themselves locally under municipal Home Rule powers and pursuant to their adopted municipal charters, is being increasingly eroded and limited by actions of the Florida Legislature; and

WHEREAS, these actions of the Florida Legislature take power away from Florida citizens to ensure their chosen municipal government provides their desired level of

services, offers their desired quality of life and otherwise meets their needs in a timely and effective manner; and

WHEREAS, municipalities are authorized by the Florida Constitution and by general law to levy ad valorem and other forms of local taxation, and are further authorized by general law and their Home Rule powers to impose special assessments and fees; and

WHEREAS, municipal residents and local businesses pay local taxes, assessments and fees for the specific purpose of obtaining and enhancing their desired level of municipal services and amenities; and

WHEREAS, intrusion from the Florida Legislature into municipal finances prohibits elected municipal leaders from meeting the expectations of their residents and local businesses that local revenues will be used as intended; and

WHEREAS, the Florida League of Cities has included the protection of local self-government under municipal Home Rule powers as one of its 2018 Legislative Priorities.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, THAT:

Section 1. The above "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are incorporated herein by this reference.

Section 2. The City Council of the City of Greenacres urges all members of the Florida Legislature to oppose legislation that limits Floridians' constitutional right to govern themselves under municipal Home Rule Powers.

Section 3. The City Council of the City of Greenacres urges all members of the Florida Legislature to oppose legislation that would interfere with or intrude into municipal finances.

Section 4. City administration is directed to transmit a certified copy of this Resolution to the Florida League of Cities, the Palm Beach County Legislative Delegation and any other interested parties.

Section 5. All Resolutions or parts of Resolutions in conflict herewith, be and the same are repealed to the extent of such conflict.

Section 6. If any section, sentence, clause or phrase of this Resolution is held to be invalid or unconstitutional by any court of competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of this Resolution.

Section 7. This Resolution shall become effective immediately upon its passage and adoption.

RESOLVED AND ADOPTED this 22nd day of January, 2018

Voted

Joel Flores
Mayor

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Paula Bousquet
Deputy Mayor

Attest:

Joanna Cunningham
City Clerk

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John Tharp
Council Member, District I

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Peter Noble
Council Member, District II

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Judith Dugo
Council Member, District III

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Anderson Thelusme
Council Member, District IV

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney



2018

Legislative
Issue
Briefs



Local Self-Government

Priority Statement:

The Florida League of Cities seeks to strengthen and protect the fundamental concept of local self-government, and will **OPPOSE** legislative efforts to impede the constitutional right Floridians have enjoyed for nearly 50 years to govern themselves under municipal Home Rule powers. Additionally, the Florida League of Cities **OPPOSES** the Legislature's persistent intrusion into local finances, which are necessary to provide financial stability and essential services uniquely required by municipal residents and local businesses.

Background:

In Florida, local self-government is not a gift of the state Legislature...it is the expressed will of the people. It was added to the Florida Constitution nearly 50 years ago by a statewide vote of the electorate. Floridians voted to empower themselves with the right of local self-government, or Home Rule. As the only form of voluntary government, Florida's municipalities are the embodiment of this right.

A city is created by its citizens for a variety of reasons, including increased services, a desirable business or residential environment, and more voice in how their government is run. Florida law specifies the standards for the formation of a municipality. The multi-step process is not an easy one, and it should not be. The process takes commitment, tenacity and hard work of residents who volunteer their time for the cause. Local citizens take the first step by having a feasibility study to determine if the community should incorporate, and they develop a charter that specifies the form, functions and power of their proposed city government. These steps can take a year or more to complete.

Next, the proposal is presented to the Legislature for a review of whether it meets statutory requirements for incorporation. Following a successful review, the proposed charter is adopted by a special act of the Legislature. The final step must be taken by local citizens: approval of the incorporation and charter by voters in a local referendum.

Home Rule authorizes the governmental, corporate and proprietary powers necessary to conduct municipal government, perform municipal functions, and render municipal services. At its core, Home Rule is demonstrated by the level of services provided within a municipality and, to a much lesser extent, by exercises of regulatory power.

Citizens in cities expect various municipal services: water, sewer, garbage collection, storm water systems, roads, sidewalks, fire protection, law enforcement, parks and recreation. Citizens also expect municipal officials to exercise regulatory powers when necessary to protect public health, safety and community standards specific to the municipality in which they choose to live. These expectations cannot be met if municipal officials do not have the authority to respond to local needs and preferences, or to address them in a timely manner.

Contact: David Cruz, Assistant General Counsel – 850-701-3676 – dcruz@flcities.com

Municipalities are authorized by the Florida Constitution to levy ad valorem taxes, and are further authorized by statute to levy other forms of local taxation. In addition, municipalities are authorized under their constitutional Home Rule powers to impose special assessments and fees for municipal services. Municipal citizens pay local taxes, assessments and fees for the specific purpose of obtaining and enhancing municipal services and amenities. Citizens expect their elected city leaders to use these local revenue proceeds for local municipal purposes, and not for state purposes (that should be paid for with state taxes).

Home Rule is why no two cities are alike. City residents take pride in this diversity. Strong Home Rule powers ensure that government stays close to the people it serves. Intrusion on Home Rule from the state or federal government undermines the constitutional right of citizens to govern themselves. Intrusion from the state or federal government into local finances prohibits elected city leaders from meeting the expectations of their citizens that local revenues will be used as intended by the citizens.

Status:

CS/HB 17 (Fine) and **SB 1158** (Passidomo), introduced in the 2017 legislative session, would have effectively preempted to the state the authority of municipal governments to impose local requirements on businesses, professions, commerce and trade. While the bills differed in approach, their ultimate effect was the same. In short, the right of local citizens to govern themselves through the exercise of municipal Home Rule powers would have been severely restricted. The bills eviscerated principles of local self-government by transferring local decision-making to the state Legislature. CS/HB 17 passed the House Careers & Competition Subcommittee but ultimately died in the House Commerce Committee. SB 1158 died in the Senate Commerce and Tourism Committee.

In addition to CS/HB 17 and SB 1158, numerous proposals to restrict local self-government were introduced in the 2017 legislative session. Examples of 2017 proposals include, but are not limited to, the following issues: Building and Land Use; Small-Cell Wireless; Community Redevelopment Agencies; Vacation Rentals; Municipal Elections, Medical Marijuana; Concealed Weapons and Firearms; Firefighter Cancer Disability Presumption; Local Business Taxes; Fiscal Transparency; Ad Valorem Taxes; Stormwater and Wastewater Management; Traffic Infraction Detectors; and Drones. These proposals involved either preemptions of municipal powers or intrusion into municipal finances, and sometimes both.

The League anticipates that legislative efforts to divest citizens of their powers of local self-government and transfer control over local decisions to the state Legislature will continue in the 2018 legislative session.

Revised: 11/27/2017

Contact: David Cruz, Deputy General Counsel – 850-701-3676 – dcruz@flcities.com

CITY OF GREENACRES
Council Agenda Memo
2018.01NK2.01

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: James McInnis, Director of Finance

SUBJECT: **Resolution 2018-03 Release of Liens for Solid Waste Collection**

DATE: January 22, 2018

COPIES: James D. Stokes, City Attorney
Joanna Cunningham, City Clerk

BACKGROUND:

Section 15-30, City of Greenacres Code, provides for the imposition of liens upon residential properties for the non-payment of City solid waste bills. Section 15-32, City of Greenacres Code, provides for release of the liens when accounts are paid in full.

ANALYSIS:

One Hundred Six (106) liens on 59 solid waste accounts totaling \$22,107.78 have been paid in full. The attached resolution 2018-03 releases the 106 liens on 59 accounts.

FINANCIAL:

Liens amounting to \$22,107.78 have been paid in full and are proposed for release.

LEGAL:

The resolution has been prepared in accordance with applicable City regulations.

STAFF RECOMMENDATION:

Approval of Resolution 2018-03.

James McInnis
Director of Finance

Attachments:

1. Resolution 2018-03
2. Exhibit A

RESOLUTION NO. 2018-03

A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, SATISFYING CERTAIN LIENS IMPOSED AGAINST RESIDENTIAL PROPERTY, PURSUANT TO SECTION 15-32, CITY OF GREENACRES CODE.

WHEREAS, the City Council of Greenacres, Florida, adopted Resolutions contained in the list, attached hereto as Exhibit "A", imposing liens upon certain residential properties for the owners' failure to pay for the collection and disposal of garbage, recyclable materials and vegetative waste as required by Section 15-26, City of Greenacres Code; and

WHEREAS, the owners of the residential properties contained in Exhibit "A", have brought their accounts current for the payment of the debts and charges for the collection and disposal of garbage, recyclable materials and vegetative waste, plus applicable interest and administrative fees.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, THAT:

Section 1. Under the terms of Section 15-32, City of Greenacres Code, residential properties contained in the list supplied by the Finance Department of Greenacres, Florida, attached to this Resolution as Exhibit "A", have satisfied their imposed liens as recorded with the Clerk of the Circuit Court in and for Palm Beach County, Florida, in Official Records Book.

Section 2. This Resolution shall be recorded in the Public Records of Palm Beach County, Florida, and shall have the effect of releasing said liens against those residential properties contained in the list attached hereto as Exhibit "A" only.

RESOLVED AND ADOPTED this 22nd day of January 2018.

Voted

Joel Flores
Mayor

Paula Bousquet
Deputy Mayor

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Attest:

Joanna Cunningham
City Clerk

John Tharp
Council Member, District I

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Peter Noble
Council Member, District II

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Judith Dugo
Council Member, District III

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Anderson Thelusme
Council Member, District IV

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Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney

Exhibit A

City of Greenacres Solid Waste Collections

RELEASE OF LIENS

Through December 2017

Acct #	Name	Address	City	St	Zip	PCN	Lien #	Amount	Release Res #
01410-001	Ncl Financial Services	606 Maplewood Dr	Greenacres	FL	33415	18-42-44-10-05-006-0010	2017-40	\$ 221.23	2018-13
01820-001	Bayview Loan Servicing Llc,	5551 S 37th St	Greenacres	FL	33463	18-42-44-23-03-007-0040	2017-40	\$ 221.23	2018-13
01959-001	Perez, Ana	5601 S 35th Ct	Greenacres	FL	33463	18-42-44-23-06-011-0090	2008-29	\$ 127.32	2018-13
01959-001	Perez, Ana	5601 S 35th Ct	Greenacres	FL	33463	18-42-44-23-06-011-0090	2014-05	\$ 887.08	2018-13
01959-001	Perez, Ana	5601 S 35th Ct	Greenacres	FL	33463	18-42-44-23-06-011-0090	2015-04	\$ 271.28	2018-13
01959-001	Perez, Ana	5601 S 35th Ct	Greenacres	FL	33463	18-42-44-23-06-090-0090	2016-11	\$ 334.93	2018-13
01959-001	Perez, Ana	5601 S 35th Ct	Greenacres	FL	33463	18-42-44-23-06-011-0090	2017-14	\$ 378.53	2018-13
02005-001	Bank Of New York Mellon Tr,	5991 S 38th Ct	Greenacres	FL	33463	18-42-44-23-07-000-0160	2017-40	\$ 161.38	2018-13
02386-001	Federal National Mortgage Assn	5812 S 38th St	Greenacres	FL	33463	18-42-44-23-08-004-0122	2017-40	\$ 221.74	2018-13
02409-001	Federal Natl Mrtg Assn	3805 S 57th Ave	Greenacres	FL	33463	18-42-44-23-08-201-0201	2016-39	\$ 157.57	2018-13
02409-001	Federal Natl Mrtg Assn	3805 S 57th Ave	Greenacres	FL	33463	18-42-44-23-08-004-0201	2017-40	\$ 182.18	2018-13
02419-001	Onewest Bank Fsb,	6175 Elsinore Cir	Greenacres	FL	33463	18-42-44-22-31-010-0010	2016-39	\$ 157.56	2018-13
02419-001	Onewest Bank Fsb,	6175 Elsinore Cir	Greenacres	FL	33463	18-42-44-22-31-000-0010	2017-40	\$ 182.18	2018-13
02495-001	Campo, Jorge	6107 Newstead Ct	Greenacres	FL	33463	18-42-44-22-31-770-0770	2016-11	\$ 159.37	2018-13
02495-001	Campo, Jorge	6107 Newstead Ct	Greenacres	FL	33463	18-42-44-22-31-770-0770	2017-14	\$ 178.47	2018-13
02579-001	Federal National Mortgage Assn	6169 Olivewood Cir	Greenacres	FL	33463	18-42-44-22-12-040-0040	2016-39	\$ 157.57	2018-13
02579-001	Federal National Mortgage Assn	6169 Olivewood Cir	Greenacres	FL	33463	18-42-44-22-12-001-0040	2017-40	\$ 182.19	2018-13
02795-001	Greenstein , Peter R	3496 Chickasaw Cir	Greenacres	FL	33467	18-42-44-22-13-010-0010	2017-40	\$ 160.57	2018-13
02842-001	Aguirre, Enrique	4594 Gladiator Cir	Greenacres	FL	33463	18-42-44-25-18-001-0112	2017-40	\$ 161.38	2018-13
02893-001	Marvin, Patricia	4575 Gladiator Cir	Greenacres	FL	33463	18-42-44-25-18-003-0024	2014-05	\$ 97.59	2018-13
02893-001	Marvin, Patricia	4575 Gladiator Cir	Greenacres	FL	33463	18-42-44-25-18-003-0024	2015-46	\$ 176.83	2018-13
02893-001	Marvin, Patricia	4575 Gladiator Cir	Greenacres	FL	33463	18-42-44-25-18-003-0024	2017-14	\$ 270.88	2018-13
03031-001	A Lopez Investments, Inc.	4730 Chariot Cir	Greenacres	FL	33463	18-42-44-25-18-006-0162	2017-40	\$ 221.23	2018-13
03052-001	Ramirez, Ruben	4793 Chariot Cir	Greenacres	FL	33463	18-42-44-25-18-006-0262	2017-40	\$ 161.38	2018-13
03058-001	Gamarra, Miguel & Jackeline	4792 Chariot Cir	Greenacres	FL	33463	18-42-44-25-18-007-0021	2017-40	\$ 161.38	2018-13
03067-001	Poonai, Adesh	4721 Chariot Cir	Greenacres	FL	33463	18-42-44-25-18-007-0081	2017-40	\$ 161.38	2018-13
03089-001	Amsaran Rohine	4178 Caesar Cir	Greenacres	FL	33463	18-42-44-25-19-001-0170	2017-40	\$ 161.38	2018-13
03190-001	Andrade/Zuluaga, Jenny/Hector	4607 Centurian Cir	Greenacres	FL	33463	18-42-44-25-19-003-0072	2013-36	\$ 96.54	2018-13
03190-001	Andrade/Zuluaga, Jenny/Hector	4607 Centurian Cir	Greenacres	FL	33463	18-42-44-25-19-003-0072	2014-29	\$ 166.76	2018-13
03190-001	Zuluaga/Andrade, H	4607 Centurian Cir	Greenacres	FL	33463	18-42-44-25-19-003-0072	2015-46	\$ 194.71	2018-13
03190-001	Zuluaga/Andrade, Hector/Jenny	4607 Centurian Cir	Greenacres	FL	33463	18-42-44-25-19-003-0072	2017-14	\$ 306.68	2018-13
03320-001	Medrano, Jose & Maria	430 Jackson Ave	Greenacres	FL	33463	18-42-44-23-01-004-0090	2010-35	\$ 92.02	2018-13
03320-001	Medrano, Jose & Maria	430 Jackson Ave	Greenacres	FL	33463	18-42-44-23-01-004-0090	2011-39	\$ 158.35	2018-13
03320-001	Medrano, Jose & Maria	430 Jackson Ave	Greenacres	FL	33463	18-42-44-23-01-004-0090	2012-25	\$ 181.92	2018-13
03320-001	Medrano, Jose & Maria	430 Jackson Ave	Greenacres	FL	33463	18-42-44-23-01-004-0090	2013-36	\$ 207.19	2018-13
03320-001	Medrano, Jose & Maria	430 Jackson Ave	Greenacres	FL	33463	18-42-44-23-01-090-0090	2016-11	\$ 177.40	2018-13
03320-001	Medrano, Jose & Maria	430 Jackson Ave	Greenacres	FL	33463	18-42-44-23-01-004-0090	2017-14	\$ 268.45	2018-13
03779-001	Federal National Mortgage Association	529 Jennings Ave	Greenacres	FL	33463	18-42-44-23-01-044-0240	2017-40	\$ 161.38	2018-13

City of Greenacres Solid Waste Collections

RELEASE OF LIENS

Through December 2017

Acct #	Name	Address	City	St	Zip	PCN	Lien #	Amount	Release Res #
03822-001	19650 Black Llc	204 Fleming Ave	Greenacres	FL	33463	18-42-44-23-01-047-0020	2017-40	\$ 217.05	2018-13
04106-001	Rodriguez, William	600 F-2 CROSSWINDS DR	Greenacres	FL	33413	18-42-44-15-19-002-0062	2017-40	\$ 161.38	2018-13
04289-001	Vann, David & Jan	453 Martin Ave	Greenacres	FL	33463	18-42-44-23-01-033-0210	2017-40	\$ 215.46	2018-13
04444-001	Bisignano, Gary	903 Timberlane Cir	Greenacres	FL	33463	18-42-44-27-21-000-0093	2017-40	\$ 221.23	2018-13
04806-001	Harrison, Maureen	103 Woodlake Circle	Greenacres	FL	33463	18-42-44-22-49-000-0280	2015-46	\$ 282.91	2018-13
04806-001	Harrison, Maureen & Chester	109 Woodlake Cir	Greenacres	FL	33463	18-42-44-22-49-000-0280	2017-14	\$ 250.44	2018-13
04900-001	Federal National Mortgage Assn	227 Maplewood Ln	Greenacres	FL	33463	18-42-44-22-49-000-1250	2017-40	\$ 221.22	2018-13
05315-001	Suarez, Giovanni & Giovanna	256 Malibu Circle	Greenacres	FL	33413	18-42-44-10-21-000-0090	2008-29	\$ 127.32	2018-13
05315-001	Suarez, Giovanni & Giovanna	256 Malibu Circle	Greenacres	FL	33413	18-42-44-10-21-000-0090	2011-07	\$ 351.42	2018-13
05315-001	Suarez, Giovanni & Giovanna	256 Malibu Circle	Greenacres	FL	33413	18-42-44-10-21-000-0090	2012-05	\$ 207.55	2018-13
05315-001	Suarez, Giovanni & Giovanna	256 Malibu Circle	Greenacres	FL	33413	18-42-44-10-21-000-0090	2014-05	\$ 458.77	2018-13
05315-001	Suarez, Giovanni &	256 Malibu Circle	Greenacres	FL	33413	18-42-44-10-21-000-0090	2015-46	\$ 226.45	2018-13
05546-001	Dahl , Alfred	6725 Eagle Ridge Dr	Greenacres	FL	33413	18-42-43-27-05-021-0141	2017-40	\$ 220.49	2018-13
05578-001	Federal National Mortgage Assn	3614 Harwich Ct	Greenacres	FL	33467	18-42-44-22-37-000-0180	2017-40	\$ 221.22	2018-13
05735-001	Federal National Mrtg Assn	2244 Soundings Ct	Greenacres	FL	33413	18-42-44-15-42-350-0350	2016-11	\$ 156.93	2018-13
05735-001	Federal National Mrtg Assn	2244 Soundings Ct	Greenacres	FL	33413	18-42-44-15-42-000-0350	2017-14	\$ 178.10	2018-13
05940-001	Freedom Mortgage Corp	1458 Fairway Cir	Greenacres	FL	33413	18-42-44-10-26-000-0170	2017-40	\$ 161.38	2018-13
06158-001	Rogers, James & Mildred	1780 Sawgrass Cir	Greenacres	FL	33413	18-42-44-10-27-000-0100	2017-40	\$ 221.22	2018-13
06181-001	Federal National Mortgage Assn	1743 Sawgrass Cir	Greenacres	FL	33413	18-42-44-10-27-000-1080	2017-40	\$ 221.23	2018-13
06306-001	Majestic Usa Investment,	1279 Olympic Cir	Greenacres	FL	33413	18-42-44-10-28-000-0250	2017-40	\$ 161.48	2018-13
07016-001	Wiscordia Llc,	6578 Spring Meadow Dr	Greenacres	FL	33413	18-42-44-03-08-000-0360	2017-40	\$ 221.24	2018-13
07177-001	Sampalocia, Lourizza	6547 Spring Meadow Dr	Greenacres	FL	33413	18-42-44-03-09-000-0620	2017-40	\$ 161.38	2018-13
07236-001	Florida Kalanit 770 Llc	5112 Crescent Moon Dr	Greenacres	FL	33463	18-42-44-35-14-000-4630	2017-40	\$ 222.51	2018-13
07372-001	S&S South Florida Properties Llc	5036 Solar Point Dr	Greenacres	FL	33463	18-42-44-35-12-000-0730	2017-40	\$ 161.38	2018-13
07391-001	Federal National Mortgage Assn	5008 Northern Lights Dr	Greenacres	FL	33463	18-42-44-35-14-000-4610	2017-40	\$ 221.23	2018-13
07408-001	Ihs Property Florida Lp	5501 Wishing Star Ln	Greenacres	FL	33463	18-42-44-35-16-000-1450	2017-40	\$ 161.38	2018-13
08065-001	Dussek, Pronel & Anelie	5503 Baja Ter	Greenacres	FL	33463	18-42-44-35-19-000-4020	2017-40	\$ 222.51	2018-13
08230-001	Jusma, Josue & Monique	5318 Island Gypsy Dr	Greenacres	FL	33463	18-42-44-35-17-040-1040	2016-39	\$ 157.57	2018-13
08230-001	Jusma, Josue & Monique	5318 Island Gypsy Dr	Greenacres	FL	33463	18-42-44-35-17-000-1040	2017-40	\$ 182.18	2018-13
08524-001	Esteve, Jesula	901 Seminole Palms Dr	Greenacres	FL	33463	18-42-44-27-30-000-1070	2010-35	\$ 138.79	2018-13
08524-001	Esteve, Jesula	901 Seminole Palms Dr	Greenacres	FL	33463	18-42-44-27-30-000-1070	2011-39	\$ 164.25	2018-13
08524-001	Esteve, Jesula	901 Seminole Palms Dr	Greenacres	FL	33463	18-42-44-27-30-000-1070	2013-36	\$ 347.48	2018-13
08524-001	Esteve, Jesula	901 Seminole Palms Dr	Greenacres	FL	33463	18-42-44-27-30-000-1070	2014-29	\$ 236.92	2018-13
08524-001	Esteve, Jesula	901 Seminole Palms Dr	Greenacres	FL	33463	18-42-44-27-30-000-1070	2015-46	\$ 280.81	2018-13
08524-001	Esteve, Jesula	901 Seminole Palms Dr	Greenacres	FL	33463	18-42-44-27-30-000-1070	2017-14	\$ 445.08	2018-13
08560-001	Paul, Immaculene, Sadirat &	2602 Seminole Palms Dr	Greenacres	FL	33463	18-42-44-27-30-000-0660	2017-40	\$ 221.23	2018-13
08615-001	Heraut, Elange	117 Two Pine Dr	Greenacres	FL	33413	18-42-44-15-48-000-0270	2017-40	\$ 161.38	2018-13
08630-001	Lherisson, Eben R	134 Two Pine Dr	Greenacres	FL	33413	18-42-44-15-48-000-0170	2017-40	\$ 161.38	2018-13

City of Greenaces Solid Waste Collections

RELEASE OF LIENS

Through December 2017

Acct #	Name	Address	City	St	Zip	PCN	Lien #	Amount	Release Res #
08775-001	Best Landlord LLC,	5848 Erik Way	Greenacres	FL	33463	18-42-44-25-40-060-0060	2016-11	\$ 214.15	2018-13
08775-001	Best Landlord Llc	5848 Erik Way	Greenacres	FL	33463	18-42-44-25-40-060-0060	2017-14	\$ 185.95	2018-13
08777-001	Abotbool, David	5844 Erik Way	Greenacres	FL	33463	18-42-44-25-40-02-0020	2014-29	\$ 98.72	2018-13
08777-001	Abotbool, David	5844 Erik Way	Greenacres	FL	33463	18-42-44-25-40-02-0020	2015-46	\$ 171.99	2018-13
08777-001	Abotbool, David	5844 Erik Way	Greenacres	FL	33463	18-42-44-25-40-02-0020	2017-14	\$ 270.12	2018-13
08781-001	Morris, Jeff	5832 Erik Way	Greenacres	FL	33463	18-42-44-25-40-003-0020	2015-04	\$ 98.84	2018-13
08781-001	Morris, Jeff	5832 Erik Way	Greenacres	FL	33463	18-42-44-25-40-020-0020	2016-11	\$ 171.07	2018-13
08781-001	Morris, Jeff	5832 Erik Way	Greenacres	FL	33463	18-42-44-25-40-003-0020	2017-14	\$ 193.54	2018-13
08782-001	Morris, Jeff	5826 Erik Way	Greenacres	FL	33463	18-42-44-25-40-003-0050	2015-04	\$ 98.84	2018-13
08782-001	Morris, Jeff	5826 Erik Way	Greenacres	FL	33463	18-42-44-25-40-050-0050	2016-11	\$ 171.07	2018-13
08782-001	Morris, Jeff	5826 Erik Way	Greenacres	FL	33463	18-42-44-25-40-003-0050	2017-14	\$ 193.54	2018-13
08783-001	Federal National Mrtg Assn	5824 Erik Way	Greenacres	FL	33463	18-42-44-25-40-003-0060	2017-40	\$ 161.38	2018-13
08786-001	Morris, Jeffrey	5830 Erik Way	Greenacres	FL	33463	18-42-44-25-40-003-0030	2015-04	\$ 98.84	2018-13
08786-001	Morris, Jeff	5830 Erik Way	Greenacres	FL	33463	18-42-44-25-40-030-0030	2016-11	\$ 171.07	2018-13
08786-001	Morris, Jeff	5830 Erik Way	Greenacres	FL	33463	18-42-44-25-40-003-0030	2017-14	\$ 193.54	2018-13
08787-001	Morris, Jeff	5828 Erik Way	Greenacres	FL	33463	18-42-44-25-40-003-0040	2015-04	\$ 98.84	2018-13
08787-001	Morris, Jeff	5828 Erik Way	Greenacres	FL	33463	18-42-44-25-40-040-0040	2016-11	\$ 171.07	2018-13
08787-001	Morris, Jeff	5828 Erik Way	Greenacres	FL	33463	18-42-44-25-40-003-0040	2017-14	\$ 193.54	2018-13
08788-001	Best Landlord LLC,	5822 Erik Way	Greenacres	FL	33463	18-42-44-25-40-010-0010	2016-11	\$ 214.15	2018-13
08788-001	Best Landlord Llc	5822 Erik Way	Greenacres	FL	33463	18-42-44-25-40-010-0010	2017-14	\$ 185.95	2018-13
08789-001	Best Landlord LLC,	5820 Erik Way	Greenacres	FL	33463	18-42-44-25-40-020-0020	2016-11	\$ 214.15	2018-13
08789-001	Best Landlord Llc	5820 Erik Way	Greenacres	FL	33463	18-42-44-25-40-020-0020	2017-14	\$ 185.95	2018-13
08793-001	Morris, Jeffrey	5818 Erik Way	Greenacres	FL	33463	18-42-44-25-40-004-0030	2015-04	\$ 98.84	2018-13
08793-001	Morris, Jeffery	5818 Erik Way	Greenacres	FL	33463	18-42-44-25-40-030-0030	2016-11	\$ 171.07	2018-13
08793-001	Morris, Jeffery	5818 Erik Way	Greenacres	FL	33463	18-42-44-25-40-004-0030	2017-14	\$ 193.54	2018-13
08961-001	Citimortgage Inc	461 Jennings Ave	Greenacres	FL	33463	18-42-44-23-01-045-0190	2014-29	\$ 602.77	2018-13
08961-001	Citimortgage Inc	461 Jennings Ave	Greenacres	FL	33463	18-42-44-23-01-045-0190	2015-46	\$ 241.55	2018-13
08961-001	Citimortgage Inc,	461 Jennings Ave	Greenacres	FL	33463	18-42-44-23-01-045-0190	2017-14	\$ 381.93	2018-13
08963-001	Pine Grove Hoa	5860 Erik Way	Greenacres	FL	33463	18-42-44-25-40-006-0000	2017-40	\$ 221.23	2018-13
08996-001	Taber, John	3358 S Jog Rd	Greenacres	FL	33467	18-42-44-22-00-000-1100	2017-40	\$ 161.38	2018-13

106 Liens on 59 accounts

Total Amount

\$ 22,107.78

RESOLUTION NO. 2018-04

A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, AUTHORIZING THE INTERLOCAL AGREEMENT ("AGREEMENT") BETWEEN THE BOARD OF COUNTY COMMISSIONERS, PALM BEACH COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA (HEREIN REFERRED TO AS THE ("COUNTY")), AND THE CITY OF GREENACRES, A MUNICIPAL CORPORATION OF THE STATE OF FLORIDA (HEREIN REFERRED TO AS THE ("CITY")), EACH ONE CONSTITUTING A PUBLIC ENTITY AS DEFINED IN PART I OF CHAPTER 163, FLORIDA STATUTES, TO PROVIDE THE STAFFING OF EMERGENCY SHELTERS BY EMERGENCY MEDICAL SERVICES STAFF AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 163.01, Florida Statutes, known as the "Florida Interlocal Cooperation Act of 1969" authorizes local governments to make the most efficient use of their powers by enabling them to cooperate with other localities on a basis of mutual advantage and thereby to provide services and facilities that will harmonize geographic, economic, population and other factors influencing the needs and development of local communities; and

WHEREAS, Part I of Chapter 163, Florida Statutes, permits public agencies as defined therein to enter into Interlocal agreements with each other to jointly exercise any power, privilege, or authority which such agencies share in common and which each might exercise separately; and

WHEREAS, the State of Florida is vulnerable to a wide range of disasters that are likely to cause the disruption of essential services and the destruction of the infrastructure needed to deliver those services. Such disasters are likely to exceed the quality of any one local government to cope with the disasters with existing resources; and

WHEREAS, the Emergency Management Act, as amended, gives the local government of the State the authority to make agreements for mutual assistance in emergencies, and through such agreements to ensure the timely reimbursement of costs incurred by the local governments which render such assistance.

WHEREAS, the parties desire to plan for and coordinate activities relating to emergency preparedness, response, recovery, and mitigation, including planning for the medical needs of persons temporarily located at emergency shelters during a declared state of emergency; and

WHEREAS, those municipalities with emergency shelters have agreed to staff the public shelter(s) with Emergency Medical Services (EMS) staff, and advanced life

support (ALS) equipment during an emergency in order to provide for medical needs during an emergency, if needed.

NOW, THEREFORE, for and in consideration of the mutual promises contained herein, the County and the City agree as follows:

ARTICLE 1 – RECITALS

The above recitals are true, correct and incorporated herein.

ARTICLE 2 - REPRESENTATIVE/MONITORING POSITION

The County's representative/Agreement monitor during the term of this Agreement shall be Mary Blakeney, whose telephone number is (561) 712-6549.

The City's representative/contact monitor during the term of the Agreement shall be Division Chief Mark Jakubek, whose telephone number is (561) 642-2178.

ARTICLE 3 - DECLARATION OF STATE OF EMERGENCY

This Agreement is activated upon both an official declaration of emergency by the State of Florida or by Palm Beach County followed by a request of County to City for medical staffing of emergency shelters pursuant to this Agreement.

ARTICLE 4 - SHELTER STAFF REQUIREMENTS

Following a County issued declaration of local state of emergency and upon request of the County, the City shall staff each emergency shelter located within its municipal boundaries with at least one emergency medical technician and one paramedic or two paramedics (collectively the "Emergency Medical Services Staff") during the state of emergency. In addition, the City's EMS staff shall be solely responsible for providing ALS equipment as reasonably required to support the EMS staff function as long as the shelter remains open.

The shelter team at each emergency shelter will establish a clearly designated medical treatment area. The EMS Staff shall be in the performance of all work at the shelter, employees of the City and under the direction and authority of such officials and physicians as customary and required in the day-to-day provision of ALS services within the City's boundaries and subject to the City's management, supervision, control and authority. In no event shall the EMS staff employed by or assigned by the City be considered employees, agents, servants or contractors of the County.

ARTICLE 5 - REIMBURSEMENT OF COSTS

The County shall reimburse the City incurred costs of the EMS staff as mutual aid costs to the extent such are eligible costs in accordance to FEMA's Recovery Policy RP 9523.6 and applicable FEMA guidance. Within thirty (30) days of the declaration of a local state of emergency for which assistance was requested, the City shall submit to the County representative, documentation substantiating the actual costs incurred to the satisfaction of the County's Division of Emergency Managements office, the State Office of Emergency Management and/or FEMA as required for the County to apply for and process the reimbursement request. As applicable, the City may request the County's approval to submit its own claim for reimbursement.

ARTICLE 6 - FILING

A copy of this Agreement will be filed with the Clerk of Circuit Court in and for Palm Beach County and with the City's Clerk's Office.

ARTICLE 7- REMEDIES

This Agreement shall be governed by the laws of the State of Florida. Any legal action necessary to enforce the Agreement will be held in Palm Beach County. No remedy herein conferred upon any party is intended to be exclusive of any other remedy, and each and every such remedy shall be cumulative and shall be in addition to every other remedy given hereunder or now or hereafter existing at law or in equity, by statute or otherwise. No single or partial exercise by any party of any right, power, or remedy hereunder shall preclude any other or further exercise thereof.

No provision of this Agreement is intended to, or shall be construed to, create any third party beneficiary or to provide any rights to any person or entity not a party to this Agreement, including but not limited to any citizen or employees of the County and/or the City.

ARTICLE 8 - LIABILITY/INDEMNIFICATION

Each party to this Agreement shall be liable for its own actions and negligence. In no event shall any provision of this Agreement be construed as a waiver of sovereign immunity or a consent to be sued by a third person, by either the City or the County. In no event shall this be intended as a waiver, limitation, abrogation, repeal, or replacement of any common law and/or statutory exemptions, immunities or protections from liability, including but not limited to, those established in Chapter 768, Florida Statutes. This section shall survive expiration or termination of this Agreement.

ARTICLE 9 - ARREARS

The City shall not pledge the County's credit or make it a guarantor of payment or surety for any Agreement, debt, obligation, judgment, lien, or any form of indebtedness. The City further warrants and represents that it has no obligation or indebtedness that would impair its ability to fulfill the terms of this Agreement.

ARTICLE 10 - ACCESS AND AUDITS

The County shall have access to such books, records, and documents as required in this section for the purpose of inspection or audit during normal business hours, at the City's place of business. Palm Beach County has established the Office of the Inspector General in Palm Beach County Code, Section 2-421 - 2-440, as may be amended. The Inspector General's authority includes, but is not limited to, the power to review past, present and proposed County contracts, transactions, accounts and records, to require the production of records, and to audit, investigate, monitor, and inspect the activities of the City, its officers, agents, employees, and lobbyists in order to ensure compliance with contract requirements and detect corruption and fraud.

Failure to cooperate with the Inspector General or interfering with or impeding any investigation shall be in violation of Palm Beach County Code, Section 2-421 - 2-440, and punished pursuant to Section 125.69, Florida Statutes, in the same manner as a second-degree misdemeanor.

ARTICLE 11 – NONDISCRIMINATION

The City warrants and represents that all of its employees are treated equally during employment without regard to race, color, religion, disability, sex, age, national origin, ancestry, marital status, familial status, sexual orientation, gender identity and expression or genetic information. City has submitted to County a copy of its non-discrimination policy which is consistent with the above, as contained in Resolution R-2014-1421, as amended, or in the alternative, if the City does not have a written non-discrimination policy, it has acknowledged through a signed statement provided for County affirming their non-discrimination policy conforms to R-2014-1421, as amended.

ARTICLE 12 - AUTHORITY TO PRACTICE

The City hereby represents and warrants that it has and will continue to maintain all licenses and approvals required to conduct pre-hospital emergency medical services while staffing the public shelter. Proof of such licenses and approvals shall be submitted to the County's representative upon request.

ARTICLE 13 - SEVERABILITY

If any term or provision of this Agreement, or the application thereof to any person or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of this Agreement, or the application of such terms or provision, to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be affected, and every other term and provision of this Agreement shall be deemed valid and enforceable to the extent permitted by law.

ARTICLE 14 – NOTICE

All notices required in this Agreement shall be sent by certified mail, return receipt requested, hand delivery or other delivery service requiring signed acceptance.

If sent to the County, notices shall be addressed to:

Bill Johnson, Director
20 South Military Trail
West Palm Beach, FL 33415

with copy to:

Palm Beach County Attorney's Office
301 North Olive Ave. - 6th Floor
West Palm Beach, Florida 33405

If sent to the City, notices shall be addressed to:

Chief Mark Jakubek
2995 S Jog Road
Greenacres, FL 33467

with copy to:

City's Attorney's Office
James Stokes
5800 Melaleuca Lane
Greenacres, FL 33463

ARTICLE 15 - ENTIRETY OF CONTRACTUAL AGREEMENT

The County and the City agree that this Agreement sets forth the entire Agreement between the parties, and that there are no promises or understandings other than those stated herein. None of the provisions, terms and conditions contained in this Agreement may be added to, modified, superseded or otherwise altered, except by written instrument executed by the parties hereto.

ARTICLE 16 - TERM AND EXPIRATION

This Agreement will commence following the execution of this Agreement on the Effective date and shall continue for a term of five (5) years. The parties may mutually agree to renew the Agreement for another term of five (5) years, which must be documented in a written amendment executed by both parties.

ARTICLE 17 - TERMINATION

This Agreement may be terminated by either party upon sixty (60) days prior written notice to the other party.

IN WITNESS WHEREOF, Palm Beach County, Florida, by and through its Board of County Commissioners and the City of Greenacres, Florida, a municipal corporation, have made and executed this Agreement on behalf of the County and the City, on the date first above written.

RESOLVED AND ADOPTED this 22nd day of January, 2018.

Voted

Joel Flores
Mayor

Paula Bousquet
Deputy Mayor

()

Attest:

Joanna Cunningham
City Clerk

John Tharp
Council Member, District I

()

Peter Noble
Council Member, District II

()

Judith Dugo
Council Member, District III

()

Anderson Thelusme
Council Member, District IV

()

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney

**INTERLOCAL AGREEMENT BETWEEN PALM BEACH COUNTY AND THE
STAFFING OF EMERGENCY SHELTERS BY EMERGENCY MEDICAL SERVICES
STAFF**

This Interlocal Agreement (“Agreement”) is made as of the day of _____, 2017, (the “Effective Date”) by and between the Board of County Commissioners, Palm Beach County, a political subdivision of the State of Florida (herein referred to as the “County”), and the City of Greenacres a municipal corporation of the State of Florida (herein referred to as the (“City”), each one constituting a public entity as defined in Part I of Chapter 163, Florida Statutes.

WITNESSETH

WHEREAS, Section 163.01, Florida Statutes, known as the "Florida Interlocal Cooperation Act of 1969" authorizes local governments to make the most efficient use of their powers by enabling them to cooperate with other localities on a basis of mutual advantage and thereby to provide services and facilities that will harmonize geographic, economic, population and other factors influencing the needs and development of local communities; and

WHEREAS, Part I of Chapter 163, Florida Statutes, permits public agencies as defined therein to enter into Interlocal agreements with each other to jointly exercise any power, privilege, or authority which such agencies share in common and which each might exercise separately; and

WHEREAS, the State of Florida is vulnerable to a wide range of disasters that are likely to cause the disruption of essential services and the destruction of the infrastructure needed to deliver those services. Such disasters are likely to exceed the quality of any one local government to cope with the disasters with existing resources; and

WHEREAS, the Emergency Management Act, as amended, gives the local government of the State the authority the make agreements for mutual assistance in emergencies, and through such agreements to ensure the timely reimbursement of costs incurred by the local governments which render such assistance.

WHEREAS, the parties desire to plan for and coordinate activities relating to emergency preparedness, response, recovery, and mitigation, including planning for the medical needs of persons temporarily located at emergency shelters during a declared state of emergency; and

WHEREAS, those municipalities with emergency shelters have agreed to staff the public shelter(s) with Emergency Medical Services (EMS) staff, and advanced life support (ALS) equipment during an emergency in order to provide for medical needs during an emergency, if needed.

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The shelter team at each emergency shelter will establish a clearly designated medical treatment area. The EMS Staff shall be in the performance of all work at the shelter, employees of the City and under the direction and authority of such officials and physicians as customary and required in the day-to-day provision of ALS services within the City's boundaries and subject to the City's management, supervision, control and authority. In no event shall the EMS staff employed by or assigned by the City be considered employees, agents, servants or contractors of the County.

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The County shall reimburse the City incurred costs of the EMS staff as mutual aid costs to the extent such are eligible costs in accordance to FEMA's Recovery Policy RP 9523.6 and applicable FEMA guidance. Within thirty (30) days of the declaration of a local state of emergency for which assistance was requested, the City shall submit to the County representative, documentation substantiating the actual costs incurred to the satisfaction of the County's Division of Emergency Managements office, the State Office of Emergency Management and/or FEMA as required for the County to apply for and process the reimbursement request. As applicable, the City may request the County approval to submit its own claim for reimbursement.

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to enforce the Agreement will be held in Palm Beach County. No remedy herein conferred upon any party is intended to be exclusive of any other remedy, and each and every such remedy shall be cumulative and shall be in addition to every other remedy given hereunder or now or hereafter existing at law or in equity, by statute or otherwise. No single or partial exercise by any party of any right, power, or remedy hereunder shall preclude any other or further exercise thereof.

No provision of this Agreement is intended to, or shall be construed to, create any third party beneficiary or to provide any rights to any person or entity not a party to this Agreement, including but not limited to any citizen or employees of the County and/or the City.

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with copy to:
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James Stokes
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Greenacres, FL 33463

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The County and the City agree that this Agreement sets forth the entire Agreement between the parties, and that there are no promises or understandings other than those stated herein. None of the provisions, terms and conditions contained in this Agreement may be added to, modified, superseded or otherwise altered, except by written instrument executed by the parties hereto.

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ARTICLE 17- TERMINATION

This Agreement may be terminated by either party upon sixty (60) days prior written notice to the other party.

THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK

IN WITNESS WHEREOF, Palm Beach County, Florida, by and through its Board of County Commissioners and the City of Greenacres, Florida, a municipal corporation, have made and executed this Agreement on behalf of the County and the City, on the date first above written.

**PALM BEACH COUNTY
BOARD OF COUNTY COMMISSIONERS**

CITY OF GREENACRES

By: _____
Verdenia Baker
County Administrator

By: Andrew Melice
City Representative

**APPROVED AS TO FORM AND
LEGAL SUFFICIENCY**

**APPROVED AS TO FORM AND
LEGAL SUFFICIENCY**

By: _____
County Attorney

By: [Signature]
City Attorney

**APPROVED AS TO TERMS
AND CONDITIONS**

ATTEST:

By: _____
Department Director

By: [Signature]
City Representative



CITY OF GREENACRES

Council Agenda Memo
2018.01KF3.001

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **Ordinance 2017-20, ANX-17-01**
Annexation of South Military Trail
City Council Agenda Item for -1-22-18

DATE: January 8, 2018

COPIES: James D. Stokes, City Attorney
Joanna Cunningham, City Clerk
File: ANX-17-01

Background:

The City of Greenacres Planning and Engineering Department has initiated the annexation of 3 parcels totaling approximately 5.42 acres located on the west side of South Military Trail located approximately 500 feet south of the intersection of Lake Worth Road and South Military Trail at 4101, and 4215 South Military Trail, including adjacent Lake Worth Drainage District (LWDD) right-of-way. Currently the subject area has a Palm Beach County future land use designation of Urban Infill (UI), a County zoning designation of Urban Infill (UI), and is a developed as an Office Building, an FPL Substation and Lake Worth Drainage District right-of-way. Requests for a comprehensive plan amendment (CPA-17-02) and zoning change (ZC-17-02) are being processed concurrently with this application.

The Land Development Staff has reviewed this proposal and recommended approval, followed by the Planning Commission recommending approval by a vote of 7-0 at their meeting on December 6, 2017. The City Council approved this petition on first reading December 18, 2017 by a unanimous vote of 5-0.

Analysis:

The subject area is adjacent to Greenacres' eastern boundary on the west side of South Military Trail approximately 500 feet south of the intersection of Lake Worth Road and South Military Trail and is within the City's identified future annexation area. The City

has received written consent for annexation from owners of more than 66.7% of the parcels and of more than 86.6% of the land area of the proposal. Thus, in accordance with Chapter 171.0413(5) and (6) of the Florida Statutes, annexation is appropriate at this time. Annexation will reduce the size on an existing pocket and improve service delivery efficiency. Furthermore, as demonstrated in the Urban Services Report, the City will be able to serve the subject area and it will not place an undue burden on the City. After reviewing this petition, staff has determined that the annexation is consistent with all of the provisions of Chapter 171, Florida Statutes, as well as the City's Comprehensive Plan and Zoning Code governing annexations.

The Property Data List (Exhibit "1") contains the address, owner name, legal description, existing future land use designation, existing zoning designation, apparent existing use, and taxable value of each parcel. The list also contains a calculation of the property tax increase due to annexation based on deletion of the PBC Fire Rescue FY 2017 MSTU millage of 3.4581 and addition of the City's total FY 2017 millage of 6.0854 (a net increase in millage of 2.6273).

Financial:

The City will be provided with property tax revenue from the annexed area.

Legal:

Ordinance 2017-20 was prepared in accordance with all applicable State Statutes and City Code requirements.

Staff Recommendation:

Approval of ANX-17-01 through the adoption of Ordinance 2017-20.



Kara L. Irwin-Ferris, AICP
Planning and Engineering Director

Attachments:

1. Ordinance 2017-20
2. Aerial Location Map
3. Urban Services Report with Property Data List (Exhibit 1)

ORDINANCE NO. 2017-20

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, ANNEXING THREE PARCELS OF LAND TOTALING APPROXIMATELY 5.4249 ACRES, LOCATED APPROXIMATELY 500 FEET SOUTH OF THE INTERSECTION OF LAKE WORTH ROAD AND SOUTH MILITARY TRAIL AT 4215 SOUTH MILITARY TRAIL, 4101 SOUTH MILITARY TRAIL, AND THE ADJACENT LAKE WORTH DRAINAGE DISTRICT DRAINAGE RIGHT-OF-WAY, AS REQUESTED BY THE PLANNING AND ENGINEERING DEPARTMENT IN ACCORDANCE WITH CHAPTER 171.0413 OF THE FLORIDA STATUTES; PROVIDING FOR REDEFINING THE BOUNDARY LINES OF THE CITY OF GREENACRES TO INCLUDE THE SUBJECT PROPERTY IN THE CITY'S OFFICIAL BOUNDARY MAP; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Greenacres Planning and Engineering Department is herein known as the "Petitioner" for the herein described properties; and

WHEREAS, the petitioner has requested by written petition to have the property annexed into the municipal limits of the City of Greenacres; and

WHEREAS, the subject property hereinafter described is reasonably compact and contiguous to the corporate limits of the City of Greenacres, thus making said petition for annexation appropriate at this time; and

WHEREAS, written consent has been received from the owners of more than 50 percent of the land area and more than 50 percent of the parcels in the proposed annexation area; and

WHEREAS, an Urban Services Report has been prepared in accordance with Chapter 171.042 detailing the City's plans to provide urban services to the proposed annexation area and certifying that the area meets the requirements of Chapter 171.043; and

WHEREAS, information has been received from the Office of the Palm Beach County Supervisor of Elections that there are no registered electors residing within the proposed

annexation area; and

WHEREAS, as provided in Chapter 171.0413(6), the City Council of the City of Greenacres does not desire to hold a referendum pursuant to Chapter 171.0413(2); and

WHEREAS, based on the above the City of Greenacres is authorized to annex the subject lands in accordance with Chapter 171.0413(5) and (6) of the Florida Statutes; and

WHEREAS, the City of Greenacres Planning Commission has held a duly advertised public hearing on December 6, 2017 and recommended approval of petition ANX-17-01 to annex the subject property into the City of Greenacres; and

WHEREAS, the City of Greenacres City Council has held duly advertised public hearings on December 18, 2017 and January 22, 2018; and

WHEREAS, the City Council of the City of Greenacres further finds that, in accordance with the Land Development Staff Report and Recommendation dated December 1, 2017, attached hereto as Exhibit "A" and by this reference made a part hereof, the proposed annexation of the subject property is in the best interest of the citizens of the City of Greenacres, and is in accordance with State and local law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1. The City Council finds that consent has been received from the owners of the majority of the land area and parcels within the area to be annexed, that all other statutory requirements have been met, and that the area is hereby annexed into the City of Greenacres, Florida.

Section 2. The boundary lines of Greenacres, Florida, are hereby redefined to include the described real property lying in Palm Beach County into the City's Boundary Map:

Legal Description

PCN: 00-42-44-25-45-001-0000

The West 293.38 feet of the East 333.38 feet of the Southeast Quarter (SE ¼) of the Northeast Quarter (NE ¼) of the Northwest Quarter (NW ¼) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida.

Less:

The East 27.00 feet thereof for additional right-of-way for Military Trail as dedicated by Warranty Deed recorded in Official Record Book 6021, Page 1258, of the Public Records of Palm Beach County, Florida.

Also Less:

The South 60.00 feet thereof for right-of-way for Landar Drive as shown and dedicated to the Public on the Plat of Countryside Townhomes Plat No. 1, according to the Plat No. 1, according to the Plat thereof, as Recorded in Plat Book 36, Pages 145 and 146, of the Public Records of Palm Beach County, Florida.

Further Less:

The North 70.0 feet thereof for right-of-way for Lake Worth Drainage District Lateral Canal 12.

And Further Less:

Corner Clip "A" and Corner Clip "B" conveyed to Palm Beach County by Warranty Deed recorded in Official Record Book 22398, Page 1295, of the Public Records of Palm Beach County, Florida.

PCN: 00-42-44-25-00-000-3040

The South 180 feet of West 200 feet of the East 240 feet of the Northeast 1/4

of the Northeast 1/4 of the Northwest 1/4 Section 25, Township 44 South,
Range 42 East, less the East 27 feet State Road 809 right-of-way.

PCN: 00-42-44-25-00-000-1970

A PORTION OF THE NORTH 70 FEET OF THE SOUTH ONE-HALF (S $\frac{1}{2}$), OF THE NORTHEAST ONE-QUARTER (NE $\frac{1}{4}$), OF THE NORTHWEST ONE-QUARTER (NW $\frac{1}{4}$) OF SECTION 25, TOWNSHIP 44 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA, BOUNDED ON THE NORTH BY THE NORTH LINE OF SAID SOUTH ONE-HALF (S $\frac{1}{2}$); BOUNDED ON THE EAST BY THE WEST RIGHT OF WAY LINE OF SOUTH MILITARY TRAIL (STATE ROAD 809) AS RECORDED IN ROAD PLAT BOOK 7, PAGE 128, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; BOUNDED ON THE SOUTH BY A LINE 70 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH SAID NORTH LINE OF SAID SOUTH ONE-HALF (S $\frac{1}{2}$); AND BOUNDED ON THE WEST BY THE NORTHERLY EXTENSION OF THE EAST RIGHT OF WAY LINE OF RAULERSON DRIVE AS SHOWN ON THE PLAT OF THE COUNTRYSIDE TOWNHOMES PLAT NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40, PAGES 90 AND 91 OF SAID PUBLIC RECORDS.

SAID LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA. CONTAINING
62,640 SQUARE FEET OR 1.438 MORE OR LESS.

AND:

The right-of-way adjacent thereto.

CONTAINING A TOTAL OF 5.4249 ACRES MORE OR LESS.

The above described parcels are subject to road right-of-ways, easements and reservations of record.

The above described real property is hereby annexed by and declared to be within the corporate limits of the City of Greenacres, Florida.

Section 3. That the above described real property shall immediately become subject to all of the franchises, privileges, immunities, debts, obligations, liabilities, ordinances and laws to which lands in the City of Greenacres are now or may be subjected to and persons residing thereon shall be deemed citizens of the City of Greenacres.

Section 4. The annexation of the subject properties, including adjacent roads, alleys, or the like, if any, shall not be deemed accepted by the City of any maintenance responsibility for such roads, alleys, or the like, unless otherwise specifically initiated by the City pursuant to current requirements and conditions.

Section 5. The City Manager is hereby directed to do all things necessary to effectuate this annexation.

Section 6. The City Clerk is hereby directed to file a copy of this Ordinance with the Clerk of the Circuit Court, Palm Beach County and with the Department of State.

Section 7. Repeal of Conflicting Ordinances.

All Ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this Ordinance are hereby repealed.

Section 8. Severability.

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be

construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

Section 9. Effective Date.

The provisions of this Ordinance shall become effective upon its adoption.

Passed on the first reading this 18th day of December, 2017.

PASSED AND ADOPTED on the second reading this 22nd day of January, 2018.

Voted

Joel Flores
Mayor

Paula Bousquet
Deputy Mayor

()

Attest:

Joanna Cunningham
City Clerk

John Tharp
Council Member, District I

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Peter Noble
Council Member, District II

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Judith Dugo
Council Member, District III

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Anderson Thelusme
Council Member, District IV

()

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney



LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION

I. Project Description:

Project: South Military Trail

Petitioner: City of Greenacres
Planning & Engineering Dept.
5800 Melaleuca Lane
Greenacres, FL 33463

Request: City-initiated annexation

Location: Parcels located on the west side of South Military Trail located approximately 500 feet south of the intersection of Lake Worth Road and South Military Trail at 4101, and 4215 South Military Trail



II. Site Data:

Existing Use: Florida, Power, & Light sub-station & Government Services

Parcel Control Numbers: 00-42-44-25-00-000-3040
00-42-44-25-45-001-0000
Portion of 00-42-44-25-00-000-1970

Parcel Size: 5.42 +/- acres (236,095 square feet)

Existing Future Land Use Designation: PBC Urban Infill (UI)

Proposed Future Land Use Designation: City Commercial (CM) & Public Institutional (PI)

Existing Zoning District: PBC Urban Infill (UI)

Proposed Zoning District: City Commercial Intensive (CI) & Government Use (GU)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Office Depot Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)
<i>South</i>	Countryside Townhouses and Grower's Outlet Retail Nursery	PBC High Residential - 8 (PBC HR-8) and PBC Urban Infill (UI)	PBC Residential Medium (PBC RM) and PBC Urban Infill (UI)
<i>East</i>	Jiffy Lube, Auto Glass, Body Shop and Salvage Yard, Self-Storage, and Action Supply Company	Village of Palm Springs Commercial (VOPS COM), PBC Commercial High/8 (PBC CH/8), and PBC Urban Infill (PBC UI)	Village of Palm Springs Commercial General (VOPS CG), PBC Commercial General (PBC CG), and PBC Urban Infill (PBC UI)
<i>West</i>	Office Depot Plaza and Countryside Townhouses	City Commercial (City CM) and PBC High Residential – 8 (PBC HR-8)	City Commercial Intensive (City CI) and PBC Residential Medium (PBC RM)

III. Annexation/Zoning History:

The approximately 5.42-acres of land are located in unincorporated Palm Beach County within the identified Future Annexation Area of the City. The area to be annexed contains three (3) individual parcels each having a Palm Beach County future land use designation of Urban Infill (PBC UI) and a Palm Beach County zoning designation of Urban Infill (PBC UI).

Parcel 1 (4101 S. Military Trail)

According to the Palm Beach County Property Appraiser's public records, the existing Florida Power and Light (FPL) substation was built on this 0.7149-acre site in approximately 1980. The site has access directly onto South Military Trail and has no interconnectivity to the adjacent Aloha Shopping Center. Concurrent petitions for a comprehensive plan amendment (CPA-16-04) and zoning change (ZC-16-02) are being processed for this parcel.

Parcel 2 (No address – Lake Worth Drainage Parcel)

The site is part of an interconnected drainage system owned and operated by the Lake Worth Drainage District (LWDD). A portion of the site is currently being developed for a parking area extension to support the Tax Collectors Central Palm Beach County Service Center. The site is a drainage right-of-way that provides support services for adjacent sites. As a drainage right-of-way (ROW) it takes on the zoning of the adjacent parcels center line and does not require a specific designation of land use or zoning.

Parcel 3 (4215 S. Military Trail)

The 3.28 acre parcel has a 36,000 square foot 2-story office building constructed earlier this year. It was approved by Palm Beach County on December 9, 2013 as petition No. W2013-02239 through Resolution 2013-1767 for the Tax Collector's Central Palm Beach County Service Center. The site has access to S. Military Trail and Landar Drive. In accord with the City's past practice, the existing Palm Beach County approval will be accepted as a valid City approval and a case number will be assigned for filing purposes. Any changes to the use or site plan will be required to meet the City Code.

IV. Applicable Comprehensive Plan Provisions:

Annexation Element:

- Objective 1, page ANX 19 - addresses efficiency, concurrency and levels of service (LOS).
- Objective 1, Policy c), page ANX 19 - prohibits creating enclaves, or pocket areas which are not reasonably compact.
- Objective 2, page ANX 19 - encourages orderly annexation in the future annexation boundaries through coordination with adjacent municipalities and Palm Beach County.
- Objective 4, page ANX 20 - supports annexations which are deemed necessary to promote the orderly growth of the City and will not adversely impact the City's ability to fulfill other plans.
- Objective 4, Policy a), page ANX 20- outlines six guidelines for annexations.

V. Applicable City Code and Statutory Provisions:

Article III, Section 10 of the City Charter relating to annexation
Sec. 16-8 of the City Code relating to future land use and zoning of annexed areas
Chapter 171, Florida Statutes relating to annexation

VI. Staff Analysis:

Land Development Staff Comments:

On October 19, 2017, the Land Development Staff reviewed this petition and recommended approval subject to the conditions contained in this staff report.

Planning and Engineering Dept.:	Incorporated into the staff report
Building Department:	No objections
Fire Rescue Department:	No objections
Public Works Department:	No objections
PBSO District 16:	No objections

Background:

The properties proposed for annexation are contiguous to the City’s boundary on the north side and on a portion of the west side as they abut Raulerson Drive. Florida Statutes Chapter 171.0413(6) provides a process for City initiated annexation of property when the annexed area does not have any registered electors. The area can be annexed when the owners of more than 50% of the parcels and of more than 50% of the land area in the area proposed to be annexed consent to the annexation.

The property data list (Exhibit 1) contains the address, owner name, legal description, existing future land use designation, existing zoning designation, proposed future land use designation, proposed zoning designation, apparent existing use, and taxable value for each parcel. The list also contains a calculation of

the property tax increase due to annexation based on deletion of the PBC Fire Rescue FY 2017 MSTU millage of 3.2747 and addition of the City's total FY 2017 millage of 6.0854 (a net increase in millage of 2.8107). On a preliminary basis, both PBC and the City are keeping their millage the same for FY 2017. In addition, the list indicates whether the owners of each parcel have signed a form consenting to the annexation.

Based on the consents to annexation received from property owners (see Exhibit 1), the owners of 86.8% of the land area (4.71 acres of 5.4249 acres total) and 67% of the parcels (2 parcels out of 3 parcels total) have agreed to annex into the City, thus exceeding the minimum 50% thresholds established by statute.

Annexation Findings of Fact:

The proposed annexation is consistent with the Goals, Objectives and Policies of the City's Comprehensive Plan. The site is contiguous to the City and is within the boundaries of the Future Annexation Area in the Annexation Element of the Comprehensive Plan.

In addition, the following six guidelines, as specified in Objective 4(a) on page 20 and 21 of the Annexation Element within the Comprehensive Plan, must be addressed. The guidelines apply to both City-initiated and voluntary annexations.

Specific Criteria Findings:

In all future annexation requests, the City shall be guided by the following:

- (1) The area in question must meet statutory requirements pertaining to contiguity, compactness and irregular shape.**

Findings: The annexation petition is consistent with the provisions in Chapter 171, F.S., specifically because the subject property is a regular polygon in shape, reasonably compact, and immediately contiguous to the City's municipal boundary to the north and a small portion to the west.

- (2) The petitioned area must have "a unity of interests with the City" and be "a logical extension" of the City's boundaries.**

Findings: The subject property has "a unity of interests with the City" and is "a logical extension" of the City of Greenacres' boundaries. The property is identified as part of the Future Annexation Area in the City's Comprehensive Plan. The site is also contiguous to the City's boundary on the north and a portion of the boundary on the west. Annexation of these parcels will significantly clarify jurisdictional boundaries at this major intersection and reduce the size of an existing pocket.

- (3) The area shall have a growth potential sufficient to warrant the extension of services.**

Findings: The area has a growth potential sufficient to warrant the extension of services. Redevelopment activity is taking place in the immediate vicinity and adjacent properties within the City are already receiving City services. Since the properties proposed for annexation are contiguous to the City, there will be minimal effect upon infrastructure and services provided within the City.

(4) The deficit of income against expense to the City shall not be unreasonable.

Findings: The annexation of the subject properties will not create an unreasonable expense or burden upon the City of Greenacres. Since the subject sites are contiguous to developed parcels already in the City, the annexation will not adversely affect the City's overall level of service, nor will it substantially increase costs to the City to warrant the annexation unreasonable.

(5) The advantages both to the City of Greenacres and to the petitioned area must outweigh the disadvantages.

Findings: The advantages to both the City of Greenacres and the proposed annexation area outweigh any potential disadvantages. The annexation of the subject properties will allow the City to improve the identity of the area as being part of Greenacres and help reduce service delivery inefficiency and confusion. This intersection has long been identified by the City and Palm Beach County agencies (including the Sheriff's Office and Palm Beach County Fire Rescue) as a source of continuing service delivery confusion which this annexation will help resolve.

(6) The City of Greenacres must be willing and able to provide City services as well as ensure that services provided by Palm Beach County are furnished to the newly annexed area within a reasonable time.

Findings: The City of Greenacres will be able to provide City services to the subject properties without degrading any established levels of service, since the City is already providing governmental services to nearby developments along Lake Worth Road in the immediate area of the subject parcels. In addition, the enclosed Urban Services Report demonstrates that the City will be able to provide services to the area at the level they are provided elsewhere in the City.

Summary of Annexation Criteria:

The site meets all of the guidelines specified in the City's Comprehensive Plan and Chapter 171 of the Florida Statutes for the annexation of property. It is a logical extension of the City's boundaries in a location identified as part of the City's Future Annexation Area.

VII. Staff Recommendation:

Approval of ANX-17-01 through the adoption of Ordinance 2017-20 with the following condition:

1. The City shall recognize the validity of the building permit issued by Palm Beach County for the current construction of the parking area improvements at 4215 S. Military Trail and allow Palm Beach County to perform all of the necessary inspections through to completion of the project as currently permitted. (Building)

PLANNING COMMISSION RECOMMENDATION – December 6, 2017

The Planning Commission on a motion made by Commissioner Buzek and seconded by Commissioner Fitzgerald, by a vote of seven (7) to zero (0), *recommended approval* of Annexation *ANX-17-01* (South Military Trail), as presented by staff.

CITY COUNCIL ACTION First Reading – December 18, 2017

The City Council on a motion made by Councilwoman Dugo and seconded by Councilman Thelusme, voting five (5) to zero (0), *approved* Annexation *ANX-17-01* (South Military Trail), on first reading, through *Ordinance 2017-20*, as presented by staff.

CITY COUNCIL ACTION Adoption Hearing – January 22, 2018

Joel Flores, Mayor

Attest:

Joanna Cunningham, City Clerk

Attachments:

1. Aerial Map
2. Ordinance 2017-20
3. Urban Services Report with Property Data List (Exhibit 1)

**URBAN SERVICES REPORT
SOUTH MILITARY TRAIL ANNEXATION
ANX-17-01**

**CITY OF GREENACRES
PLANNING AND ENGINEERING DEPARTMENT
NOVEMBER 29, 2017**

Introduction

Florida Statutes Chapter 171.0413(6) provides for the annexation of property when the annexed area does not have any registered electors. The area can be annexed when the owners of more than 50% of the parcels and of more than 50% of the land area in the area proposed to be annexed consent to the annexation. Prior to the annexation, a report shall be prepared that sets forth a plan for the provision of urban services in the area and a map of the area. The report shall be filed with the Board of County Commissioners at least fifteen days prior to the City initiating proceedings in accordance with Florida Statutes Chapter 171.0413 regarding the annexation. The following information and analysis is intended to satisfy these requirements.

The proposed area of annexation is consistent with objectives of both the City of Greenacres and Palm Beach County in that it will help create regular jurisdictional boundaries, will simplify the urban service boundary, and will improve the efficiency of service delivery. The area is also identified as part of the City's Future Annexation Area in the Annexation Element of the City's Comprehensive Plan.

Description of Area to be Annexed

The proposed area to be annexed is adjacent to Greenacres' eastern boundary on the west side of Military Trail approximately 450 feet south of the intersection of Lake Worth Road and South Military Trail. The area contains 5.42 acres and three (3) parcels. Table I indicates the owner's name, lot size, address, parcel control number, size, and current use for each parcel. Figure 1 depicts a map of the area. The property owner consents constitute 86.6% of the land area and 66.6% of the parcels in the area to be annexed, thus passing the 50 percent statutory thresholds.

Character of Area to be Annexed

Chapter 171.043 requires that an area to be annexed meet the general standards of Subsection (1) and the requirements of either Subsection (2) or Subsection (3).

Subsection (1) "The total area to be annexed must be contiguous to the municipality's boundaries at the time the annexation proceeding is begun and reasonably compact, and no part of the area shall be included within the boundary of another incorporated municipality."

As defined in Chapter 171.031(12): "Compactness means concentration of a piece of property in a single area and precludes any action which would create enclaves, pockets, or finger areas in serpentine patterns, Any annexation proceeding in any county in the state shall be designed in such a manner as to ensure that the area will be reasonably compact."

The area proposed to be annexed is contiguous to the City's boundaries, is reasonably compact, and does not create any enclave or finger areas.

The current Palm Beach County future land use designation for all of the properties within the proposed annexation area is Urban Infill (UI). The current zoning designation for all of the subject properties is Urban Infill (UI). Figure 2 indicates the existing Palm Beach County Future Land Use and Figure 3 indicates the existing County Zoning designations for the properties. The proposed future land use designation in the City of Greenacres for the property located at 4215 South Military Trail is Public Institutional (PI) and the proposed zoning classification is Government Use (GU) for the Palm Beach County Tax Collector Central Palm Beach Service Center; the proposed future land use designation for the property located at 4101 South Military Trail is Commercial (CM) and the proposed zoning classification is Commercial Intensive (CI) for the Florida, Power, & Light (FPL) substation; the third parcel is a Lake Worth Drainage District (LWDD) drainage right-of-way and there will be no land use or zoning applied to the right-of-way.

Subsection (2) is primarily concerned with residential density and lots. As shown in Table 1, and discussed above, the subject area is commercial and thus Subsection (2) is not applicable.

Subsection (3) "In addition to the area developed for urban purposes, a municipal governing body may include in the area to be annexed any area which does not meet the requirements of subsection (2) if such area either:

- (a) Lies between the municipal boundary and an area developed for urban purposes, so that the area developed for urban purposes is either not adjacent to the municipal boundary or cannot be served by the municipality without extending services or water or sewer lines through such sparsely developed area; or
- (b) Is adjacent, on at least 60 percent of its external boundary, to any combination of the municipal boundary and the boundary of an area or areas developed for urban purposes as defined in subsection (2)."

As defined in Chapter 171.031(10) "Urban purposes means that land is used intensively for residential, commercial, industrial, institutional, and governmental purposes, including any parcels of land retained in their natural state or kept free of development as dedicated greenbelt areas."

The area proposed to be annexed complies with Subsection (3) in that 100 percent of its external boundary is developed for urban purposes consistent with the definitions in 171.031(10) and 171.043(2) of the Florida Statutes.

Inventory of Public Facilities and Services and Statement Regarding Extension

Roadways

All of the parcels front on or have access to South Military Trail. Military Trail is a six lane divided highway. There are sidewalks on the east and west sides of South Military Trail. Road access is adequate for all parcels.

Drainage

The developed lots in this area are substantially impervious and a series of catch basins on the properties collect runoff and then discharge directly to Lake Worth Drainage District (LWDD) Lateral Canal 12(L-12). The existing drainage systems will not change until the existing properties are proposed for redevelopment; this transition will be managed in accordance with City Code and South Florida Water Management District requirements.

Potable Water and Sanitary Sewer

The properties are located within the Palm Beach County Water Utilities Department (PBCWUD) Service Area. The developed parcels are all serviced by water and sanitary sewer. The water service distribution system is identified in Figure 5 and the sanitary sewer collection system is shown in Figure 4. There will be no change in the water and sewer service by annexing into the City of Greenacres; and any future service extensions will be handled by the property developers working in cooperation with PBCWUD and following existing regulations.

Police, Fire Protection, and Emergency Medical Services

The area is currently served by the Palm Beach County Sheriff's Office and the Palm Beach County Fire Rescue Department. There will be no change to the Police Services, since the City's transition to service by the Palm Beach County Sheriff's Office will be complete at the date of annexation. Once the annexation is effective, the City of Greenacres will assume the fire/emergency medical service duties. The City of Greenacres operates its own Fire Rescue Department which includes Fire and Emergency Medical Services. The City is prepared to provide these services immediately upon annexation by using existing resources.

Solid Waste and Public Works

The City's Public Works Department has a franchise agreement with Veolia Environmental Services for solid waste, trash, and recycling collection within City limits. Newly annexed areas will transfer service to the City's provider after annexation in accordance with State Law. The Public Works Department also maintains landscaping and vegetation in roadway medians within City right-of-ways and within County and State roadway medians with separate maintenance agreements. Additionally, Public Works maintains all City owned streets, parks, and public buildings. No additional public maintenance is anticipated as part of this annexation and thus no service extensions are planned.

Planning, Zoning, Engineering, and Building Regulation

The City of Greenacres has its own Planning & Engineering Department and Building Department which perform all planning, zoning, engineering, and building plan review for any new development and construction. Additionally, all inspections for new construction are performed by these departments. Business Tax Receipts are issued by the City's Building Department for all businesses operating inside the municipal limits. Existing City staff will be adequate for the needs of the area to be annexed and service will be provided from the existing City Hall.

Leisure Services/ Parks and Library

Leisure Services/ Parks

The City of Greenacres Leisure Services Department is comprised of four (4) divisions - Office of the Director, Recreation, Community Programs and Youth Programs (CARES After School Program for Elementary School age, Cool Zone for Middle School age and Hot Spot for High School students, as well as Camps). The Department is responsible for recreational activities and programs, and encompasses the following functions:

- Classes & Activities
- Community Events
- Facility Rentals
- After School Programs
- Youth, Adult, & Senior Activities/Trips

The nearby Community Center and Ira Van Bullock Park totals 9.1 acres and includes 2 lighted baseball fields, a multi-purpose field, 2 lighted basketball courts, a community center with an indoor gym, a picnic area with grills, a playground, a concession stand, and several instructional multi-purpose rooms. Overall, the City maintains and operates a total of 11 parks encompassing 95.6 acres.

Library

The City has a 17,000 square foot Branch Library which is a part of the Palm Beach County Library System. The branch contains separate Adult and Children's Departments, and an available meeting room with a capacity of up to 25 people during the day and 50 people in the evening.

Adult Department

- 3 Online Public Catalog computers
- 16 Public Internet computers (some with Microsoft Office Products, including Word, PowerPoint, Excel & Access)
- 2 Express Public Internet computers (15 min.)
- 2 Electronic Database computers

Children's Department

- 1 Online Public Catalog computers
- 2 Public Internet computers
- 1 Game computer

Since the area to be annexed contains commercial uses, minimal additional demand on Park and Library resources in the City is expected.

General Government

All daily administrative functions and general government support will be available to the properties from the City when annexed into the corporate limits. Existing City staff will be adequate for the needs of the area and service will be provided from the existing City Hall.

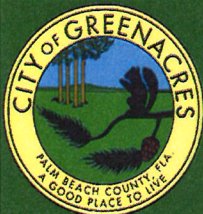
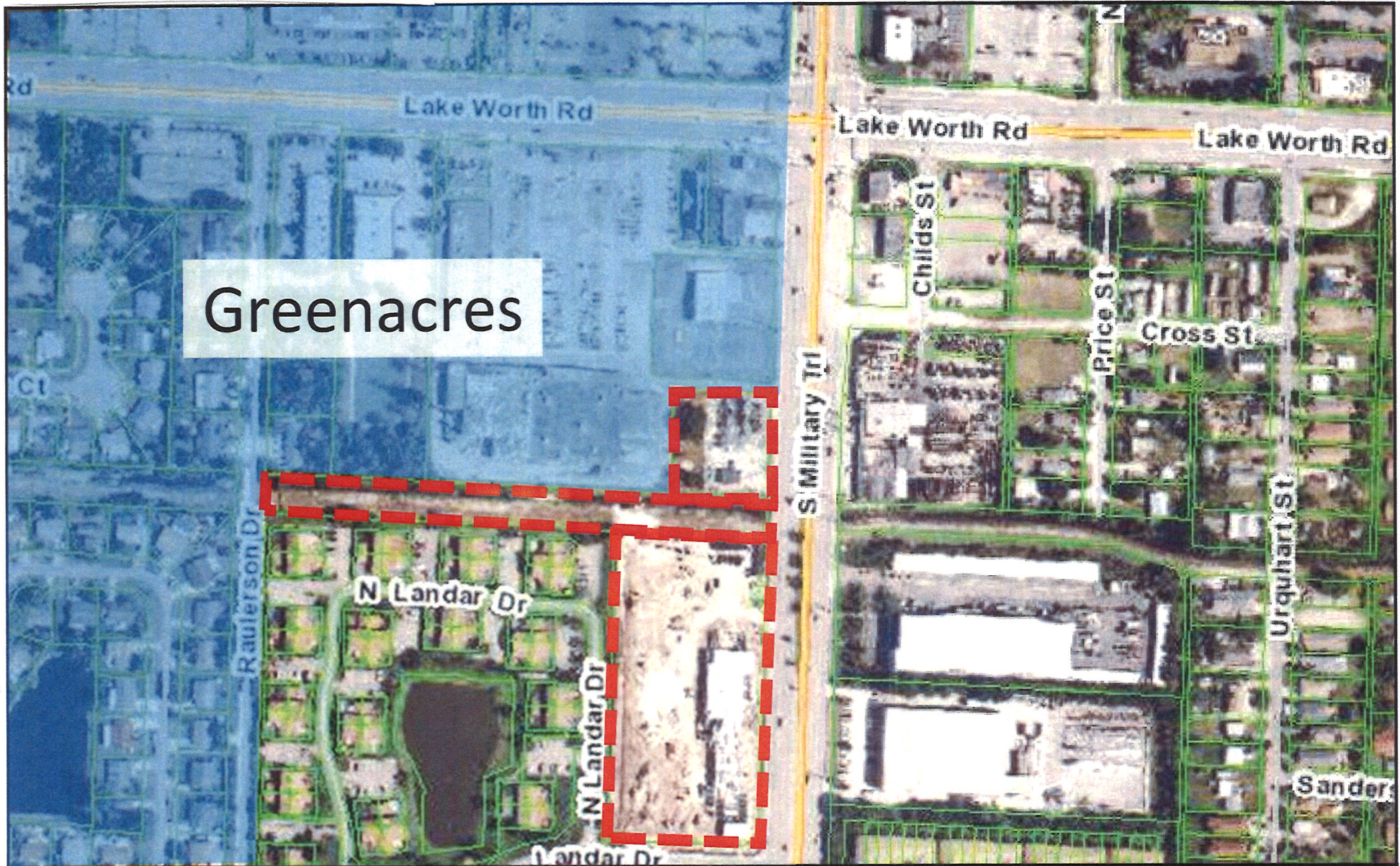
Conclusion

The proposed annexation as depicted in Figure 1 and Table 1 and as analyzed herein complies with all of the requirements of Chapter 171, Florida Statutes. It is reasonably compact, contiguous to the existing City boundaries, supported by a majority of property owners, within an area used for urban purposes, and can be served upon annexation with all of the municipal services currently provided by the City of Greenacres in the same manner and basis as provided for the rest of the City. The City will finance the provision of services through the general fund operating budget.

TABLE 1

Site Address	Owner Address	Parcel Control Number	Legal Description	Acre	Exist. FLU	Exist. Zoning	Proposed FLU	Proposed Zoning	Existing Use	Taxable Value	Tax Difference	Consent
A 4215 S Military Trail	Palm Beach County Tax Collector 301 N Olive Avenue West Palm Beach, FL 33401-4700	00-42-44-25-45-001-0000	PBC TAX CLECTOR CENTRAL PALM SERVICE CENTER TRA	3.28	PBC UI	PBC UI	PI	GU	Government Office for PBC Tax Collector	\$ -	\$0.00	Yes
B N/A	Lake Worth Drainage District 13081 Military Trail Delray Beach, FL 33484-1105	00-42-44-25-00-000-1970	25-44-42, L-12 CNL RW IN N 1/4 (LESS PT L YG W OF RAULERSON DRIVE RW & EAST OF MILITARY TRAIL RW)	1.43	NA	NA	NA	NA	LWDD drainage canal ROW	\$ -	\$0.00	Yes
C 4101 S. Military Trail	Florida Power & Light PO BOX 14000 North Palm Beach, FL 33408-0420	00-42-44-25-00-000-3040	25-44-42, S 180 FT OF W 200 FT OF E 240 FT OF NE 1/4 OF NW 1/4 (LESS E 27 FT SR809 RW)	0.7149	PBC UI	PBC UI	CM	CI	FPL Substation	\$ 278,271.00	\$645.00	No
				TABLE 1								
				Total Acreage						5.4249		

FIGURE 1



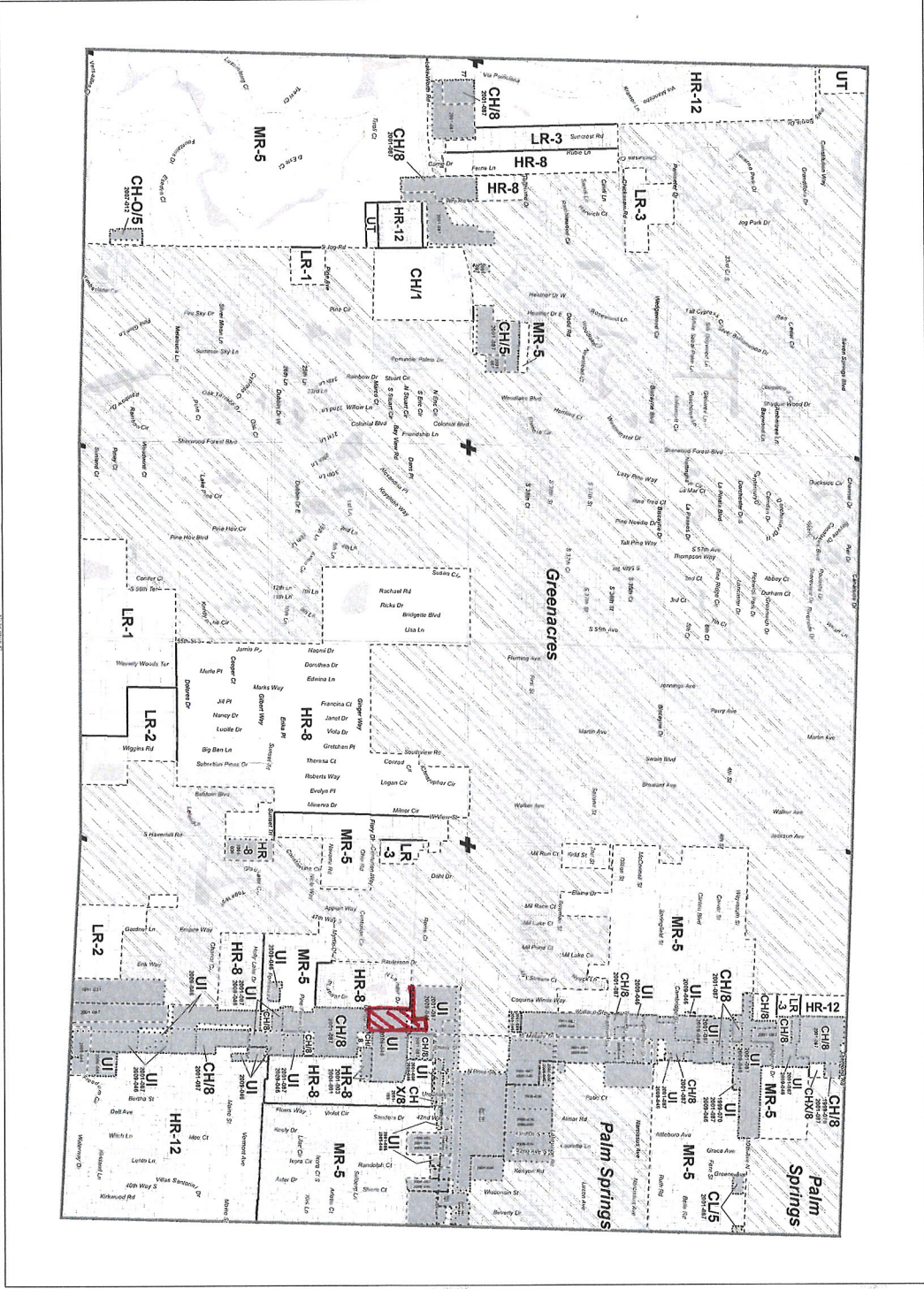
4215 & 4101 S. Military Trail, including portion of
LWDD Canal ROW

Annexation Petition - ANX-17-01

Prepared By:
Planning and Engineering Department
City of Greenacres
5800 Melaleuca Lane
Greenacres, FL 33463



North



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Future Land Use Atlas of Palm Beach County, Florida

ATLAS PAGE 77

Last Printed On: Mar 16, 2016

- Future Land Use
- Parcels
- Municipality
- Water
- FLU Atlas Page
- Amendments Fill

Palm Beach County
Planning, Zoning and Building Department

Amendment Table

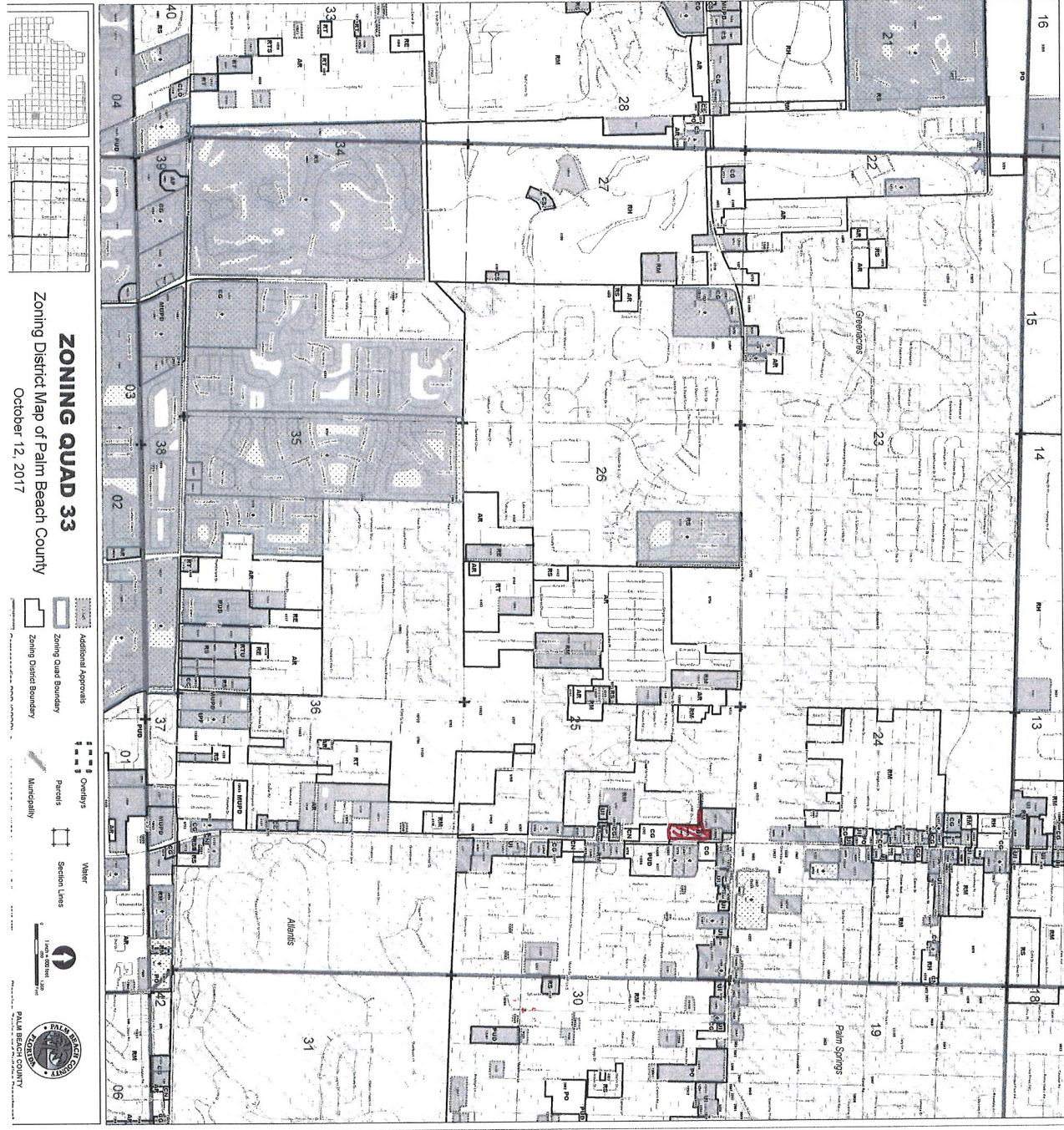
Amendment ID	Ordinance	Adopted
91-77 COM-15	1891-0311	03/11/91
91-77 COM-1	1898-0535	12/07/90
91-77 COM-2	1898-0536	12/07/90
91-77 COM-3	1898-0537	12/07/90
91-77 COM-4	1898-0538	12/07/90
91-77 COM-5	1898-0539	12/07/90
91-77 COM-6	1898-0540	12/07/90
91-77 COM-7	1898-0541	12/07/90
91-77 COM-8	1898-0542	12/07/90
91-77 COM-9	1898-0543	12/07/90
91-77 COM-10	1898-0544	12/07/90
91-77 COM-11	1898-0545	12/07/90
91-77 COM-12	1898-0546	12/07/90
91-77 COM-13	1898-0547	12/07/90
91-77 COM-14	1898-0548	12/07/90
91-77 COM-15	1898-0549	12/07/90
91-77 COM-16	1898-0550	12/07/90
91-77 COM-17	1898-0551	12/07/90
91-77 COM-18	1898-0552	12/07/90
91-77 COM-19	1898-0553	12/07/90
91-77 COM-20	1898-0554	12/07/90
91-77 COM-21	1898-0555	12/07/90
91-77 COM-22	1898-0556	12/07/90
91-77 COM-23	1898-0557	12/07/90
91-77 COM-24	1898-0558	12/07/90
91-77 COM-25	1898-0559	12/07/90
91-77 COM-26	1898-0560	12/07/90
91-77 COM-27	1898-0561	12/07/90
91-77 COM-28	1898-0562	12/07/90
91-77 COM-29	1898-0563	12/07/90
91-77 COM-30	1898-0564	12/07/90
91-77 COM-31	1898-0565	12/07/90
91-77 COM-32	1898-0566	12/07/90
91-77 COM-33	1898-0567	12/07/90
91-77 COM-34	1898-0568	12/07/90
91-77 COM-35	1898-0569	12/07/90
91-77 COM-36	1898-0570	12/07/90
91-77 COM-37	1898-0571	12/07/90
91-77 COM-38	1898-0572	12/07/90
91-77 COM-39	1898-0573	12/07/90
91-77 COM-40	1898-0574	12/07/90
91-77 COM-41	1898-0575	12/07/90
91-77 COM-42	1898-0576	12/07/90
91-77 COM-43	1898-0577	12/07/90
91-77 COM-44	1898-0578	12/07/90
91-77 COM-45	1898-0579	12/07/90
91-77 COM-46	1898-0580	12/07/90
91-77 COM-47	1898-0581	12/07/90
91-77 COM-48	1898-0582	12/07/90
91-77 COM-49	1898-0583	12/07/90
91-77 COM-50	1898-0584	12/07/90
91-77 COM-51	1898-0585	12/07/90
91-77 COM-52	1898-0586	12/07/90
91-77 COM-53	1898-0587	12/07/90
91-77 COM-54	1898-0588	12/07/90
91-77 COM-55	1898-0589	12/07/90
91-77 COM-56	1898-0590	12/07/90
91-77 COM-57	1898-0591	12/07/90
91-77 COM-58	1898-0592	12/07/90
91-77 COM-59	1898-0593	12/07/90
91-77 COM-60	1898-0594	12/07/90
91-77 COM-61	1898-0595	12/07/90
91-77 COM-62	1898-0596	12/07/90
91-77 COM-63	1898-0597	12/07/90
91-77 COM-64	1898-0598	12/07/90
91-77 COM-65	1898-0599	12/07/90
91-77 COM-66	1898-0600	12/07/90
91-77 COM-67	1898-0601	12/07/90
91-77 COM-68	1898-0602	12/07/90
91-77 COM-69	1898-0603	12/07/90
91-77 COM-70	1898-0604	12/07/90
91-77 COM-71	1898-0605	12/07/90
91-77 COM-72	1898-0606	12/07/90
91-77 COM-73	1898-0607	12/07/90
91-77 COM-74	1898-0608	12/07/90
91-77 COM-75	1898-0609	12/07/90
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91-77 COM-79	1898-0613	12/07/90
91-77 COM-80	1898-0614	12/07/90
91-77 COM-81	1898-0615	12/07/90
91-77 COM-82	1898-0616	12/07/90
91-77 COM-83	1898-0617	12/07/90
91-77 COM-84	1898-0618	12/07/90
91-77 COM-85	1898-0619	12/07/90
91-77 COM-86	1898-0620	12/07/90
91-77 COM-87	1898-0621	12/07/90
91-77 COM-88	1898-0622	12/07/90
91-77 COM-89	1898-0623	12/07/90
91-77 COM-90	1898-0624	12/07/90
91-77 COM-91	1898-0625	12/07/90
91-77 COM-92	1898-0626	12/07/90
91-77 COM-93	1898-0627	12/07/90
91-77 COM-94	1898-0628	12/07/90
91-77 COM-95	1898-0629	12/07/90
91-77 COM-96	1898-0630	12/07/90
91-77 COM-97	1898-0631	12/07/90
91-77 COM-98	1898-0632	12/07/90
91-77 COM-99	1898-0633	12/07/90
91-77 COM-100	1898-0634	12/07/90

Note: Data on this map retrieved with an Ordinance Amendment ID has been updated to reflect the latest Ordinance Amendment ID. Please refer to the applicable Ordinance Amendment ID for the most current information. This map is a representation of the official copy of the map on file with the Palm Beach County Planning Division.

1 inch = 800 feet

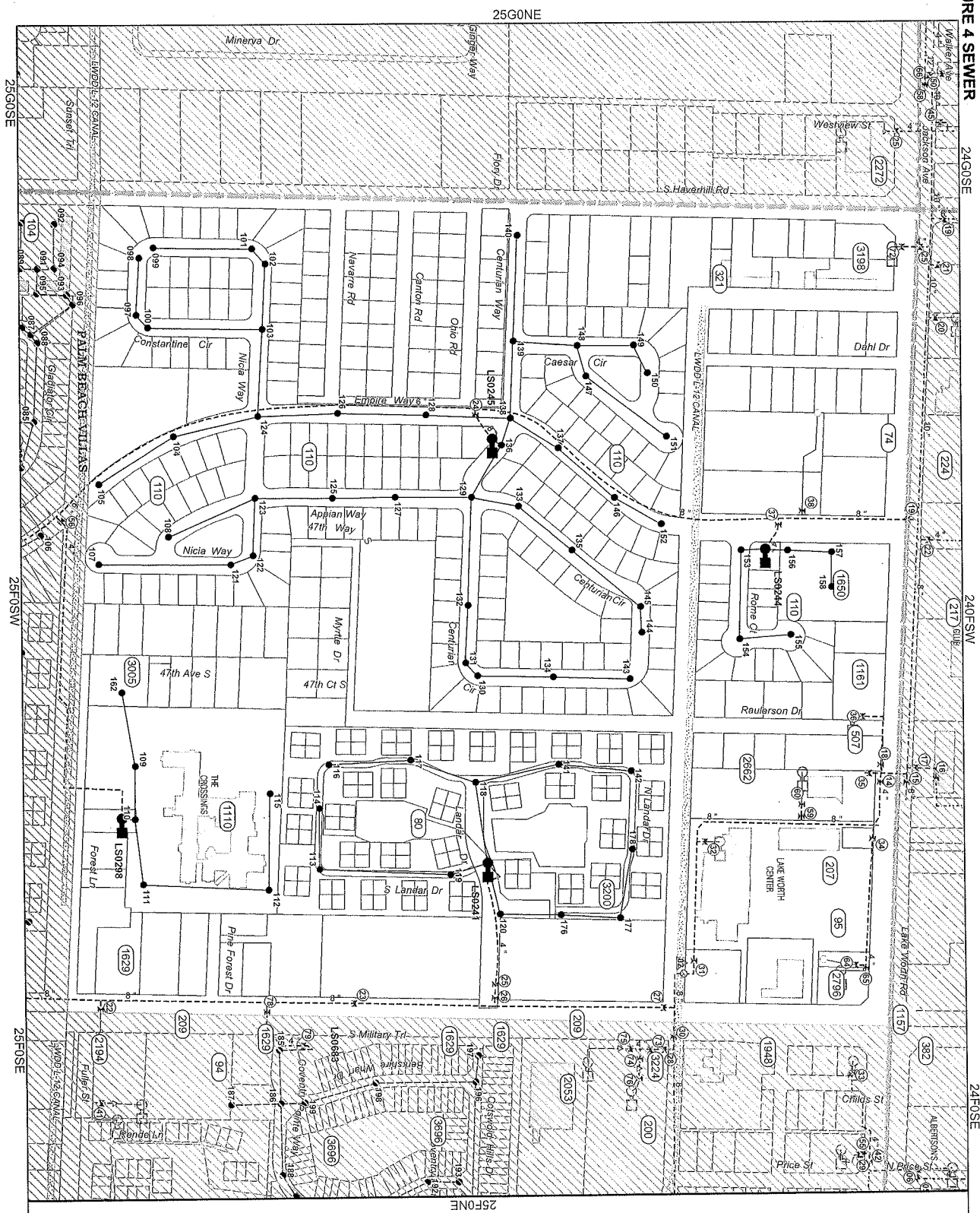
0 800 1200 feet

FIGURE 3



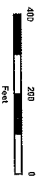
PLANNING AND ZONING DEPARTMENT
1000 WEST PALM BEACH AVENUE, SUITE 200
PALM BEACH, FLORIDA 33411
TEL: 561.832.3300 FAX: 561.832.3301
WWW.PALMBEACHCOUNTYFLORIDA.GOV

FIGURE 4 SEWER



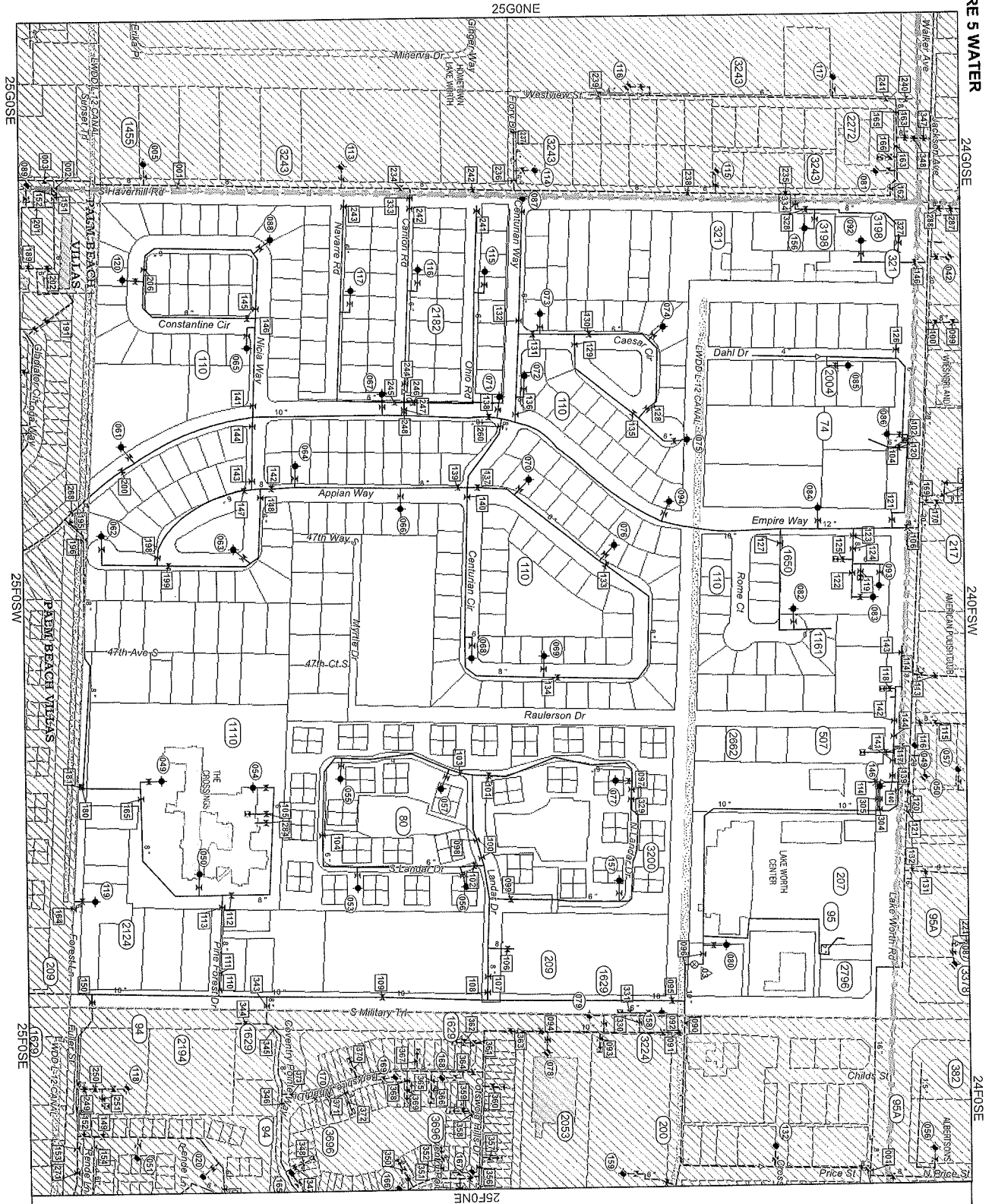
**Waste Water
Collection System**
Palm Beach County
Water Utilities

- Legend**
- ✕ Valve Public
 - ✕ Valve Private
 - Manhole Public
 - Manhole Private
 - Air Release
 - F.M. Private
 - - - F.M. Abandoned
 - F.M. Public
 - Gravity Main Public
 - Gravity Main Private
 - PS Master Pump Stations
 - L.S. Public
 - L.S. Private
 - Section Lines
 - ▭ Parcels
 - ▭ Canals
 - ▭ Non PBOWUD S.A.
 - ▭ Buildings > 7500sqft
 - As-built No.
 - Valve No.
 - Manhole No.
 - △ A.R.V. No.



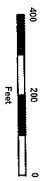
Grid Map Sheet
F25NW
SEWER
Printing Date: Mar 05, 2008

FIGURE 5 WATER



Water Distribution System
Palm Beach County
Water Utilities

- Legend**
- ⊕ Valve Public
 - ⊗ Valve Private
 - ⊙ Meter
 - ⊕ Hydrant Public
 - ⊗ Hydrant Private
 - ⊙ Air Release
 - ⊙ Control Valve
 - △ Reducor
 - W.M. Active
 - - - W.M. Aband.
 - - - W.M. Private
 - Section Lines
 - ▭ Parcel
 - ▭ Map/GriD/quater/mile
 - ▭ Canals
 - ▭ Non PC/WUD S.A.
 - ▭ Buildings > 7500sqft
 - ⊙ As-built No.
 - ⊙ Valve No.
 - ⊙ Hydrant No.
 - ⊙ A.R.V. No.



Grid Map Sheet
F25NW
WATER
 Printing Date: Mar 07, 2008

CITY OF GREENACRES

Council Agenda Memo
2018.01KF03.002

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **Ordinance 2017-27, CPA-17-02**
Future Land Use Amendment for South Military Trail
City Council Agenda Item for 01-22-18

DATE: January 8, 2018

COPIES: James D Stokes, City Attorney
Joanna Cunningham, City Clerk
File: CPA-17-02

Background:

The City of Greenacres Planning and Engineering Department is requesting a small-scale future land use amendment from Palm Beach County Urban Infill (UI) to City Commercial (CM) and City Public Institutional (PI) for three parcels of land totaling approximately 5.42 acres, located on the west side of South Military Trail located approximately 500 feet south of the intersection of Lake Worth Road and South Military Trail at 4101, and 4215 South Military Trail, including adjacent Lake Worth Drainage District (LWDD) right-of-way. City initiated annexation (ANX-17-01) and zoning change (ZC-17-02) requests are being processed concurrently with this application.

The Land Development Staff has reviewed this proposal on October 19, 2017 and recommended approval, followed by the Local Planning Agency recommending approval by a vote of 7-0 at their meeting on December 6, 2017. The City Council approved this petition on first reading December 18, 2017 by a unanimous vote of 5-0.

Analysis:

This small-scale future land use amendment is required as a result of annexation of the parcels. Staff has determined that the proposed Commercial (CM) and Public Institutional (PI) designations are suitable replacements for the existing County

designations based on the Advisory Future Land Use Map (Map FLU 9 in the Comprehensive Plan), adjacent future land use designations, the busy commercial nature of the intersection of Lake Worth Road and South Military Trail, and the City's desired development pattern.

Overall, the proposed Commercial (CM) and Public Institutional (PI) future land use designations are compatible with adjacent land uses, meets concurrency requirements, and is consistent with the City's Comprehensive Plan, the Treasure Coast Regional Planning Council's Strategic Regional Policy Plan and Chapter 163, Florida Statutes.

Financial:

N/A.

Legal:

Ordinance 2017-27 was prepared in accordance with all applicable State Statutes and City Code requirements.

Staff Recommendation:

Approval of CPA-17-02 through the adoption of Ordinance 2017-27.



Kara L. Irwin-Ferris, AICP
Planning and Engineering Director

Attachments:

1. Ordinance 2017-27
2. Aerial Location Map
3. Future Land Use Map

ORDINANCE NO. 2017-27

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, AMENDING THE FUTURE LAND USE MAP OF THE FUTURE LAND USE ELEMENT OF THE CITY'S COMPREHENSIVE PLAN, TO CHANGE THE FUTURE LAND USE DESIGNATION OF TWO PARCELS OF LAND TOTALING APPROXIMATELY 3.9949 ACRES, LOCATED APPROXIMATELY 500 FEET SOUTH OF THE INTERSECTION OF LAKE WORTH ROAD AND SOUTH MILITARY TRAIL AT 4215 SOUTH MILITARY TRAIL AND 4101 SOUTH MILITARY TRAIL, FROM A PALM BEACH COUNTY DESIGNATION OF URBAN INFILL (PBC UI) TO A CITY OF GREENACRES DESIGNATION OF COMMERCIAL (CM) AND PUBLIC INSTITUTIONAL (PI), AS REQUESTED BY THE PLANNING AND ENGINEERING DEPARTMENT; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR TRANSMITTAL TO THE DIVISION OF COMMUNITY DEVELOPMENT; PROVIDING FOR INCLUSION IN THE COMPREHENSIVE PLAN; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Greenacres, pursuant to the Local Government Comprehensive Planning and Land Development Regulation Act, and in accordance with all of its terms and provisions, has prepared and adopted a Comprehensive Plan which has been certified by the State of Florida Division of Community Development; and

WHEREAS, Chapter 163.3187 provides for small-scale future land use amendments for properties ten (10) acres or less; and

WHEREAS, the subject properties meet the requirements of 163.3187; and

WHEREAS, the City of Greenacres Planning and Engineering Department is herein known as the "Petitioner" for the herein described properties; and

WHEREAS, the petitioner is requesting to change the City of Greenacres Future Land Use Map from a Palm Beach County future land use designation of Urban Infill (UI) to a City of Greenacres future land use designation of Commercial (CM) and Public Institutional (PI) for the subject property; and

WHEREAS, the Local Planning Agency for the City of Greenacres has held a duly advertised public hearing on December 6, 2017, and has recommended approval of petition CPA-17-02 to amend the Comprehensive Plan; and

WHEREAS, the City Council of the City of Greenacres has conducted a duly advertised public hearing to receive comments on CPA-17-02 concerning the proposed amendment to the Comprehensive Plan and has considered all comments received as required by state law and local ordinance; and

WHEREAS, the City Council finds that the proposed amendment ordinance is consistent with the City's Comprehensive Plan and is in the best interest of the citizens of the City of Greenacres.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1. Future Land Use Map Designation.

That the Future Land Use Map designation is hereby amended from a Palm Beach County future land use designation of Urban Infill (UI) to a City of Greenacres future land use designation of Public Institutional (PI) for the property legally described as follows:

Legal Description

PCN: 00-42-44-25-45-001-0000

The West 293.38 feet of the East 333.38 feet of the Southeast Quarter (SE ¼) of the Northeast Quarter (NE ¼) of the Northwest Quarter (NW ¼) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida.

Less:

The East 27.00 feet thereof for additional right-of-way for Military Trail as dedicated by Warranty Deed recorded in Official Record Book 6021, Page 1258, of the Public Records of Palm Beach County, Florida.

Also Less:

The South 60.00 feet thereof for right-of-way for Landar Drive as shown and dedicated to the Public on the Plat of Countryside Townhomes Plat No. 1, according to the Plat No. 1, according to the Plat thereof, as Recorded in Plat Book 36, Pages 145 and 146, of the Public Records of Palm Beach County, Florida.

Further Less:

The North 70.0 feet thereof for right-of-way for Lake Worth Drainage District Lateral Canal 12.

And Further Less:

Corner Clip "A" and Corner Clip "B" conveyed to Palm Beach County by Warranty Deed recorded in Official Record Book 22398, Page 1295, of the Public Records of Palm Beach County, Florida.

AND:

The right-of-way adjacent thereto.

CONTAINING A TOTAL OF 3.28 ACRES MORE OR LESS.

AND:

That the Future Land Use Map designation is hereby amended from a Palm Beach County future land use designation of Urban Infill (UI) to a City of Greenacres future land use designation of Commercial (CM) for the property legally described as follows:

Legal Description

PCN: 00-42-44-25-00-000-3040

The South 180 feet of West 200 feet of the East 240 feet of the Northeast 1/4 of the Northeast 1/4 of the Northwest 1/4 Section 25, Township 44 South, Range 42 East, less the East 27 feet State Road 809 right-of-way.

CONTAINING A TOTAL OF 0.7149 ACRES MORE OR LESS.

Section 2. Authorization to Make Changes.

That the Planning and Engineering Department is further authorized to make the necessary map change to the Comprehensive Plan to reflect the change authorized by this Ordinance.

Section 3. Repeal of Conflicting Ordinances.

All Ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this Ordinance are hereby repealed.

Section 4. Severability.

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances,

or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

Section 5. Transmittal to the DCD.

The Planning and Engineering Department shall send copies of the future land use amendment and Ordinance to the Treasure Coast Regional Planning Council (TCRPC) and the State Division of Community Development (DCD).

Section 6. Inclusion in the Comprehensive Plan.

It is the intention of the City Council, entered as hereby ordained, that the provisions of this Ordinance shall become and be made a part of the Comprehensive Plan of the City of Greenacres, Florida; that the section(s) of this Ordinance may be renumbered or re-lettered to accomplish such intention, and that the word "Ordinance" may be changed to "Section", "Article" or another word.

Section 7. Effective Date.

The effective date of this plan amendment shall be thirty-one (31) days following the adoption of this Ordinance in accordance with the provisions of Chapter 163.3187, F.S.

[The remainder of this page intentionally left blank.]

Passed on the first reading this 18th day of December, 2017.

PASSED AND ADOPTED on the second reading this 22nd day of January, 2018.

Voted

Joel Flores
Mayor

Paula Bousquet
Deputy Mayor

()

Attest:

Joanna Cunningham
City Clerk

John Tharp
Council Member, District I

()

Peter Noble
Council Member, District II

()

Judith Dugo
Council Member, District III

()

Anderson Thelusme
Council Member, District IV

()

Approved as to Form and Legal Sufficiency:











James D. Stokes
City Attorney



FUTURE LAND USE AMENDMENT (CPA-17-02) SOUTH MILITARY TRAIL CITY OF GREENACRES, FLORIDA

PREPARED BY THE PLANNING AND ENGINEERING DEPARTMENT

Legend

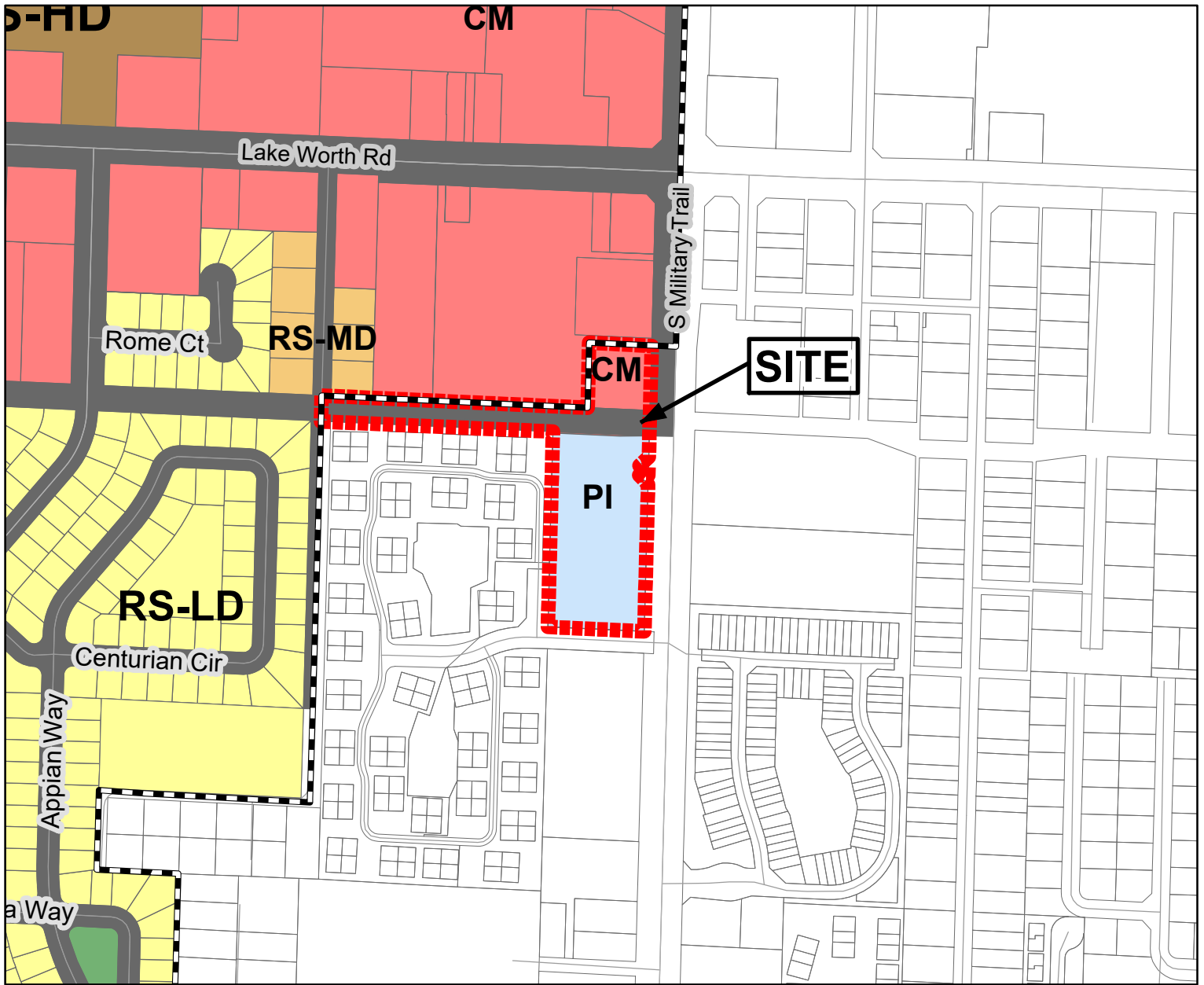
-  CITY BOUNDARY
- FUTURE LAND USE CATEGORIES**
-  RIGHT OF WAY
-  RESIDENTIAL LOW DENSITY (RS-LD)
-  RESIDENTIAL MEDIUM DENSITY (RS-MD)
-  RESIDENTIAL HIGH DENSITY (RS-HD)
-  MIXED USE (MU)
-  COMMERCIAL (CM)
-  RECREATION OPEN SPACE (RO)
-  PUBLIC INSTITUTIONAL (PI)
-  STUDY AREA ZONE (SAZ)



Date: 12/8/2017

500

Feet





LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION

I. Project Description:

Project: South Military Trail

Petitioner: City of Greenacres
Planning & Engineering Dept.
5800 Melaleuca Lane
Greenacres, FL 33463

Request: Small-scale Future Land Use
Amendment from Palm Beach
County Urban Infill (UI) to City
Commercial (CM) & Public
Institutional (PI)

Location: Parcels located on the west side of
South Military Trail located
approximately 500 feet south
of the intersection of Lake Worth
Road and South Military Trail at
4101, and 4215 South Military Trail



II. Site Data:

Existing Use: Florida, Power, & Light sub-station & Government Services

Parcel Control Numbers: 00-42-44-25-00-000-3040
00-42-44-25-45-001-0000
Portion of 00-42-44-25-00-000-1970

Parcel Size: 5.42 +/- acres (236,095 square feet)

Existing Future Land Use Designation: PBC Urban Infill (UI)

Proposed Future Land Use Designation: City Commercial (CM) & Public Institutional (PI)

Existing Zoning District: PBC Urban Infill (UI)

Proposed Zoning District: City Commercial Intensive (CI) & Government Use (GU)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Office Depot Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)
<i>South</i>	Countryside Townhouses and Grower's Outlet Retail Nursery	PBC High Residential - 8 (PBC HR-8) and PBC Urban Infill (UI)	PBC Residential Medium (PBC RM) and PBC Urban Infill (UI)
<i>East</i>	Jiffy Lube, Auto Glass, Body Shop and Salvage Yard, Self-Storage, and Action Supply Company	Village of Palm Springs Commercial (VOPS COM), PBC Commercial High/8 (PBC CH/8), and PBC Urban Infill (PBC UI)	Village of Palm Springs Commercial General (VOPS CG), PBC Commercial General (PBC CG), and PBC Urban Infill (PBC UI)
<i>West</i>	Office Depot Plaza and Countryside Townhouses	City Commercial (City CM) and PBC High Residential – 8 (PBC HR-8)	City Commercial Intensive (City CI) and PBC Residential Medium (PBC RM)

III. Annexation/Zoning History:

The approximately 5.42-acres of land are located in unincorporated Palm Beach County within the identified Future Annexation Area of the City. The area to be annexed contains three (3) individual parcels each having a Palm Beach County future land use designation of Urban Infill (PBC UI) and a Palm Beach County zoning designation of Urban Infill (PBC UI).

Parcel 1 (4101 S. Military Trail)

According to the Palm Beach County Property Appraiser’s public records, the existing Florida Power and Light (FPL) substation was built on this 0.7149-acre site in approximately 1980. The site has access directly onto South Military Trail and has no interconnectivity to the adjacent Aloha Shopping Center. Concurrent petitions for a comprehensive plan amendment (CPA-16-04) and zoning change (ZC-16-02) are being processed for this parcel.

Parcel 2 (No address – Lake Worth Drainage Parcel)

The site is part of an interconnected drainage system owned and operated by the Lake Worth Drainage District (LWDD). A portion of the site is currently being developed for a parking area extension to support the Tax Collectors Central Palm Beach County Service Center. The site is a drainage right-of-way that provides support services for adjacent sites. As a drainage right-of-way (ROW) it takes on the zoning of the adjacent parcels center line and does not require a specific designation of land use or zoning.

Parcel 3 (4215 S. Military Trail)

The 3.28 acre parcel has a 36,000 square foot 2-story office building constructed earlier this year. It was approved by Palm Beach County on December 9, 2013 as petition No. W2013-02239 through Resolution 2013-1767 for the Tax Collector’s Central Palm Beach County Service Center. The site has access to S. Military Trail and Landar Drive. In accord with the City’s past practice, the existing Palm Beach County approval will be accepted as a valid City approval and a case number will be assigned for filing purposes. Any changes to the use or site plan will be required to meet the City Code.

IV. Data and Analysis:

This small-scale future land use amendment is needed in order to replace the existing Palm Beach County Urban Infill (PBC UI) future land use designation with an appropriate City designation as a result of annexation. The Advisory Future Land Use Map (Map FLU 9) recommends Commercial (CM) for the subject parcels, which is the same as the proposed land use designation for the FPL sub-station, but the designation Public Institutional (PI) for the government service center would be more appropriate.

Land Use Analysis:

After a review of the proposed land use amendment, staff has determined that the application is consistent with the provisions of Chapter 163, FS, because it is compatible with adjacent properties, meets concurrency requirements, and is consistent with the provisions of the City's Comprehensive Plan. Specifically, these are as follows:

A. *Compatibility:*

A review of the adjacent existing and anticipated land uses (see attached Aerial Photo) shows that the proposed land use is compatible with the adjacent properties.

North: To the north of the subject parcels is a property containing the retail center known as Office Depot Plaza, which was annexed into the City on September 8, 2018 via Ordinance 2016-22. Office Depot Plaza has a future land use designation of Commercial (CM) and a zoning designation of Commercial Intensive (CI). The proposed designation for the FPL sub-station is identical to the adjacent land use and the Public Institutional land use designation is appropriate for the Tax Collector government services building; therefore, there will be no adverse impacts from the proposed future land use amendment.

South and West: The subject area is abutted by the Countryside townhouses residential development and the Grower's Outlet Retail Nursery on its south side, both of which are located within unincorporated Palm Beach County. The properties have Palm Beach County future land use designations of High Residential-8 (PBC HR-8) and Urban Infill (UI) and zoning designations of Palm Beach County Residential Medium (RM) and Urban Infill (UI) respectively. There will be no adverse impacts resulting from the proposed change since the existing development will remain as-is, any proposed changes will need to meet Code requirements for buffering, and the proposed City designation allows less intensity than the existing County designation.

East: To the east of the subject parcels is commercial property within the Village of Palm Springs and unincorporated Palm Beach County. The proposed designation is approximately equivalent to the designation of these adjacent properties and is compatible with the existing commercial development at the south east corner of the Lake Worth Road / South Military Trail major commercial intersection. Therefore, there will be no adverse impacts from the proposed future land use amendments.

Conclusions: Reviewing the adjacent existing commercial and multi-family residential development shows that the proposed City Commercial future land use designation is compatible with the surrounding properties and the intense commercial activity at this intersection of two Urban Principal Arterial roadways. In addition, the Public Institutional land use designation is compatible with the adjacent uses and appropriate for the Tax Collector site.

B. Concurrency:

As previously stated, this future land use amendment will provide these sites with a City future land use designation based on their annexation. Additional impacts on services are expected to be insignificant since the proposed City future land use designation allows less intensity (at up to 0.35 FAR) than the existing County future land use designation (at up to 1.0 FAR). Furthermore, an applicant will be required to meet the level of service (LOS) standards for this site through the site and development approval process for any future redevelopment.

C. Consistency with City's Comprehensive Plan:

The proposed amendment is consistent with the Goals, Objectives and Policies of the Comprehensive Plan, specifically:

1. Future Land Use Element

Objective 8, Policy c)

Land development regulations adopted to implement this Comprehensive Plan shall be based on and be consistent with the following standards for residential densities and commercial intensities as indicated below:

**** (1 through 10 omitted for brevity) ****

(11) Commercial Intensive – 30% lot coverage, 0.35 FAR

**** (12 through 14 omitted for brevity) ****

(15) Public/Institutional Land Use – 0.10-0.35 FAR

Land uses owned, leased or operated by government agencies, such as civic and community centers, libraries, police/fire stations and public schools. Each property so designated shall be evaluated during the site plan approval process for compatibility with adjacent land uses, service capacity availability, current and future traffic capacity, and safety, and the maximum intensity (FAR) established within the given range based on that site analysis and in accord with Zoning District Regulations.

**** (16 omitted for brevity) ****

Objective 10, Policy e)

The City of Greenacres shall regulate and control all future land use activities which affect the topography, materials beneath the land's surface and availability of services by implementing the following policies:

Policy e)

In reviewing future land use amendments in the City's Future Annexation Area, the City will utilize the Advisory Future Land Use Map (Map 9) as the basis for the assignment of future land use designations as well as consideration of the goals, objectives and policies contained in this Element and an analysis of the proposal's compatibility with adjacent uses in order to determine the appropriate designation.

Objective 11, Policies a, b, c & d)

The City shall discourage the proliferation of urban sprawl by following established land use patterns, promoting appropriate infill and designating future land use densities based upon levels of services and the availability of services and facilities.

Policy a)

Urban Sprawl will be discouraged by permitting only development that is consistent and compatible with the established land use pattern. "Consistent and compatible with the established land use pattern" shall mean:

- (1) Only uses permitted within the Plan's land use designation and the implementing zoning district shall be approved.
- (2) Only development within the designated density range and intensity regulations of the implementing zoning district will be approved.
- (3) Adequate facilities and services shall be available and concurrent to accommodate the proposed development.

Policy b)

Infill development shall be promoted within existing areas to discourage the harmful effects of leapfrog development.

Policy c)

Future timing of appropriate land use densities and intensities will be determined by the established levels of services and the availability of services and facilities to meet the established levels.

Policy d)

The City will continue to utilize the nodal system (Section VI A.1 and A.2 of the Future Land Use Element) in conjunction with Map 5 to designate Future Land Uses in activity spheres and infill corridors.

V. Consistency with the Treasure Coast Regional Planning Council SRPP:

The proposed future land use amendment represents a means of increasing commercial opportunities in the City through the process of infill development, rather than approving land uses which will encourage urban sprawl. This is consistent with the intent of Regional Goal 2.1, which discourages urban sprawl development patterns and Regional Goal 5.1, which states that redevelopment, revitalization and infill of existing neighborhoods and districts should be encouraged. The proposed Commercial (CM) future land use designation is consistent with the intent of Regional Goal 8.1 which states that development should take place concurrent with or after the provision of necessary infrastructure and services. As a result, the proposed future land use amendment is consistent with the Treasure Coast Regional Planning Council's Strategic Regional Policy Plan (SRPP) concerning appropriate development patterns.

VI. Consistency with Chapter 163, Florida Statutes:

The amendment is consistent with the provisions of Chapter 163.3184 and 163.3187 F.S. concerning the processing of a small-scale future land use amendment to the Comprehensive Plan, as well as providing all applicable data and analysis to support the amendment.

In summary, this small-scale future land use amendment to the City's Comprehensive Plan is compatible with adjacent land uses, adequately addresses concurrency issues, and is consistent with the City's Comprehensive Plan, the Regional Planning Council's SRPP and Chapter 163, F.S.

VII. Staff Recommendation:

Approval of CPA-17-02 through the adoption of Ordinance 2017-27.

LOCAL PLANNING AGENCY ACTION – December 6, 2017

The Planning Commission on a motion made by Commissioner Robards and seconded by Commissioner Bennis, by a vote of seven (7) to zero (0), ***recommended approval*** of Comprehensive Plan Amendment ***CPA-17-02*** (South Military Trail), as presented by staff.

CITY COUNCIL ACTION First Reading – December 18, 2017

The City Council on a motion made by Councilman Noble and seconded by Councilman Tharp, voting five (5) to zero (0), ***approved*** Comprehensive Plan Amendment ***CPA-17-02*** (South Military Trail), on first reading, through ***Ordinance 2017-27***, as presented by staff.

CITY COUNCIL ACTION Adoption Hearing – January 22, 2018

Joel Flores, Mayor

Attest:

Joanna Cunningham, City Clerk

Attachments:

1. Aerial Photograph
2. Future Land Use Map
3. Ordinance 2017-27

CITY OF GREENACRES

Council Agenda Memo
2018.01KF03.003

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **Ordinance 2017-28, ZC-17-02**
Zoning Change for South Military Trail
City Council Agenda Item for 01-22-18

DATE: January 8, 2018

COPIES: James D Stokes, City Attorney
Joanna Cunningham, City Clerk
File: ZC-17-02

Background:

The City of Greenacres Planning and Engineering Department is requesting a zoning change from Palm Beach County Urban Infill (UI) to City Commercial Intensive (CI) and Government Use (GU) for three parcels of land totaling approximately 5.42 acres, located on the west side of South Military Trail located approximately 500 feet south of the intersection of Lake Worth Road and South Military Trail at 4101, and 4215 South Military Trail, including adjacent Lake Worth Drainage District (LWDD) right-of-way. City initiated annexation (CPA-17-02) and zoning change (ZC-17-02) requests are being processed concurrently with this application.

The Land Development Staff has reviewed this proposal on October 19, 2017 and recommended approval, followed by the Planning Commission recommending approval by a vote of 7-0 at their meeting on December 6, 2016. The City Council approved this petition on first reading December 18, 2017 by a unanimous vote of 5-0.

Analysis:

This zoning change is required as a result of annexation of the parcels. Staff has determined that the proposed Commercial Intensive (CI) and Government Use (GU) designations are suitable replacements for the existing County designations based on

the existing uses on site, the proposed Commercial future land use designation and Government Use designation, adjacent zoning designations, and the busy commercial nature of the intersection of Lake Worth and South Military Trail. The proposal also meets all concurrency requirements, and is consistent with the City's comprehensive plan and zoning code including the ten (10) zoning change criteria in the Code.

Financial:

N/A.

Legal:

Ordinance 2017-28 was prepared in accordance with all applicable State Statutes and City Code requirements.

Staff Recommendation:

Approval of ZC-17-02 through the adoption of Ordinance 2017-28.



Kara L. Irwin-Ferris, AICP
Planning and Engineering Director

Attachments:

1. Ordinance 2017-28
2. Aerial Location Map
3. Zoning Map

ORDINANCE NO. 2017-28

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, APPROVING THE APPLICATION FOR A ZONING CHANGE FOR TWO PARCELS OF LAND TOTALING APPROXIMATELY 3.9949 ACRES, LOCATED APPROXIMATELY 500 FEET SOUTH OF THE INTERSECTION OF LAKE WORTH ROAD AND SOUTH MILITARY TRAIL AT 4215 SOUTH MILITARY TRAIL, 4101 SOUTH MILITARY TRAIL, FROM A PALM BEACH COUNTY ZONING DESIGNATION OF URBAN INFILL (PBC UI) TO A CITY OF GREENACRES ZONING DESIGNATION OF COMMERCIAL INTENSIVE (CI) AND GOVERNMENT USE (GU), AS REQUESTED BY THE PLANNING AND ENGINEERING DEPARTMENT; PROVIDING FOR CHANGES TO THE OFFICIAL ZONING MAP; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Greenacres Planning and Engineering Department is herein known as the "Petitioner" for the herein described property; and

WHEREAS, the Petitioner is requesting a rezoning of two (2) parcels of land totaling approximately 3.9949 acres more or less, from a Palm Beach County zoning designation of Urban Infill (UI) to a City of Greenacres zoning designation of Commercial Intensive (CI) and Government Use (GU); and

WHEREAS, the Planning Commission has held a duly advertised public hearing on December 6, 2017 and reviewed the application for compliance with the staff findings relevant to the criteria for a Zoning Change as detailed in the Land Development Staff Report and Recommendation, Exhibit "A", dated December 1, 2017, as revised; and

WHEREAS, the City Council of the City of Greenacres has conducted a duly advertised public hearing on December 18, 2017 and has considered all comments received concerning the proposed amendment to the Official Zoning Map as required by state law and local ordinance; and

WHEREAS, the City Council finds that the proposed zoning change ordinance is consistent with the City's Comprehensive Plan, said Plan being adopted pursuant to the

Local Government Comprehensive Planning and Land Development Regulation Act and certified by the State of Florida Division of Community Development; and

WHEREAS, the City Council of the City of Greenacres further finds that, in accordance with Exhibit “A”, “Land Development Staff Report and Recommendation”, dated December 1, 2017, as revised (attached), the proposed amendment changing the zoning district of one (1) parcel of land totaling approximately 3.28 acres more or less, from a Palm Beach County zoning designation of Urban Infill (UI) to a City of Greenacres zoning designation of Government Use (GU) and changing the zoning district of one (1) parcel of land totaling approximately 0.7149 acres more or less, from a Palm Beach County zoning designation of Urban Infill (UI) to a City of Greenacres zoning designation of Commercial Intensive (CI), is in the best interest of the citizens of the City of Greenacres.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1. Zoning District Amendment.

The request by the petitioner to change the Official Zoning Map to include a zoning change of one (1) parcel of land totaling approximately 3.28 acres more or less, from a Palm Beach County zoning designation of Urban Infill (UI) to a City of Greenacres zoning designation of Government Use (GU) and a zoning change of one (1) parcel of land totaling approximately 0.7149 acres more or less, from a Palm Beach County zoning designation of Urban Infill (UI) to a City of Greenacres zoning designation of Commercial Intensive (CI), is hereby granted for the properties located approximately 500 feet south of the intersection of Lake Worth Road and South Military Trail at 4215 and 4101 South Military Trail, legally described as follows:

Legal Description

Legal Description

PCN: 00-42-44-25-45-001-0000

The West 293.38 feet of the East 333.38 feet of the Southeast Quarter (SE ¼) of the Northeast Quarter (NE ¼) of the Northwest Quarter (NW ¼) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida.

Less:

The East 27.00 feet thereof for additional right-of-way for Military Trail as dedicated by Warranty Deed recorded in Official Record Book 6021, Page 1258, of the Public Records of Palm Beach County, Florida.

Also Less:

The South 60.00 feet thereof for right-of-way for Landar Drive as shown and dedicated to the Public on the Plat of Countryside Townhomes Plat No. 1, according to the Plat No. 1, according to the Plat thereof, as Recorded in Plat Book 36, Pages 145 and 146, of the Public Records of Palm Beach County, Florida.

Further Less:

The North 70.0 feet thereof for right-of-way for Lake Worth Drainage District Lateral Canal 12.

And Further Less:

Corner Clip "A" and Corner Clip "B" conveyed to Palm Beach County by Warranty Deed recorded in Official Record Book 22398, Page 1295, of the Public Records of Palm Beach County, Florida.

PCN: 00-42-44-25-00-000-3040

The South 180 feet of West 200 feet of the East 240 feet of the Northeast 1/4 of the Northeast 1/4 of the Northwest 1/4 Section 25, Township 44 South, Range 42 East, less the East 27 feet State Road 809 right-of-way.

AND:

The right-of-way adjacent thereto.

CONTAINING A TOTAL OF 3.9949 ACRES MORE OR LESS.

Section 2. Authorization to Make Changes.

That the Planning and Engineering Department is further directed to make the necessary changes to the City of Greenacres Official Zoning Map to reflect the changes authorized by this Ordinance.

Section 3. Repeal of Conflicting Ordinances.

All Ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this Ordinance are hereby repealed.

Section 4. Severability.

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property,

circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

Section 5. Effective Date.

The provisions of this Ordinance shall become effective upon adoption.

Passed on the first reading this 18th day of December, 2017.

PASSED AND ADOPTED on the second reading this 22nd day of January, 2018.

Voted

Joel Flores
Mayor

Paula Bousquet
Deputy Mayor

()

Attest:

Joanna Cunningham
City Clerk

John Tharp
Council Member, District I

()

Peter Noble
Council Member, District II

()

Judith Dugo
Council Member, District III

()

Anderson Thelusme
Council Member, District IV

()

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney



ZONING CHANGE (ZC-17-02) SOUTH MILITARY TRAIL CITY OF GREENACRES, FLORIDA

PREPARED BY THE PLANNING AND ENGINEERING DEPARTMENT

Legend

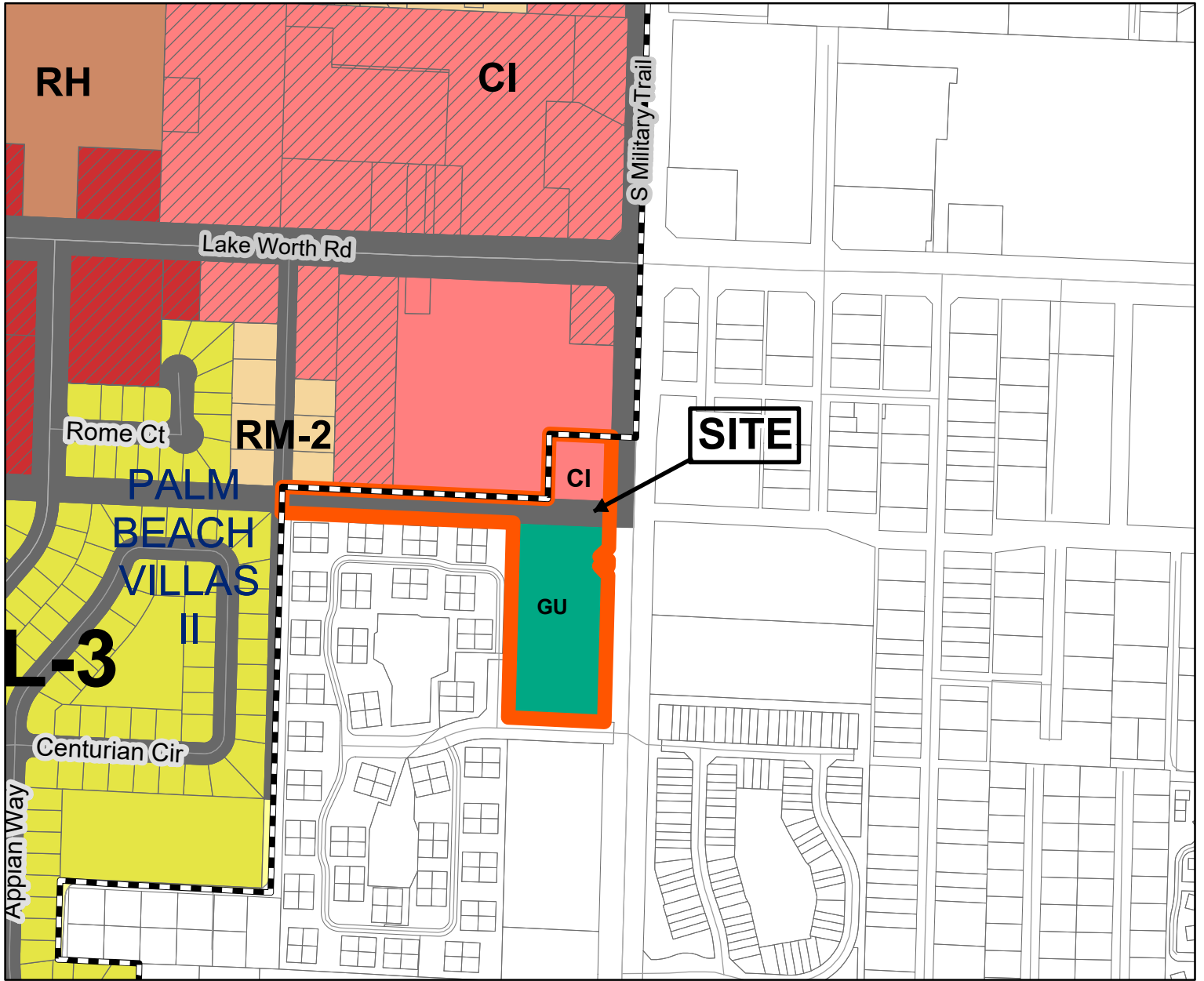
- CITY BOUNDARY
- RIGHT OF WAY
- LAKE WORTH ROAD URBAN CORRIDOR OVERLAY DISTRICT
- AGRICULTURAL RESIDENTIAL (4 UNITS/ACRE) (AR)
- RESIDENTIAL LOW - 3 (RL-3)
- RESIDENTIAL ESTATE (1 UNIT/ACRE) (RE)
- RESIDENTIAL LOW DENSITY (3 UNITS/ACRE) (RL-1)
- RESIDENTIAL LOW DENSITY (4 UNITS/ACRE) (RL-2)
- RESIDENTIAL LOW DENSITY (5 UNITS/ACRE) (RL-3)
- RESIDENTIAL MEDIUM DENSITY 1 (6 UNITS/ACRE) (RM-1)
- RESIDENTIAL MEDIUM DENSITY 2 (7 UNITS/ACRE) (RM-2)
- RESIDENTIAL HIGH DENSITY (10 UNITS/ACRE) (RH)
- RESIDENTIAL MOBILE HOME (RMH)
- MIXED DEVELOPMENT RESIDENTIAL (MXD-R)
- MIXED DEVELOPMENT COMMERCIAL (MXD-C)
- MIXED DEVELOPMENT OFFICE (MXD-O)
- MIXED DEVELOPMENT - ORIGINAL SECTION (MXD-OS)
- OFFICE PROFESSIONAL AND INSTITUTIONAL (OPI)
- COMMERCIAL NEIGHBORHOOD (CN)
- COMMERCIAL GENERAL (CG)
- COMMERCIAL INTENSIVE (CI)
- GOVERNMENT USE (GU)
- STUDY AREA ZONE (SAZ)



500

Feet

Date: 12/8/2017





LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION

I. Project Description:

Project: South Military Trail

Petitioner: City of Greenacres
Planning & Engineering Dept.
5800 Melaleuca Lane
Greenacres, FL 33463

Request: Zoning Change from Palm Beach County Urban Infill (UI) to City Commercial Intensive (CI) & City Government Use (GU)

Location: Parcels located on the west side of South Military Trail located approximately 500 feet south of the intersection of Lake Worth Road and South Military Trail at 4101, and 4215 South Military Trail



II. Site Data:

Existing Use: Florida, Power, & Light sub-station & Government Services

Parcel Control Numbers: 00-42-44-25-00-000-3040
00-42-44-25-45-001-0000
Portion of 00-42-44-25-00-000-1970

Parcel Size: 5.42 +/- acres (236,095 square feet)

Existing Future Land Use Designation: PBC Urban Infill (UI)

Proposed Future Land Use Designation: City Commercial (CM) & Public Institutional (PI)

Existing Zoning District: PBC Urban Infill (UI)

Proposed Zoning District: City Commercial Intensive (CI) & Government Use (GU)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Office Depot Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)
<i>South</i>	Countryside Townhouses and Grower's Outlet Retail Nursery	PBC High Residential - 8 (PBC HR-8) and PBC Urban Infill (UI)	PBC Residential Medium (PBC RM) and PBC Urban Infill (UI)
<i>East</i>	Jiffy Lube, Auto Glass, Body Shop and Salvage Yard, Self-Storage, and Action Supply Company	Village of Palm Springs Commercial (VOPS COM), PBC Commercial High/8 (PBC CH/8), and PBC Urban Infill (PBC UI)	Village of Palm Springs Commercial General (VOPS CG), PBC Commercial General (PBC CG), and PBC Urban Infill (PBC UI)
<i>West</i>	Office Depot Plaza and Countryside Townhouses	City Commercial (City CM) and PBC High Residential – 8 (PBC HR-8)	City Commercial Intensive (City CI) and PBC Residential Medium (PBC RM)

III. Annexation/Zoning History:

The approximately 5.42-acres of land are located in unincorporated Palm Beach County within the identified Future Annexation Area of the City. The area to be annexed contains three (3) individual parcels each having a Palm Beach County future land use designation of Urban Infill (PBC UI) and a Palm Beach County zoning designation of Urban Infill (PBC UI).

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Parcel 2 (No address – Lake Worth Drainage Parcel)

The site is part of an interconnected drainage system owned and operated by the Lake Worth Drainage District (LWDD). A portion of the site is currently being developed for a parking area extension to support the Tax Collectors Central Palm Beach County Service Center. The site is a drainage right-of-way that provides support services for adjacent sites. As a drainage right-of-way (ROW) it takes on the zoning of the adjacent parcels center line and does not require a specific designation of land use or zoning.

Parcel 3 (4215 S. Military Trail)

The 3.28 acre parcel has a 36,000 square foot 2-story office building constructed earlier this year. It was approved by Palm Beach County on December 9, 2013 as petition No. W2013-02239 through Resolution 2013-1767 for the Tax Collector's Central Palm Beach County Service Center. The site has access to S. Military Trail and Landar Drive. In accord with the City's past practice, the existing Palm Beach County approval will be accepted as a valid City approval and a case number will be assigned for filing purposes. Any changes to the use or site plan will be required to meet the City Code.

IV. Applicable Comprehensive Plan Provisions:

The Comprehensive Plan includes the following planning objectives and policies related to this proposed zoning change request:

1. Future Land Use Element

Objective 8, Policy c)

Land development regulations adopted to implement this Comprehensive Plan shall be based on and be consistent with the following standards for residential densities and commercial intensities as indicated below:

**** (1 through 10 omitted for brevity) ****

(11) Commercial Intensive – 30% lot coverage, 0.35 FAR

**** (12 through 14 omitted for brevity) ****

(15) Public/Institutional Land Use – 0.10-0.35 FAR

Land uses owned, leased or operated by government agencies, such as civic and community centers, libraries, police/fire stations and public schools. Each property so designated shall be evaluated during the site plan approval process for compatibility with adjacent land uses, service capacity availability, current and future traffic capacity, and safety, and the maximum intensity (FAR) established within the given range based on that site analysis and in accord with Zoning District Regulations.

**** (16 omitted for brevity) ****

Objective 11, Policies a, b, & c)

The City shall discourage the proliferation of urban sprawl by following established land use patterns, promoting appropriate infill and designating future land use densities based upon levels of services and the availability of services and facilities.

Policy a)

Urban Sprawl will be discouraged by permitting only development that is consistent and compatible with the established land use pattern. “Consistent and compatible with the established land use pattern” shall mean:

- (1) Only uses permitted within the Plan's land use designation and the implementing zoning district shall be approved.
- (2) Only development within the designated density range and intensity regulations of the implementing zoning district will be approved.

- (3) Adequate facilities and services shall be available and concurrent to accommodate the proposed development.

Policy b)

Infill development shall be promoted within existing areas to discourage the harmful effects of leapfrog development.

Policy c)

Future timing of appropriate land use densities and intensities will be determined by the established levels of services and the availability of services and facilities to meet the established levels.

V. Applicable City Code Provisions:

Section 16-153(a)(1) of the Code relating to rezoning of property states that the proposed zoning change should not be contrary to the future land use map, and it should not have an adverse effect on the Comprehensive Plan.

Division 11. Commercial Intensive (Section 16-496 through 16-506)

The commercial intensive (CI) district is intended for intensive, highly automotive oriented uses that require a conspicuous and accessible location along thoroughfares designated as major arterials in the comprehensive plan. Permitted uses and special exceptions within this designation require larger land areas with ample off-street parking and off-street loading space. This district provides the greatest variety of uses among commercial districts and serves a geographical area that extends beyond the city limits. This district may accommodate certain light manufacturing, processing, wholesaling and storage and warehousing uses when it is clearly demonstrated that such uses are compatible with other uses in the district. It is not the intent of this district that it shall be used to encourage the extension of strip commercial areas.

Division 12. Government Use (Section 16-525 through 16-536)

The government use (GU) district is intended to provide a district essentially for mapping purposes which will identify real property presently owned and used by any governmental entity, including local, state or federal government units. This district is not intended to be applied to land that is used by governmental entities on an easement or leased basis if title to the land is in private ownership. It is not the intent to classify all lands owned by government into this district but only those lands particularly and peculiarly related to the public welfare.

VI. Staff Analysis:

Land Development Staff Comments:

The petition was reviewed by the Land Development Staff on October 19, 2017, and recommended for approval.

Planning and Engineering Dept.:	Incorporated into the staff report
Building Department:	No objections

Fire Rescue Department: No objections
Public Works Department: No objections
PBSO District 16: No objections

Change Criteria and Findings of Fact:

Section 16-153. Planning Commission Report: The Planning Commission shall submit a report to the City Council which shows that the Commission has studied and considered the proposed amendment for rezoning of property and change to the official zoning map in relation to the following, where applicable:

Specific Criteria Findings:

- (1) Whether the proposed change would be contrary to the land use plan and would have an adverse effect on the Comprehensive Plan.**

Finding: The proposed Commercial Intensive (CI) zoning will be consistent with the property's proposed Commercial future land use designation. The CI district is intended for intensive, highly automotive oriented uses and allows the provision of a large range of commercial uses in support of the Goals, Objectives, and Policies of the Comprehensive Plan directing commercial activity to major intersections.

The proposed Government Use (GU) zoning will be consistent with the property's proposed Public Institutional future land use designation. The GU district is intended for real property presently owned and used by any governmental entity, including local, state or federal government units.

- (2) The existing land use pattern.**

Finding: The proposed Commercial Intensive (CI) zoning district and the proposed Government Use (GU) zoning district are compatible with the existing mix of commercial uses in the area, both in the City and in the County. These designations are consistent with the predominant City Commercial Intensive (CI) zoning district along Lake Worth Road and South Military Trail and compatible with the County Urban Infill and Palm Springs Commercial General zoning districts nearby.

- (3) The possible creation of an isolated district unrelated to adjacent and nearby districts.**

Finding: This proposed zoning change will not create an isolated zoning district. The parcels are located approximately 500 feet from the intersection of Lake Worth Road and South Military Trail along a commercial corridor with existing commercial uses.

- (4) The population density pattern and possible increase or overtaxing of the land on public facilities such as schools, utilities, etc.**

Finding: The developed sites are surrounded by developed commercial land uses on 3 sides. Any future expansion or redevelopment of the site will be required to show that concurrency for all applicable agencies will be satisfied.

- (5) Whether existing district boundaries are illogically drawn in relation to existing conditions**

on the property proposed for change.

Finding: The properties are being annexed into the City and therefore require an appropriate City zoning designation.

- (6) Whether changed or changing conditions make the passage of the proposed amendment necessary.**

Finding: The properties are being annexed into the City and therefore require an appropriate City zoning designation.

- (7) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.**

Finding: The proposed change will replace the existing County commercial-type zoning designation with a City commercial zoning designation which allows similar uses and less intensity of development and with the City Government Use (GU) zoning, which also provides for a reduction in the intensity. Thus traffic and public safety will not be negatively impacted by either designation. Furthermore, any redevelopment must satisfy Traffic Performance Standards as part of the site plan approval process.

- (8) Whether the proposed change will adversely influence living conditions in the neighborhood.**

Finding: The proposed zoning change will not adversely affect living conditions in the area. The parcels are currently developed and are expected to continue in their current use; any future projects will be required to include adequate landscaping, setbacks, and buffering in accordance with the City Zoning Code.

- (9) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.**

Finding: The properties are being annexed into the City and therefore requires an appropriate City zoning designation.

- (10) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.**

Finding: As evidenced by the findings above, the proposed zoning change does not constitute a special privilege for the property owners because the change is consistent with existing land use patterns, the property's proposed future land use, the surrounding zoning designations, and the existing County zoning designation.

VII. Staff Recommendation:

Approval of ZC-17-02 through the adoption of Ordinance 2017-28.

PLANNING COMMISSION RECOMMENDATION - December 6, 2017

The Planning Commission on a motion made by Commissioner Bennis and seconded by Commissioner Robards, by a vote of seven (7) to zero (0), *recommended approval* of Zoning change **ZC-17-02** (South Military Trail), as presented by staff.

CITY COUNCIL ACTION First Reading – December 18, 2017

The City Council on a motion made by Councilwoman Dugo and seconded by Councilman Thelusme, voting five (5) to zero (0), *approved* Zoning Change **ZC-17-02** (South Military Trail), on first reading, through *Ordinance 2017-28*, as presented by staff.

CITY COUNCIL ACTION Adoption Hearing – January 22, 2018

Joel Flores, Mayor

Attest:

Joanna Cunningham, City Clerk

Attachments:

1. Aerial Location Map
2. Ordinance 2017-28
3. Zoning Map

CITY OF GREENACRES

Council Agenda Memo
2018.01KF03.004

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **Ordinance 2017-29, CPA-17-01**
Future Land Use Amendment for Lake Worth Road Dunkin Donuts
City Council Agenda Item for 01-22-18

DATE: January 8, 2018

COPIES: James D Stokes, City Attorney
Joanna Cunningham, City Clerk
File: CPA-17-02

Background:

The City of Greenacres Planning and Engineering Department is requesting a small-scale future land use amendment from Palm Beach County Urban Infill (UI) to City Commercial (CM) for one parcel of land totaling approximately 0.16 acres, located on the south side of Lake Worth Road approximately 515 feet west of South Military Trail at 4644 Lake Worth Road. City initiated zoning change (ZC-17-01) request is being processed concurrently with this application.

The subject property was annexed with an Interlocal Agreement between the City of Greenacres and the Palm Beach County Board of County Commissioners (BCC). The City approved the Interlocal via Resolution 2016-31 on September 8, 2016 and Palm Beach County BCC approved the Interlocal on September 27, 2016. The City annexed the site but did not amend the land use of the site concurrently. The City Council approved this petition on first reading December 18, 2017 by a unanimous vote of 5-0.

The Land Development Staff has reviewed this proposal and recommended approval, followed by the Local Planning Agency recommending approval by a vote of 7-0 at their meeting on December 6, 2017.

Analysis:

This small-scale future land use amendment is required as a result of annexation of the parcel. Staff has determined that the proposed Commercial (CM) designation is a suitable replacement for the existing County designation based on the Advisory Future Land Use Map (Map FLU 9 in the Comprehensive Plan), adjacent future land use designations, the busy commercial nature of the intersection of Lake Worth Road and South Military Trail, and the City's desired development pattern.

Overall, the proposed Commercial (CM) future land use designation is compatible with adjacent land uses, meets concurrency requirements, and is consistent with the City's Comprehensive Plan, the Treasure Coast Regional Planning Council's Strategic Regional Policy Plan and Chapter 163, Florida Statutes.

Financial:

N/A.

Legal:

Ordinance 2017-29 was prepared in accordance with all applicable State Statutes and City Code requirements.

Staff Recommendation:

Approval of CPA-17-01 through the adoption of Ordinance 2017-29.



Kara L. Irwin-Ferris, AICP
Planning and Engineering Director

Attachments:

1. Ordinance 2017-29
2. Aerial Location Map
3. Future Land Use Map

ORDINANCE NO. 2017-29

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, AMENDING THE FUTURE LAND USE MAP OF THE FUTURE LAND USE ELEMENT OF THE CITY'S COMPREHENSIVE PLAN, TO CHANGE THE FUTURE LAND USE DESIGNATION OF ONE PARCEL OF LAND TOTALING APPROXIMATELY 0.16 ACRES, LOCATED ON THE SOUTH SIDE OF LAKE WORTH ROAD APPROXIMATELY 515 FEET WEST OF SOUTH MILITARY TRAIL AT 4644 LAKE WORTH ROAD, FROM A PALM BEACH COUNTY DESIGNATION OF URBAN INFILL (PBC UI) TO A CITY OF GREENACRES DESIGNATION OF COMMERCIAL (CM), AS REQUESTED BY THE PLANNING AND ENGINEERING DEPARTMENT; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR TRANSMITTAL TO THE DIVISION OF COMMUNITY DEVELOPMENT; PROVIDING FOR INCLUSION IN THE COMPREHENSIVE PLAN; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Greenacres, pursuant to the Local Government Comprehensive Planning and Land Development Regulation Act, and in accordance with all of its terms and provisions, has prepared and adopted a Comprehensive Plan which has been certified by the State of Florida Division of Community Development; and

WHEREAS, Chapter 163.3187 provides for small-scale future land use amendments for properties ten (10) acres or less; and

WHEREAS, the subject property meets the requirements of 163.3187; and

WHEREAS, the City of Greenacres Planning and Engineering Department is herein known as the "Petitioner" for the herein described properties; and

WHEREAS, the petitioner is requesting to change the City of Greenacres Future Land Use Map from a Palm Beach County future land use designation of Urban Infill (UI) to a City of Greenacres future land use designation of Commercial (CM) for the subject property; and

WHEREAS, the Local Planning Agency for the City of Greenacres has held a duly advertised public hearing on December 6, 2017, and has recommended approval of petition CPA-17-01 to amend the Comprehensive Plan; and

WHEREAS, the City Council of the City of Greenacres has conducted a duly advertised public hearing to receive comments on CPA-17-01 concerning the proposed amendment to the Comprehensive Plan and has considered all comments received as required by state law and local ordinance; and

WHEREAS, the City Council finds that the proposed amendment ordinance is consistent with the City's Comprehensive Plan and is in the best interest of the citizens of the City of Greenacres.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1. Future Land Use Map Designation.

That the Future Land Use Map designation is hereby amended from a Palm Beach County future land use designation of Urban Infill (UI) to a City of Greenacres future land use designation of Commercial (CM) for the property legally described as follows:

Legal Description

PCN#: 00-42-44-25-00-000-3610

All that part of the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, described as follows:

Commence at the Northwest corner of the Northeast quarter (NE 1/4 of the Northeast quarter (NE 1/4) of the quarter (NW 1/4) of said Section 25, thence Southerly along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the

Northwest quarter (NW 1/4) Section 25, 63.01 feet, thence Easterly parallel with the North line of said Section 25, 21.00 feet to the Point of Beginning thence continue Easterly, parallel with the said North line of Section 25, 4.0 feet, thence Southerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of Section 25, 101.03 feet, thence Westerly, at right angles, 4.0 feet, thence Northerly, parallel with the Said West line of the Northwest quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of Section 25. 101.10 feet to the said Point of Beginning.

Also that parcel of landing the Winn-Dixie Center known as Lake Worth Road in the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, more particulary described as follows:

Commence at the Northwest corner of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, thence running South, along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25 a distance of 63.01 feet, thence running East, parallel to the North line of said Section 25, a distance of 25.00 feet to the Point of Beginning, thence continuing East, along the extension of the previous course, a distance of 60.01 feet, thence running South, parallel to the West of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, a distance of 100.00 feet, thence running West, perpendicular to the previous course, a distance of 60.00 feet, thence running North perpendicular to the previous course, a distance of 101.05 feet to the Point of Beginning.

AND

All that part of the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, described as follows:

Commence at the Northwest corner of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, thence Southerly, along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 63.01 feet, thence Easterly, parallel with the North line of said Section 25, 85.01 feet to the Point of Beginning, thence continue Easterly, parallel with the said North line of Section 25, 4.0 feet, thence Southerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 99.93 feet, thence Westerly, at right angles, 4.00 feet, thence Northerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 100.00 feet to the said Point of Beginning.

TOGETHER WITH EASEMENT RIGHTS TO THE FOLLOWING DESCRIBED PARCELS:

(INGRESS EGRESS & PARKING EASEMENT)

All that part of the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, described as follows:

Commence at the Northwest corner of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) the Northwest quarter (NW 1/4) of said Section 25, thence Southerly, along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 63.01 feet, thence Easterly, parallel with

the North line of said Section 25, 89.01 feet to the Point of Beginning, thence continue Easterly, parallel with the said North line of Section 25, 59.01 feet, thence Southerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter ((NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 59.00 feet, thence Northerly, parallel with the said West line of the Northeast quarter (NE 1/4) Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 99.93 feet to the said Point of Beginning.

(DRIVE AND SIGN EASEMENT)

All that part of the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, described as follows:

Commence at the Northwest quarter (NW 1/4) of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest (NW 1/4) of said Section 25, thence Southerly, along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 63.01 feet to the Point of Beginning, thence Easterly, parallel with the North line of said Section 25, 21.00 feet, thence Southerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 30.00 feet, thence Westerly, parallel with the said North line of Section 25, 21.00 feet to the West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, thence Northerly, along said West line, 30.00 feet to the said Point of Beginning.

CONTAINING A TOTAL OF 0.16 ACRES MORE OR LESS.

Section 2. Authorization to Make Changes.

That the Planning and Engineering Department is further authorized to make the necessary map change to the Comprehensive Plan to reflect the change authorized by this Ordinance.

Section 3. Repeal of Conflicting Ordinances.

All Ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this Ordinance are hereby repealed.

Section 4. Severability.

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

Section 5. Transmittal to the DCD.

The Planning and Engineering Department shall send copies of the future land use amendment and Ordinance to the Treasure Coast Regional Planning Council (TCRPC) and the State Division of Community Development (DCD).

Section 6. Inclusion in the Comprehensive Plan.

It is the intention of the City Council, entered as hereby ordained, that the provisions of this Ordinance shall become and be made a part of the Comprehensive Plan of the City of Greenacres, Florida; that the section(s) of this Ordinance may be renumbered or re-lettered to accomplish such intention, and that the word "Ordinance" may be changed to "Section", "Article" or another word.

Section 7. Effective Date.

The effective date of this plan amendment shall be thirty-one (31) days following the adoption of this Ordinance in accordance with the provisions of Chapter 163.3187, F.S.

[The remainder of this page intentionally left blank.]

Passed on the first reading this 18th day of December, 2017.

PASSED AND ADOPTED on the second reading this 22nd day of January, 2018.

Voted

Joel Flores
Mayor

Paula Bousquet
Deputy Mayor

()

Attest:

Joanna Cunningham
City Clerk

John Tharp
Council Member, District I

()

Peter Noble
Council Member, District II

()

Judith Dugo
Council Member, District III

()

Anderson Thelusme
Council Member, District IV

()

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney



LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION

I. Project Description:

- Project:** Dunkin Donuts
- Petitioner:** The City of Greenacres
Planning and Engineering Dept.
5800 Melaleuca Lane
Greenacres, FL 33463
- Request:** Small-scale Future Land Use
Amendment from Palm Beach
County Urban Infill (UI) to City
Commercial (CM)
- Locations:** On the south side of Lake Worth Road
approximately 515 feet west of South
Military Trail at 4644 Lake Worth Road



II. Site Data:

- Existing Use:** Retail, Commercial, and Restaurant
- Parcel Control Numbers:** 00-42-44-25-00-000-3610
- Parcel Size:** 0.16 acres (6969.6 square feet)
- Existing Future Land Use Designation:** PBC Urban Infill (UI)
- Proposed Future Land Use Designation:** City Commercial (CM)
- Existing Zoning District:** PBC Urban Infill (UI)
- Proposed Zoning District:** City Commercial Intensive (CI)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Mil-Lake Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)
<i>South</i>	Office Depot Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)
<i>East</i>	Office Depot Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)
<i>West</i>	Office Depot Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)

III. Annexation/Zoning History:

The subject property was annexed with an Interlocal Agreement between the City of Greenacres and the Palm Beach County Board of County Commissioners (BCC). The City approved the Interlocal via Resolution 2016-31 on September 8, 2016 and Palm Beach County BCC approved the Interlocal on September 27, 2016.

The City annexed the site but did not amend the land use or zoning of the site concurrently. The City has a specific time period to apply a City land use and zoning and has determined that moving forward with a Commercial (CM) land use designation and Commercial Intensive (CI) zoning would be appropriate at this time.

IV. Data and Analysis:

This small-scale future land use amendment is needed in order to replace the existing Palm Beach County Urban Infill (PBC UI) future land use designation with an appropriate City designation as a result of annexation. The Advisory Future Land Use Map (Map FLU 9) recommends Commercial (CM) for the subject parcels. This is the same as the proposed designation.

Land Use Analysis:

After a review of the proposed land use amendment, staff has determined that the application is consistent with the provisions of Chapter 163, FS, because it is compatible with adjacent properties, meets concurrency requirements, and is consistent with the provisions of the City’s Comprehensive Plan. Specifically, these are as follows:

A. Compatibility:

A review of the adjacent existing and anticipated land uses (see attached Aerial Photo) shows that the proposed land use is compatible with the adjacent properties.

North: To the north of the subject parcels (located north of Lake Worth Road) is a property containing the retail center known as Mil-Lake Plaza. Mil-Lake Plaza has a future land use designation of Commercial (CM) and a zoning designation of Commercial Intensive (CI). The proposed designation is identical to the adjacent land use; therefore, there will be no adverse impacts from the proposed future land use amendment.

South, East, & West: To the south, east, and west of the subject parcel is a property containing the retail center known as Office Depot Plaza. Office Depot Plaza has a future land use designation of

Commercial (CM) and a zoning designation of Commercial Intensive (CI). The proposed designation is identical to the adjacent land use; therefore, there will be no adverse impacts from the proposed future land use amendment.

Conclusions: Reviewing the adjacent existing commercial development shows that the proposed City Commercial future land use designation is compatible with the surrounding properties and the intense commercial activity at this intersection of two Urban Principal Arterial roadways.

B. Concurrency:

As previously stated, this future land use amendment will provide these sites with a City future land use designation based on their annexation. Additional impacts on services are expected to be insignificant since the proposed City future land use designation allows less intensity (at up to 0.35 FAR) than the existing County future land use designation (at up to 1.0 FAR). Furthermore, an applicant will be required to meet the level of service (LOS) standards for this site through the site and development approval process for any future redevelopment.

C. Consistency with City's Comprehensive Plan:

The proposed amendment is consistent with the Goals, Objectives and Policies of the Comprehensive Plan, specifically:

1. Future Land Use Element

Objective 8, Policy c)

Land development regulations adopted to implement this Comprehensive Plan shall be based on and be consistent with the following standards for residential densities and commercial intensities as indicated below:

** * * (1 through 10 and 12 through 16 omitted for brevity) * * **

(11) Commercial Intensive – 30% lot coverage, 0.35 FAR

Objective 10, Policy e)

The City of Greenacres shall regulate and control all future land use activities which affect the topography, materials beneath the land's surface and availability of services by implementing the following policies:

Policy e)

In reviewing future land use amendments in the City's Future Annexation Area, the City will utilize the Advisory Future Land Use Map (Map 9) as the basis for the assignment of future land use designations as well as consideration of the goals, objectives and policies contained in this Element and an analysis of the proposal's compatibility with adjacent uses in order to determine the appropriate designation.

Objective 11, Policies a, b, c & d)

The City shall discourage the proliferation of urban sprawl by following established land use patterns, promoting appropriate infill and designating future land use densities based upon levels of services and the availability of services and facilities.

Policy a)

Urban Sprawl will be discouraged by permitting only development that is consistent and compatible with the established land use pattern. “Consistent and compatible with the established land use pattern” shall mean:

- (1) Only uses permitted within the Plan's land use designation and the implementing zoning district shall be approved.
- (2) Only development within the designated density range and intensity regulations of the implementing zoning district will be approved.
- (3) Adequate facilities and services shall be available and concurrent to accommodate the proposed development.

Policy b)

Infill development shall be promoted within existing areas to discourage the harmful effects of leapfrog development.

Policy c)

Future timing of appropriate land use densities and intensities will be determined by the established levels of services and the availability of services and facilities to meet the established levels.

Policy d)

The City will continue to utilize the nodal system (Section VI A.1 and A.2 of the Future Land Use Element) in conjunction with Map 5 to designate Future Land Uses in activity spheres and infill corridors.

V. Consistency with the Treasure Coast Regional Planning Council SRPP:

The proposed future land use amendment represents a means of increasing commercial opportunities in the City through the process of infill development, rather than approving land uses which will encourage urban sprawl. This is consistent with the intent of Regional Goal 2.1, which discourages urban sprawl development patterns and Regional Goal 5.1, which states that redevelopment, revitalization and infill of existing neighborhoods and districts should be encouraged. The proposed Commercial (CM) future land use designation is consistent with the intent of Regional Goal 8.1 which states that development should take place concurrent with or after the provision of necessary infrastructure and services. As a result, the proposed future land use amendment is consistent with the Treasure Coast Regional Planning Council’s Strategic Regional Policy Plan (SRPP) concerning appropriate development patterns.

VI. Consistency with Chapter 163, Florida Statutes:

The amendment is consistent with the provisions of Chapter 163.3184 and 163.3187 F.S. concerning the processing of a small-scale future land use amendment to the Comprehensive Plan, as well as providing all applicable data and analysis to support the amendment.

In summary, this small-scale future land use amendment to the City's Comprehensive Plan is compatible with adjacent land uses, adequately addresses concurrency issues, and is consistent with the City's Comprehensive Plan, the Regional Planning Council's SRPP and Chapter 163, F.S.

VII. Staff Recommendation:

Approval of CPA-17-01 through the adoption of Ordinance 2017-29.

LOCAL PLANNING AGENCY ACTION – December 6, 2017

The Planning Commission on a motion made by Commissioner Bennis and seconded by Commissioner Fitzgerald, by a vote of seven (7) to zero (0), ***recommended approval*** of Comprehensive Plan Amendment ***CPA-17-01*** (Dunkin Donuts at 4644 Lake Worth Road), as presented by staff.

CITY COUNCIL ACTION First Reading – December 18, 2017

The City Council on a motion made by Councilman Noble and seconded by Deputy Mayor Bousquet, voting five (5) to zero (0), ***approved*** Comprehensive Plan Amendment ***CPA-17-01*** (Dunkin Donuts at 4644 Lake Worth Road), on first reading, through ***Ordinance 2017-29***, as presented by staff.

CITY COUNCIL ACTION Adoption Hearing – January 22, 2018

Joel Flores, Mayor

Attest:

Joanna Cunningham, City Clerk

Attachments:











1. Aerial Photograph
2. Future Land Use Map
3. Ordinance 2017-29



FUTURE LAND USE AMENDMENT (CPA-17-01) DUNKIN DONUTS (4644 LAKE WORTH ROAD) CITY OF GREENACRES, FLORIDA

PREPARED BY THE PLANNING AND ENGINEERING DEPARTMENT

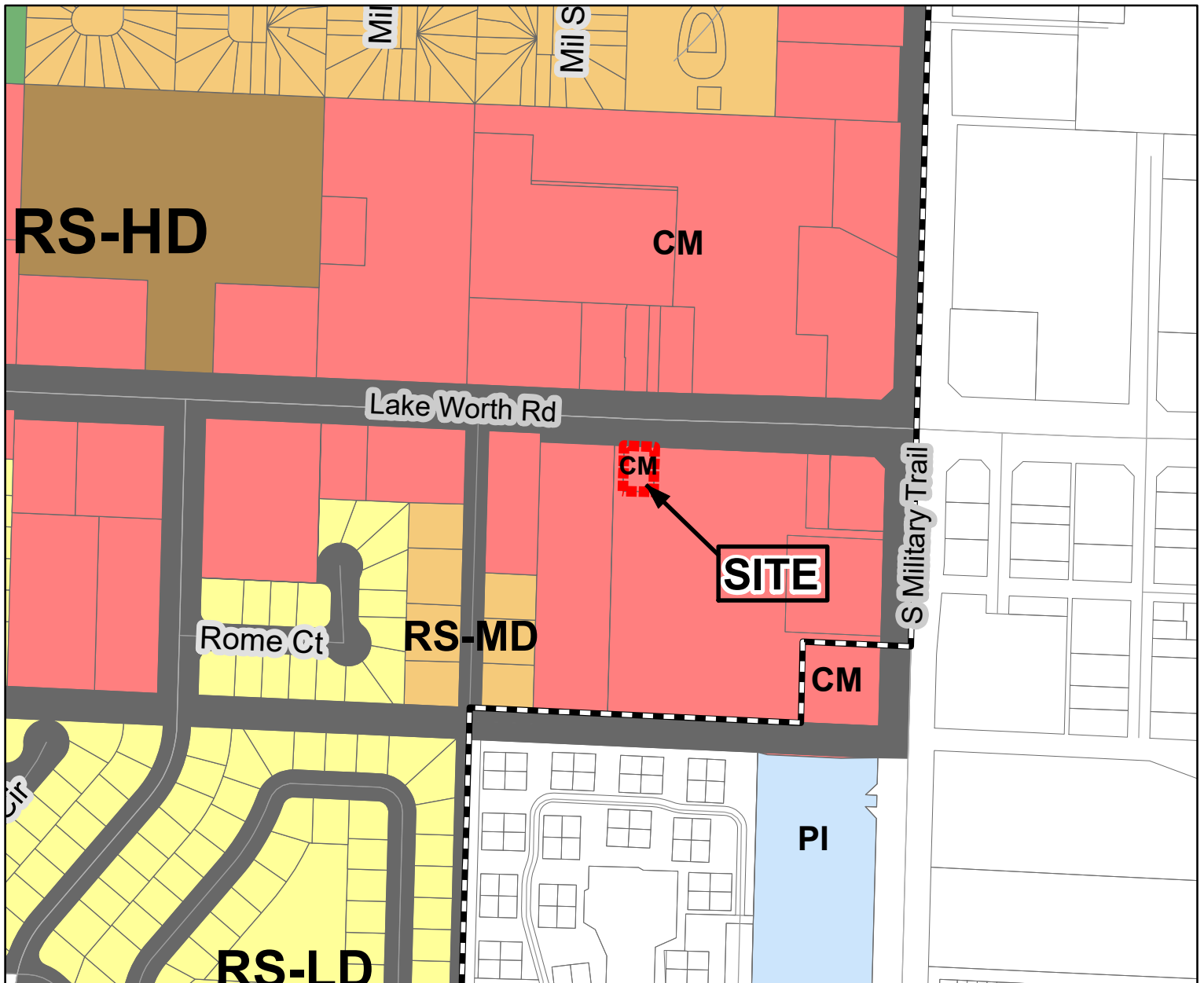
Legend

-  CITY BOUNDARY
- FUTURE LAND USE CATEGORIES**
-  RIGHT OF WAY
-  RESIDENTIAL LOW DENSITY (RS-LD)
-  RESIDENTIAL MEDIUM DENSITY (RS-MD)
-  RESIDENTIAL HIGH DENSITY (RS-HD)
-  MIXED USE (MU)
-  COMMERCIAL (CM)
-  RECREATION OPEN SPACE (RO)
-  PUBLIC INSTITUTIONAL (PI)
-  STUDY AREA ZONE (SAZ)



Date: 12/8/2017

500 Feet



CITY OF GREENACRES

Council Agenda Memo
2018.01KF03.005

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **Ordinance 2017-30, ZC-17-01**
Zoning Change for Lake Worth Road Dunkin Donuts
City Council Agenda Item for 01-22-18

DATE: January 8, 2018

COPIES: James D Stokes, City Attorney
Joanna Cunningham, City Clerk
File: ZC-17-01

Background:

The City of Greenacres Planning and Engineering Department is requesting a zoning change from Palm Beach County Urban Infill (UI) to City Commercial Intensive (CI) for one parcel of land totaling approximately 0.16 acres, located on the south side of Lake Worth Road approximately 515 feet west of South Military Trail at 4644 Lake Worth Road. City initiated zoning change (CPA-17-01) request is being processed concurrently with this application.

The subject property was annexed with an Interlocal Agreement between the City of Greenacres and the Palm Beach County Board of County Commissioners (BCC). The City approved the Interlocal via Resolution 2016-31 on September 8, 2016 and Palm Beach County BCC approved the Interlocal on September 27, 2016. The City annexed the site but did not amend the land use of the site concurrently.

The Land Development Staff has reviewed this proposal and recommended approval, followed by the Planning Commission recommending approval by a vote of 7-0 at their meeting on December 6, 2016. The City Council approved this petition on first reading December 18, 2017 by a unanimous vote of 5-0.

Analysis:

This zoning change is required as a result of annexation of the parcels. Staff has determined that the proposed Commercial Intensive (CI) designation is a suitable replacement for the existing County designation based on the existing uses on site, the proposed Commercial future land use designation and Government Use designation, adjacent zoning designations, and the busy commercial nature of the intersection of Lake Worth and South Military Trail. The proposal also meets all concurrency requirements, and is consistent with the City's comprehensive plan and zoning code including the ten (10) zoning change criteria in the Code.

Financial:

N/A.

Legal:

Ordinance 2017-30 was prepared in accordance with all applicable State Statutes and City Code requirements.

Staff Recommendation:

Approval of ZC-17-01 through the adoption of Ordinance 2017-30.



Kara L. Irwin-Ferris, AICP
Planning and Engineering Director

Attachments:

1. Ordinance 2017-30
2. Aerial Location Map
3. Zoning Map

ORDINANCE NO. 2017-30

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, APPROVING THE APPLICATION FOR A ZONING CHANGE FOR ONE PARCEL OF LAND TOTALING APPROXIMATELY 0.16 ACRES, LOCATED ON THE SOUTH SIDE OF LAKE WORTH ROAD APPROXIMATELY 515 FEET WEST OF SOUTH MILITARY TRAIL AT 4644 LAKE WORTH ROAD, FROM A PALM BEACH COUNTY ZONING DESIGNATION OF URBAN INFILL (PBC UI) TO A CITY OF GREENACRES ZONING DESIGNATION OF COMMERCIAL INTENSIVE (CI), AS REQUESTED BY THE PLANNING AND ENGINEERING DEPARTMENT; PROVIDING FOR CHANGES TO THE OFFICIAL ZONING MAP; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Greenacres Planning and Engineering Department is herein known as the "Petitioner" for the herein described property; and

WHEREAS, the Petitioner is requesting a rezoning of one (1) parcel of land totaling approximately 0.16 acres more or less, from a Palm Beach County zoning designation of Urban Infill (UI) to a City of Greenacres zoning designation of Commercial Intensive (CI); and

WHEREAS, the Planning Commission has held a duly advertised public hearing on December 6, 2017 and reviewed the application for compliance with the staff findings relevant to the criteria for a Zoning Change as detailed in the Land Development Staff Report and Recommendation, Exhibit "A", dated December 1, 2017, as revised; and

WHEREAS, the City Council of the City of Greenacres has conducted a duly advertised public hearing on December 18, 2017 and has considered all comments received concerning the proposed amendment to the Official Zoning Map as required by state law and local ordinance; and

WHEREAS, the City Council finds that the proposed zoning change ordinance is consistent with the City's Comprehensive Plan, said Plan being adopted pursuant to the

Local Government Comprehensive Planning and Land Development Regulation Act and certified by the State of Florida Division of Community Development; and

WHEREAS, the City Council of the City of Greenacres further finds that, in accordance with Exhibit "A", "Land Development Staff Report and Recommendation", dated December 1, 2017, as revised (attached), the proposed amendment changing the zoning district of one (1) parcel of land totaling approximately 0.16 acres more or less, from a Palm Beach County zoning designation of Urban Infill (UI) to a City of Greenacres zoning designation of Commercial Intensive (CI), is in the best interest of the citizens of the City of Greenacres.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1. Zoning District Amendment.

The request by the petitioner to change the Official Zoning Map to include a zoning change of one (1) parcel of land totaling approximately 0.16 acres more or less, from a Palm Beach County zoning designation of Urban Infill (UI) to a City of Greenacres zoning designation of Commercial Intensive (CI), is hereby granted for the property located on the south side of Lake Worth Road approximately 515 feet west of South Military Trail at 4644 Lake Worth Road, legally described as follows:

Legal Description

PCN#: 00-42-44-25-00-000-3610

All that part of the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, described as follows:

Commence at the Northwest corner of the Northeast quarter (NE 1/4 of the Northeast quarter (NE 1/4) of the quarter (NW 1/4) of said Section 25, thence Southerly along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) Section 25, 63.01 feet, thence Easterly parallel with the North line of said Section 25, 21.00 feet to the Point of Beginning thence continue Easterly, parallel with the said North line of Section 25, 4.0 feet, thence Southerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of Section 25, 101.03 feet, thence Westerly, at right angles, 4.0 feet, thence Northerly, parallel with the Said West line of the Northwest quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of Section 25. 101.10 feet to the said Point of Beginning.

Also that parcel of landing the Winn-Dixie Center known as Lake Worth Road in the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, more particulary described as follows:

Commence at the Northwest corner of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, thence running South, along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25 a distance of 63.01 feet, thence running East, parallel to the North line of said Section 25, a distance of 25.00 feet to the Point of Beginning, thence continuing East, along the extension of the previous course, a distance of 60.01 feet, thence running South, parallel to the West of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, a distance of 100.00 feet, thence running West, perpendicular to the previous

course, a distance of 60.00 feet, thence running North perpendicular to the previous course, a distance of 101.05 feet to the Point of Beginning.

AND

All that part of the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, described as follows:

Commence at the Northwest corner of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, thence Southerly, along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 63.01 feet, thence Easterly, parallel with the North line of said Section 25, 85.01 feet to the Point of Beginning, thence continue Easterly, parallel with the said North line of Section 25, 4.0 feet, thence Southerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 99.93 feet, thence Westerly, at right angles, 4.00 feet, thence Northerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 100.00 feet to the said Point of Beginning.

TOGETHER WITH EASEMENT RIGHTS TO THE FOLLOWING DESCRIBED
PARCELS:

(INGRESS EGRESS & PARKING EASEMENT)

All that part of the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, described as follows:

Commence at the Northwest corner of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) the Northwest quarter (NW 1/4) of said Section 25, thence Southerly,

along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 63.01 feet, thence Easterly, parallel with the North line of said Section 25, 89.01 feet to the Point of Beginning, thence continue Easterly, parallel with the said North line of Section 25, 59.01 feet, thence Southerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter ((NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 59.00 feet, thence Northerly, parallel with the said West line of the Northeast quarter (NE 1/4) Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 99.93 feet to the said Point of Beginning.

(DRIVE AND SIGN EASEMENT)

All that part of the Northwest quarter (NW 1/4) of Section 25, Township 44 South, Range 42 East, Palm Beach County, Florida, described as follows:

Commence at the Northwest quarter (NW 1/4) of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest (NW 1/4) of said Section 25, thence Southerly, along the West line of said Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 63.01 feet to the Point of Beginning, thence Easterly, parallel with the North line of said Section 25, 21.00 feet, thence Southerly, parallel with the said West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, 30.00 feet, thence Westerly, parallel with the said North line of Section 25, 21.00 feet to the West line of the Northeast quarter (NE 1/4) of the Northeast quarter (NE 1/4) of the Northwest quarter (NW 1/4) of said Section 25, thence Northerly, along said West line, 30.00 feet to the said Point of Beginning.

CONTAINING A TOTAL OF 0.16 ACRES MORE OR LESS.

Section 2. Authorization to Make Changes.

That the Planning and Engineering Department is further directed to make the necessary changes to the City of Greenacres Official Zoning Map to reflect the changes authorized by this Ordinance.

Section 3. Repeal of Conflicting Ordinances.

All Ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this Ordinance are hereby repealed.

Section 4. Severability.

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

Section 5. Effective Date.

The provisions of this Ordinance shall become effective upon adoption.

Passed on the first reading this 18th day of December, 2017.

PASSED AND ADOPTED on the second reading this 22nd day of January, 2018.

Voted

Joel Flores
Mayor

()
Paula Bousquet
Deputy Mayor

Attest:

Joanna Cunningham
City Clerk

()
John Tharp
Council Member, District I

()
Peter Noble
Council Member, District II

()
Judith Dugo
Council Member, District III

()
Anderson Thelusme
Council Member, District IV

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney



LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION

I. Project Description:

- Project:** Dunkin Donuts
- Petitioner:** The City of Greenacres
Planning and Engineering Dept.
5800 Melaleuca Lane
Greenacres, FL 33463
- Request:** Zoning Change from Palm Beach
County Urban Infill (UI) to City
Commercial Intensive (CI)
- Locations:** On the south side of Lake Worth Road
approximately 515 feet west of South
Military Trail at 4644 Lake Worth Road



II. Site Data:

- Existing Use:** Retail, Commercial, and Restaurant
- Parcel Control Numbers:** 00-42-44-25-00-000-3610
- Parcel Size:** 0.16 acres (6969.6 square feet)
- Existing Future Land Use Designation:** PBC Urban Infill (UI)
- Proposed Future Land Use Designation:** City Commercial (CM)
- Existing Zoning District:** PBC Urban Infill (UI)
- Proposed Zoning District:** City Commercial Intensive (CI)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Mil-Lake Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)
<i>South</i>	Office Depot Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)
<i>East</i>	Office Depot Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)
<i>West</i>	Office Depot Plaza	City Commercial (City CM)	City Commercial Intensive (City CI)

III. Annexation/Zoning History:

The subject property was annexed with an Interlocal Agreement between the City of Greenacres and the Palm Beach County Board of County Commissioners (BCC). The City approved the Interlocal via Resolution 2016-31 on September 8, 2016 and Palm Beach County BCC approved the Interlocal on September 27, 2016.

The City annexed the site but did not amend the land use or zoning of the site concurrently. The City has a specific time period to apply a City land use and zoning and has determined that moving forward with a Commercial (CM) land use designation and Commercial Intensive (CI) zoning would be appropriate at this time.

IV. Applicable Comprehensive Plan Provisions:

The Comprehensive Plan includes the following planning objectives and policies related to this proposed zoning change request:

1. Future Land Use Element

Objective 8, Policy c)

Land development regulations adopted to implement this Comprehensive Plan shall be based on and be consistent with the following standards for residential densities and commercial intensities as indicated below:

** * * (1 through 10 and 12 through 16 omitted for brevity) * * **

- (11) Commercial Intensive – 30% lot coverage, 0.35 FAR

Objective 11, Policies a, b, & c)

The City shall discourage the proliferation of urban sprawl by following established land use patterns, promoting appropriate infill and designating future land use densities based upon levels of services and the availability of services and facilities.

Policy a)

Urban Sprawl will be discouraged by permitting only development that is consistent and compatible with the established land use pattern. “Consistent and compatible with the established land use pattern” shall mean:

- (1) Only uses permitted within the Plan's land use designation and the implementing zoning district shall be approved.
- (2) Only development within the designated density range and intensity regulations of the implementing zoning district will be approved.
- (3) Adequate facilities and services shall be available and concurrent to accommodate the proposed development.

Policy b)

Infill development shall be promoted within existing areas to discourage the harmful effects of leapfrog development.

Policy c)

Future timing of appropriate land use densities and intensities will be determined by the established levels of services and the availability of services and facilities to meet the established levels.

V. Applicable City Code Provisions:

Section 16-153(a)(1) of the Code relating to rezoning of property states that the proposed zoning change should not be contrary to the future land use map, and it should not have an adverse effect on the Comprehensive Plan.

Division 11. Commercial Intensive (Section 16-496 through 16-506)

The commercial intensive (CI) district is intended for intensive, highly automotive oriented uses that require a conspicuous and accessible location along thoroughfares designated as major arterials in the comprehensive plan. Permitted uses and special exceptions within this designation require larger land areas with ample off-street parking and off-street loading space. This district provides the greatest variety of uses among commercial districts and serves a geographical area that extends beyond the city limits. This district may accommodate certain light manufacturing, processing, wholesaling and storage and warehousing uses when it is clearly demonstrated that such uses are compatible with other uses in the district. It is not the intent of this district that it shall be used to encourage the extension of strip commercial areas.

VI. Staff Analysis:

Land Development Staff Comments:

The petition was reviewed by the Land Development Staff on June 16, 2016, and recommended for approval.

Planning and Engineering Dept.:	Incorporated into the staff report
Building Department:	No objections
Fire Rescue Department:	No objections
Public Works Department:	No objections
PBSO District 16:	No objections

Change Criteria and Findings of Fact:

Section 16-153. Planning Commission Report: The Planning Commission shall submit a report to the City Council which shows that the Commission has studied and considered the proposed amendment for rezoning of property and change to the official zoning map in relation to the following, where applicable:

Specific Criteria Findings:

- (1) **Whether the proposed change would be contrary to the land use plan and would have an adverse effect on the Comprehensive Plan.**

Finding: The proposed Commercial Intensive (CI) zoning will be consistent with the property's proposed Commercial future land use designation. The CI district is intended for intensive, highly automotive oriented uses and allows the provision of a large range of commercial uses in support of the Goals, Objectives, and Policies of the Comprehensive Plan directing commercial activity to major intersections.

- (2) **The existing land use pattern.**

Finding: The proposed Commercial Intensive (CI) zoning district is compatible with the existing mix of commercial uses in the area, both in the City and in the County. This designation is consistent with the predominant City Commercial Intensive (CI) zoning district along Lake Worth Road and South Military Trail and compatible with the County Urban Infill and Palm Springs Commercial General zoning districts nearby.

- (3) **The possible creation of an isolated district unrelated to adjacent and nearby districts.**

Finding: This proposed zoning change will not create an isolated zoning district. The parcels are located in close proximity to the intersection of Lake Worth Road and South Military Trail at a commercialized intersection with existing commercial uses and designations on all four sides including an identical designations surrounding the parcel.

- (4) **The population density pattern and possible increase or overtaxing of the land on public facilities such as schools, utilities, etc.**

Finding: This developed site is surrounded by developed commercial land uses on 4 sides. Any future expansion or redevelopment of the site will be required to show that concurrency for all applicable agencies will be satisfied.

- (5) **Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.**

Finding: The property was previously annexed into the City and therefore requires an appropriate City zoning designation.

- (6) **Whether changed or changing conditions make the passage of the proposed amendment necessary.**

Finding: The property was previously annexed into the City and therefore requires an appropriate City zoning designation.

- (7) **Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.**

Finding: The proposed change will replace the existing County commercial-type zoning designation with a City commercial zoning designation which allows similar uses and less intensity of development. Thus traffic and public safety will not be negatively impacted. Furthermore, any redevelopment must satisfy Traffic Performance Standards as part of the site plan approval process.

- (8) **Whether the proposed change will adversely influence living conditions in the neighborhood.**

Finding: The proposed zoning change will not adversely affect living conditions in the area. The parcels are currently developed and are expected to continue in their current use; any future projects will be required to include adequate landscaping, setbacks, and buffering in accordance with the City Zoning Code.

- (9) **Whether there are substantial reasons why the property cannot be used in accord with existing zoning.**

Finding: The property was previously annexed into the City and therefore requires an appropriate City zoning designation.

- (10) **Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.**

Finding: As evidenced by the findings above, the proposed zoning change does not constitute a special privilege for the property owners because the change is consistent with existing land use patterns, the property's proposed future land use, the surrounding zoning designations, and the existing County zoning designation.

VII. Staff Recommendation:

Approval of ZC-17-01 through the adoption of Ordinance 2017-30.

PLANNING COMMISSION RECOMMENDATION – December 6, 2017

The Planning Commission on a motion made by Commissioner Clements and seconded by Commissioner Buzek, by a vote of seven (7) to zero (0), ***recommended approval*** of Zoning change ***ZC-17-01*** (Dunkin Donuts at 4644 Lake Worth Road), as presented by staff.

CITY COUNCIL ACTION First Reading – December 18, 2017

The City Council on a motion made by Deputy Mayor Bousquet and seconded by Councilman Tharp, voting five (5) to zero (0), ***approved*** Zoning Change ***ZC-17-01*** (Dunkin Donuts at 4644 Lake Worth Road), on first reading, through ***Ordinance 2017-30***, as presented by staff.

CITY COUNCIL ACTION Adoption Hearing – January 22, 2018

Joel Flores, Mayor

Attest:

Joanna Cunnigham, City Clerk

Attachments:

1. Aerial Location Map
2. Zoning Map
3. Ordinance 2017-30



ZONING CHANGE (ZC-17-01) DUNKIN DONUTS (4644 LAKE WORTH ROAD) CITY OF GREENACRES, FLORIDA

PREPARED BY THE PLANNING AND ENGINEERING DEPARTMENT

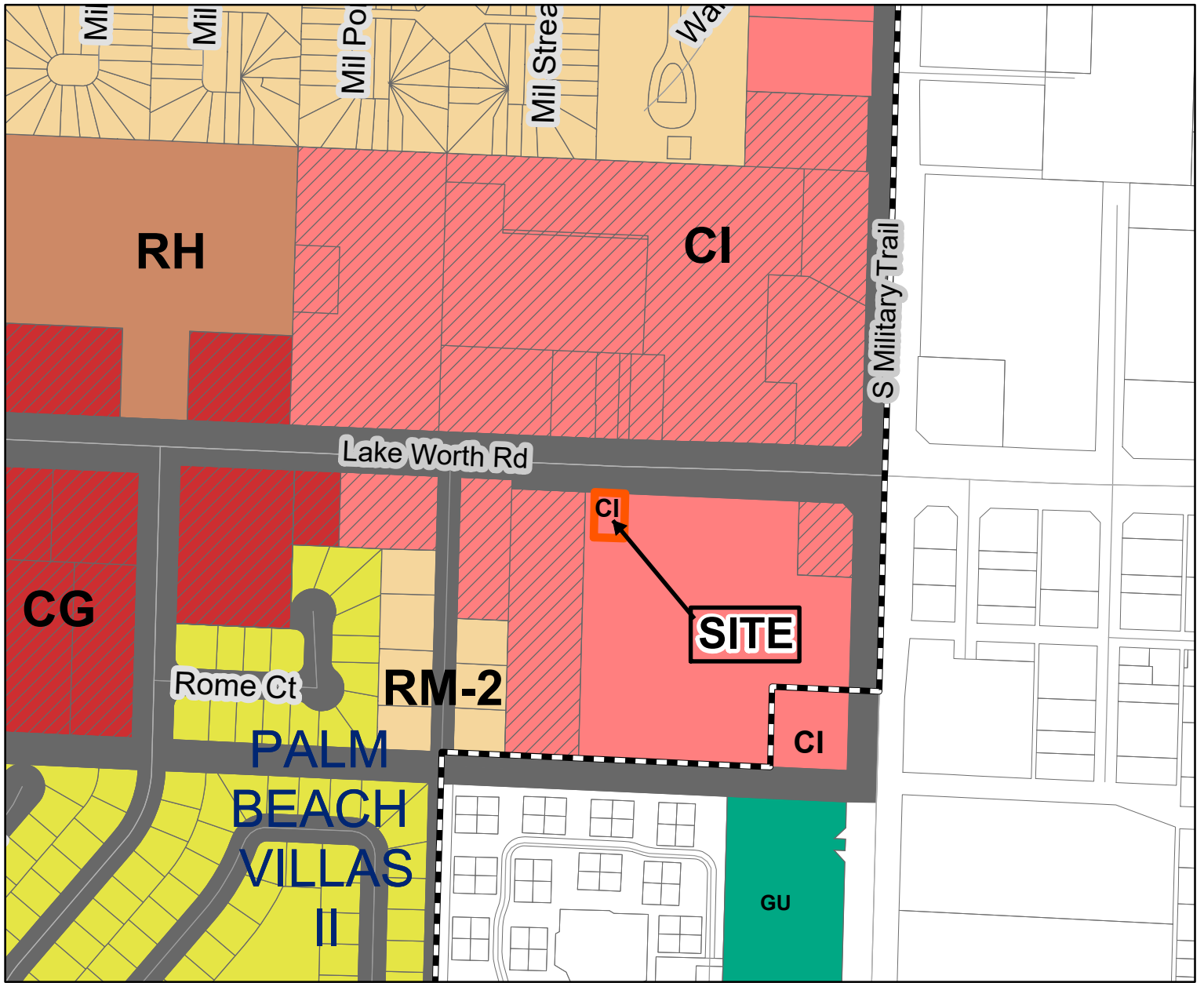
- Legend**
- CITY BOUNDARY
 - RIGHT OF WAY
 - LAKE WORTH ROAD URBAN CORRIDOR OVERLAY DISTRICT
 - AGRICULTURAL RESIDENTIAL (4 UNITS/ACRE) (AR)
 - RESIDENTIAL LOW - 3 (RL-3)
 - RESIDENTIAL ESTATE (1 UNIT/ACRE) (RE)
 - RESIDENTIAL LOW DENSITY (3 UNITS/ACRE) (RL-1)
 - RESIDENTIAL LOW DENSITY (4 UNITS/ACRE) (RL-2)
 - RESIDENTIAL LOW DENSITY (5 UNITS/ACRE) (RL-3)
 - RESIDENTIAL MEDIUM DENSITY 1 (6 UNITS/ACRE) (RM-1)
 - RESIDENTIAL MEDIUM DENSITY 2 (7 UNITS/ACRE) (RM-2)
 - RESIDENTIAL HIGH DENSITY (10 UNITS/ACRE) (RH)
 - RESIDENTIAL MOBILE HOME (RMH)
 - MIXED DEVELOPMENT RESIDENTIAL (MXD-R)
 - MIXED DEVELOPMENT COMMERCIAL (MXD-C)
 - MIXED DEVELOPMENT OFFICE (MXD-O)
 - MIXED DEVELOPMENT - ORIGINAL SECTION (MXD-OS)
 - OFFICE PROFESSIONAL AND INSTITUTIONAL (OPI)
 - COMMERCIAL NEIGHBORHOOD (CN)
 - COMMERCIAL GENERAL (CG)
 - COMMERCIAL INTENSIVE (CI)
 - GOVERNMENT USE (GU)
 - STUDY AREA ZONE (SAZ)



500

Feet

Date: 12/8/2017



CITY OF GREENACRES

Council Agenda Memo
2018.01KF3.006

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **Ordinance 2017-32, ANX-13-03**
Annexation of NW Corner of Chickasaw Road and South Jog Road
City Council Agenda Item for 01-22-18

DATE: January 8, 2018

COPIES: James D. Stokes, City Attorney
Joanna Cunningham, City Clerk
File: ANX-13-03

Background:

Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Rosylm L. Emerson, and Craig B. Morris of three (3) parcels of land totaling approximately 2.11 acres, has submitted a voluntary annexation request. The parcels are located in unincorporated Palm Beach County on the northwest corner of Chickasaw Road and South Jog Road.

Currently, the parcels have a Palm Beach County future land use designation of Low Residential 3-units per acre and a County zoning designation of Agricultural Residential (AR). The properties are undeveloped with no prior approvals. Requests for a comprehensive plan amendment (CPA-13-04), zoning change (ZC-13-04), and site plan approval (SP-17-02) are being processed concurrently for the properties.

The Land Development Staff has reviewed this proposal and recommended approval, followed by the Planning Commission recommending approval by a vote of 5-2 at their meeting on December 6, 2017. The City Council approved this petition on first reading December 18, 2017 by a unanimous vote of 5-0.

Analysis:

The subject properties are contiguous to the City's municipal boundaries to the north and south, as well as across South Jog Road to the east. The proposed development site is within an existing enclave. The subject properties being annexed are currently

undeveloped. The subject parcels are within the City's Future Annexation Area, and the annexation will reduce the size of an existing unincorporated pocket. The Palm Beach County Planning Division had no objection to this proposal. Annexation of this property will not create an excess burden on the City.

After reviewing this petition, staff has determined that the voluntary annexation is consistent with all of the provisions of Chapter 171, Florida Statutes, as well as the City's Comprehensive Plan and Zoning Code governing annexations.

Financial:

N/A.

Legal:

Ordinance 2017-32 was prepared in accordance with all applicable State Statutes and City Code requirements.

Staff Recommendation:

Approval of ANX-13-03 through the adoption of Ordinance 2017-32.



Kara L. Irwin-Ferris, AICP
Planning and Engineering Director

Attachments:

1. Ordinance 2017-32
2. Aerial Location Map
3. Urban Services Report with Property Data List (Exhibit 1)

ORDINANCE NO. 2017-32

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, ANNEXING THREE (3) PARCELS OF LAND TOTALING APPROXIMATELY 2.14 ACRES, LOCATED AT THE NORTHWEST CORNER OF CHICKASAW ROAD AND SOUTH JOG ROAD, AS REQUESTED BY THE PETITIONER, DUNAY, MISKEL AND BACKMAN, LLP, AGENT FOR THE OWNERS, MORRIS W. SPERBER TRUST, ROSLYN L. EMERSON AND CRAIG B. MORRIS; PROVIDING FOR REDEFINING THE BOUNDARY LINES OF THE CITY OF GREENACRES TO INCLUDE THE SUBJECT PROPERTY IN THE CITY'S OFFICIAL BOUNDARY MAP; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Roslyn L. Emerson and Craig B. Morris is herein known as the "Petitioner" for the herein described property; and

WHEREAS, the petitioner has requested by written petition to have the property voluntarily annexed into the municipal limits of the City of Greenacres; and

WHEREAS, the subject property hereinafter described is reasonably compact and contiguous to the corporate limits of the City of Greenacres, thus making said petition for annexation appropriate at this time; and

WHEREAS, the City of Greenacres has heretofore been authorized to annex lands in accordance with Section 171.044 of the Florida Statutes; and

WHEREAS, the City of Greenacres Planning Commission has held a duly advertised public hearing on December 6, 2017 and recommended approval of petition ANX-13-03 to annex the subject property into the City of Greenacres; and

WHEREAS, the City Council of the City of Greenacres further finds that, in accordance with the Land Development Staff Report and Recommendation dated November 15, 2017, attached hereto as Exhibit "A" and by this reference made a part

hereof, the proposed annexation of the subject property is in the best interest of the citizens of the City of Greenacres, and is in accordance with State and local law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1. The City Council finds that the written petition for voluntary annexation filed with the City bears the signature of the owners of the real property and is hereby annexed into the City of Greenacres, Florida.

Section 2. The boundary lines of Greenacres, Florida, are hereby redefined to include the described real property lying in Palm Beach County into the City's Boundary Map:

Legal Description

PCNs: 00-42-43-27-05-022-0406

The North 205 feet of the South 305 feet of Tract 40, Block 22, The Palm Beach Farms Company, Plat No. 3, according to the map or plat thereof as recorded in Plat Book 2, Page 45, Public Records of Palm Beach County, Florida.

PCNs: 00-42-43-27-05-022-0402 and 00-42-43-27-05-022-0405

The East 145 feet of the South 100 feet of Tract 40, Block 22, and the West 58.77 feet of the East 203.77 feet of the South 100 feet of Tract 40, Block 22, Palm Beach Farms Company Plat No. 3, according to the Plat thereof recorded in Plat Book 2, pages 45-54, inclusive, of the Public Records of Palm Beach County, Florida,

AND:

The right-of-way adjacent thereto.

CONTAINING A TOTAL OF 2.14 ACRES MORE OR LESS.

The above described parcel is subject to road right-of-ways, easements and reservations of record.

The above described real property is hereby annexed by and declared to be within the corporate limits of the City of Greenacres, Florida.

Section 3. That the above described real property shall immediately become subject to all of the franchises, privileges, immunities, debts, obligations, liabilities, ordinances and laws to which lands in the City of Greenacres are now or may be subjected to and persons residing thereon shall be deemed citizens of the City of Greenacres.

Section 4. The annexation of the subject property, including adjacent roads, alleys, or the like, if any, shall not be deemed accepted by the City of any maintenance responsibility for such roads, alleys, or the like, unless otherwise specifically initiated by the City pursuant to current requirements and conditions.

Section 5. The City Manager is hereby directed to do all things necessary to effectuate this annexation.

Section 6. The City Clerk is hereby directed to file a copy of this Ordinance with the Clerk of the Circuit Court, Palm Beach County and with the Department of State.

Section 7. Repeal of Conflicting Ordinances.

All Ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this Ordinance are hereby repealed.

Section 8. Severability.

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

Section 9. Effective Date.

The provisions of this Ordinance shall become effective upon its adoption.

Passed on the first reading this 18th day of December, 2017.

PASSED AND ADOPTED on the second reading this 22nd day of January,
2018.

Voted

Joel Flores
Mayor

()
Paula Bousquet
Deputy Mayor

Attest:

Joanna Cunningham
City Clerk

()
John Tharp
Council Member, District I

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Peter Noble
Council Member, District II

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Judith Dugo
Council Member, District III

()
Anderson Thelusme
Council Member, District IV

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney



LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION

I. Project Description:

Project: NW Corner of Chickasaw & Jog Road
(Aldi)

Petitioner: Dwayne L. Dickerson, Esq., Dunay
Miskel & Backman, LLP
14 SE 4th Street, Suite 36
Boca Raton, FL 33432
Agent for the owners:
Morris W. Sperber Trust, Rosyln L.
Emerson, Craig B. Morris

Request: Voluntary Annexation

Location: The northwest corner of S. Jog Road
and Chickasaw Road.



II. Site Data:

Existing Use: Undeveloped / Vacant Single-Family Residence

Proposed Use: Grocery Store

Parcel Control Numbers: 00-42-43-27-05-022-0405
00-42-43-27-05-022-0402
00-42-43-27-05-022-0406

Parcel Size: 2.11 acres (91,911.6 square feet)

Existing Future Land Use Designation: PBC Low Residential 3-units per acre (LR-3)

Proposed Future Land Use Designation: City Commercial (CM)

Existing Zoning District: PBC Agriculture Residential (AR)

Proposed Zoning District: City Commercial Neighborhood (CN)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Vacant Single-Family Residence	City Mixed Use (MU)	City Mixed Development-Office (MXD-O)
<i>South</i>	Undeveloped land	City Mixed Use (MU)	City Mixed Development-Office (MXD-O)
<i>East</i>	Villages of Woodlake	City Residential Medium Density (RS-MD)	City Residential Medium (RM-2)
<i>West</i>	Single-Family Residence	Low Residential 3 units per acre (LR-3)	PBC Agricultural Residential (AR)

III. Annexation/Zoning History:

Unincorporated Parcels

The approximately 2.11-acres of land are located in unincorporated Palm Beach County within the identified Future Annexation Area of the City. The area to be annexed contains three (3) individual parcels each having a Palm Beach County future land use designation of Low Residential 3-units per acre (LR-3). Concurrent petitions for comprehensive plan amendment (CPA-13-04), zoning change (ZC-13-04), and site plan approval (SP-17-02) are being processed for the properties. These parcels are all undeveloped with no prior approvals.

A site plan approval request (SP-17-02) by the property owners is proposing to develop the site under the authority of the City of Greenacres and in conformity with the City’s zoning code. The site and development plan is being processed concurrently.

North Parcel- City of Greenacres

The proposed overall development also includes the approximately 1.09-acre site adjacent to the north. The site was annexed into the City on August 2, 2010 (ANX-10-01) and was given the MXD-O zoning designation and is part of the rezoning application (ZC-13-04) being processed concurrent with this request.

IV. Applicable Comprehensive Plan Provisions:

Annexation Element:

- Objective 1, page ANX 19 - addresses efficiency, concurrency and levels of service (LOS).
- Objective 1, Policy c), page ANX 19 - prohibits creating enclaves, or pocket areas which are not reasonably compact.
- Objective 2, page ANX 19 - encourages orderly annexation in the future annexation

boundaries through coordination with adjacent municipalities and Palm Beach County.

Objective 4, page ANX 20 - supports annexations which are deemed necessary to promote the orderly growth of the City and will not adversely impact the City's ability to fulfill other plans.

Objective 4, Policy a), page ANX 20- outlines six guidelines for annexations.

V. Applicable City Code and Statutory Provisions:

Article III, Section 10 of the City Charter relating to annexation
Sec. 16-8 of the City Code relating to future land use and zoning of annexed areas
Chapter 171, Florida Statutes relating to annexation

VI. Staff Analysis:

Land Development Staff Comments:

On July 13, 2017 and August 10, 2017, the Land Development Staff reviewed this petition and recommended approval subject to the conditions contained in this staff report.

Planning and Engineering Dept.:	Incorporated into the staff report
Building Department:	No objections
Fire Rescue Department:	No objections
Public Works Department:	No objections
PBSO District 16:	No objections

Background:

The properties proposed for annexation are contiguous to the City's boundary on the north, south as well as across South Jog Road to the east. The proposed development site is within an existing enclave. The subject properties being annexed are currently undeveloped. Prior to developing the site, the property owners have requested voluntary annexation into the City of Greenacres. The subject parcels are within the City's Future Annexation Area, and its annexation will reduce the size of an existing unincorporated pocket.

Annexation Findings of Fact:

The proposed annexation is consistent with the Goals, Objectives and Policies of the City's Comprehensive Plan. The site is contiguous to the City and is within the boundaries of the Future Annexation Area in the Annexation Element of the Comprehensive Plan.

In addition, the following six guidelines, as specified in Objective 4(a) on page 20 and 21 of the Annexation Element within the Comprehensive Plan, must be addressed. The guidelines apply to both City-initiated and voluntary annexations.

Specific Criteria Findings:

In all future annexation requests, the City shall be guided by the following:

- (1) **The area in question must meet statutory requirements pertaining to contiguity, compactness and irregular shape.**

Findings: The annexation petition is consistent with the provisions in Chapter 171, F.S., specifically because the subject property is a regular polygon in shape, reasonably compact, and immediately contiguous to the City's municipal boundary to the north and south.

- (2) **The petitioned area must have "a unity of interests with the City" and be "a logical extension" of the City's boundaries.**

Findings: The subject property has "a unity of interests with the City" and is "a logical extension" of the City of Greenacres boundaries. The property is identified as part of the Future Annexation Area in the City's Comprehensive Plan. The site is also contiguous to the City's boundary on the north and south. Annexation of these parcels will significantly clarify jurisdictional boundaries along this portion of South Jog Road and reduce the size of an existing enclave.

- (3) **The area shall have a growth potential sufficient to warrant the extension of services.**

Findings: The area has a growth potential sufficient to warrant the extension of services. Redevelopment activity is taking place in the immediate vicinity and adjacent properties within the City are already receiving City services. Since the properties proposed for annexation are contiguous to the City, there will be minimal effect upon infrastructure and services provided within the City.

- (4) **The deficit of income against expense to the City shall not be unreasonable.**

Findings: The annexation of the subject properties will not create an unreasonable expense or burden upon the City of Greenacres. Since the subject sites are contiguous to developed parcels already in the City, the annexation will not adversely affect the City's overall level of service, nor will it substantially increase costs to the City to warrant the annexation unreasonable.

- (5) **The advantages both to the City of Greenacres and to the petitioned area must outweigh the disadvantages.**

Findings: The advantages to both the City of Greenacres and the proposed annexation area outweigh any potential disadvantages. The annexation of the subject properties will allow the City and the petitioner to improve the identity of the area as being part of Greenacres and help reduce service delivery inefficiency and confusion. Since these properties are located in a pocket of land within Palm Beach County, the annexation of the subject property will benefit both Palm Beach County and the City of Greenacres by increasing service delivery efficiency.

- (6) **The City of Greenacres must be willing and able to provide City services as well as ensure**

that services provided by Palm Beach County are furnished to the newly annexed area within a reasonable time.

Findings: The City of Greenacres will be able to provide City services to the subject properties without degrading any established levels of service, since the City is already providing governmental services to nearby developments along South Jog Road in the immediate area of the subject parcels.

Summary of Annexation Criteria:

The site meets all of the guidelines specified in the City's Comprehensive Plan and Chapter 171 of the Florida Statutes for the annexation of property. It is a logical extension of the City's boundaries in a location identified as part of the City's Future Annexation Area.

VII. Staff Recommendation:

Approval of ANX-13-03 through the adoption of Ordinance 2017-32.

PLANNING COMMISSION RECOMMENDATION – December 6, 2017

The Planning Commission on a motion made by Commissioner Robarts and seconded by Commissioner Bennis, by a vote of five (5) to two (2), ***recommended approval*** of Annexation ***ANX-13-03*** (*NW Corner Chickasaw / S. Jog Road*), as presented by staff.

CITY COUNCIL ACTION First Reading – December 18, 2017

The City Council on a motion made by Councilwoman Dugo and seconded by Councilman Tharp, voting five (5) to zero (0), ***approved*** Annexation ***ANX-13-03*** (*NW Corner Chickasaw / S. Jog Road*), on first reading, through ***Ordinance 2017-32***, as presented by staff.

CITY COUNCIL ACTION Adoption Hearing – January 22, 2018

Joel Flores, Mayor

Attest:

Joanna Cunningham, City Clerk

Attachments:

1. Aerial Map
2. Ordinance 2017-32

**URBAN SERVICES REPORT
SOUTH MILITARY TRAIL ANNEXATION
ANX-13-03**

**CITY OF GREENACRES
PLANNING AND ENGINEERING DEPARTMENT
NOVEMBER 29, 2017**

Introduction

Florida Statutes Chapter 171.0413(6) provides for the annexation of property when the annexed area does not have any registered electors. The area can be annexed when the owners of more than 50% of the parcels and of more than 50% of the land area in the area proposed to be annexed consent to the annexation. Prior to the annexation, a report shall be prepared that sets forth a plan for the provision of urban services in the area and a map of the area. The report shall be filed with the Board of County Commissioners at least fifteen days prior to the City initiating proceedings in accordance with Florida Statutes Chapter 171.0413 regarding the annexation. The following information and analysis is intended to satisfy these requirements.

The proposed area of annexation is consistent with objectives of both the City of Greenacres and Palm Beach County in that it will help create regular jurisdictional boundaries, will simplify the urban service boundary, and will improve the efficiency of service delivery. The area is also identified as part of the City's Future Annexation Area in the Annexation Element of the City's Comprehensive Plan.

Description of Area to be Annexed

The proposed area to be annexed is adjacent to Greenacres' western boundary on the west side of South Jog Road on the northwest corner of the intersection of South Jog Road and Chickasaw Road. The area contains 2.14 acres and three (3) parcels. Table I indicates the owner's name, lot size, address, parcel control number, size, and current use for each parcel. Figure 1 depicts a map of the area. The property owner consents constitute 100% of the land area and 100% of the parcels in the area to be annexed.

Character of Area to be Annexed

Chapter 171.043 requires that an area to be annexed meet the general standards of Subsection (1) and the requirements of either Subsection (2) or Subsection (3).

Subsection (1) "The total area to be annexed must be contiguous to the municipality's boundaries at the time the annexation proceeding is begun and reasonably compact, and no part of the area shall be included within the boundary of another incorporated municipality."

As defined in Chapter 171.031(12): "Compactness means concentration of a piece of property in a single area and precludes any action which would create enclaves, pockets, or finger areas in serpentine patterns, Any annexation proceeding in any county in the state shall be designed in such a manner as to ensure that the area will be reasonably compact."

The area proposed to be annexed is contiguous to the City's boundaries, is reasonably compact, and does not create any enclave or finger areas.

The current Palm Beach County future land use designation for all of the properties within the proposed annexation area is Low Residential 3 units per acre (LR-3). The current zoning designation for all of the subject properties is Agricultural Residential (AR). Figure 2 indicates the existing County Future Land Use and Figure 3 indicates the existing County Zoning designations for the properties. The proposed future land use designation in the City of Greenacres for all the properties is Commercial (CM) and the proposed zoning classification is Commercial Neighborhood (CN).

Subsection (2) is primarily concerned with residential density and lots. As shown in Table 1, and discussed above, the subject area is commercial and thus Subsection (2) is not applicable.

Subsection (3) "In addition to the area developed for urban purposes, a municipal governing body may include in the area to be annexed any area which does not meet the requirements of subsection (2) if such area either:

- (a) Lies between the municipal boundary and an area developed for urban purposes, so that the area developed for urban purposes is either not adjacent to the municipal boundary or cannot be served by the municipality without extending services or water or sewer lines through such sparsely developed area; or
- (b) Is adjacent, on at least 60 percent of its external boundary, to any combination of the municipal boundary and the boundary of an area or areas developed for urban purposes as defined in subsection (2)."

As defined in Chapter 171.031(10) "Urban purposes means that land is used intensively for residential, commercial, industrial, institutional, and governmental purposes, including any parcels of land retained in their natural state or kept free of development as dedicated greenbelt areas."

The area proposed to be annexed complies with Subsection (3) in that 100 percent of its external boundary is developed for urban purposes consistent with the definitions in 171.031(10) and 171.043(2) of the Florida Statutes.

Inventory of Public Facilities and Services and Statement Regarding Extension

Roadways

All of the parcels front on or have access to S. Jog Road or Chickasaw Road. S. Jog Road is a six lane divided highway. There are sidewalks on the east and west sides of S. Jog Road. Road access is adequate for all parcels.

Drainage

Per the survey for the site, there does not appear to be any storm water collection infrastructure. The proposed development of a 22,245 sq. ft. "Aldi" grocery store will capture storm water through road drains and a series of interconnected inlets within the drive aisles. Approximately 122 linear feet of exfiltration trench is proposed for water quality and runoff mitigation. The remaining runoff will be retained onsite up to the 10-year/72-hour storm peak stage after which runoff will be discharged via an outfall to the LWDD L-11 canal. Per SFWMD rules, the outfall control structure will have a bleeder sized to comply in accordance to SFWMD requirements.

Potable Water and Sanitary Sewer

The properties are located within the Palm Beach County Water Utilities Department (PBCWUD) Service Area. The water service distribution system is identified in Figure 5 and the sanitary sewer collection system is shown in Figure 4. There will be no change in the water and sewer service by annexing into the City of Greenacres; and any future service extensions will be handled by the property developers working in cooperation with PBCWUD and following existing regulations.

Police, Fire Protection, and Emergency Medical Services

The area is currently served by the Palm Beach County Sheriff's Office and the Palm Beach County Fire Rescue Department. There will be no change to the Police Services. Once the annexation is effective, the City of Greenacres will assume the fire/ emergency medical service duties. The City of Greenacres operates its own Fire Rescue Department which includes Fire and Emergency Medical Services. The City is prepared to provide these services immediately upon annexation by using existing resources.

Solid Waste and Public Works

The City's Public Works Department has a franchise agreement with Advanced Disposal Services Solid Waste SE for solid waste, trash, and recycling collection within City limits. Newly annexed areas will transfer service to the City's provider after annexation in accordance with State Law. The Public Works Department also maintains landscaping and vegetation in roadway medians within City right-of-ways and within County and State roadway medians with separate maintenance agreements. Additionally, Public Works maintains all City owned streets, parks, and public buildings. No additional public

maintenance is anticipated as part of this annexation and thus no service extensions are planned.

Planning, Zoning, Engineering, and Building Regulation

The City of Greenacres has its own Planning & Engineering Department and Building Department which perform all planning, zoning, engineering, and building plan review for any new development and construction. Additionally, all inspections for new construction are performed by these departments. Business Tax Receipts (Occupational Licenses) are issued by the City's Building Department for all businesses operating inside the municipal limits. Existing City staff will be adequate for the needs of the area to be annexed and service will be provided from the existing City Hall.

Leisure Services/ Parks and Library

Leisure Services/ Parks

The City of Greenacres Leisure Services Department is comprised of four (4) divisions - Office of the Director, Recreation, Community Programs and Youth Programs (CARES After School Program for Elementary School age, Cool Zone for Middle School age and Hot Spot for High School students, as well as Camps). The Department is responsible for recreational activities and programs, and encompasses the following functions:

- Classes & Activities
- Community Events
- Facility Rentals
- After School Programs
- Youth, Adult, & Senior Activities/Trips

The nearby Community Center and Ira Van Bullock Park totals 9.1 acres and includes 2 lighted baseball fields, a multi-purpose field, 2 lighted basketball courts, a community center with an indoor gym, a picnic area with grills, a playground, a concession stand, and several instructional multi-purpose rooms. Overall, the City maintains and operates a total of 11 parks encompassing 95.6 acres.

Library

The City has a 17,000 square foot Branch Library which is a part of the Palm Beach County Library System. The branch contains separate Adult and Children's Departments, and an available meeting room with a capacity of up to 25 people during the day and 50 people in the evening.

Adult Department

- 3 Online Public Catalog computers

- 16 Public Internet computers (some with Microsoft Office Products, including Word, PowerPoint, Excel & Access)
- 2 Express Public Internet computers (15 min.)
- 2 Electronic Database computers

Children's Department

- 1 Online Public Catalog computers
- 2 Public Internet computers
- 1 Game computer

Since the area to be annexed contains commercial uses, minimal additional demand on Park and Library resources in the City is expected.

General Government

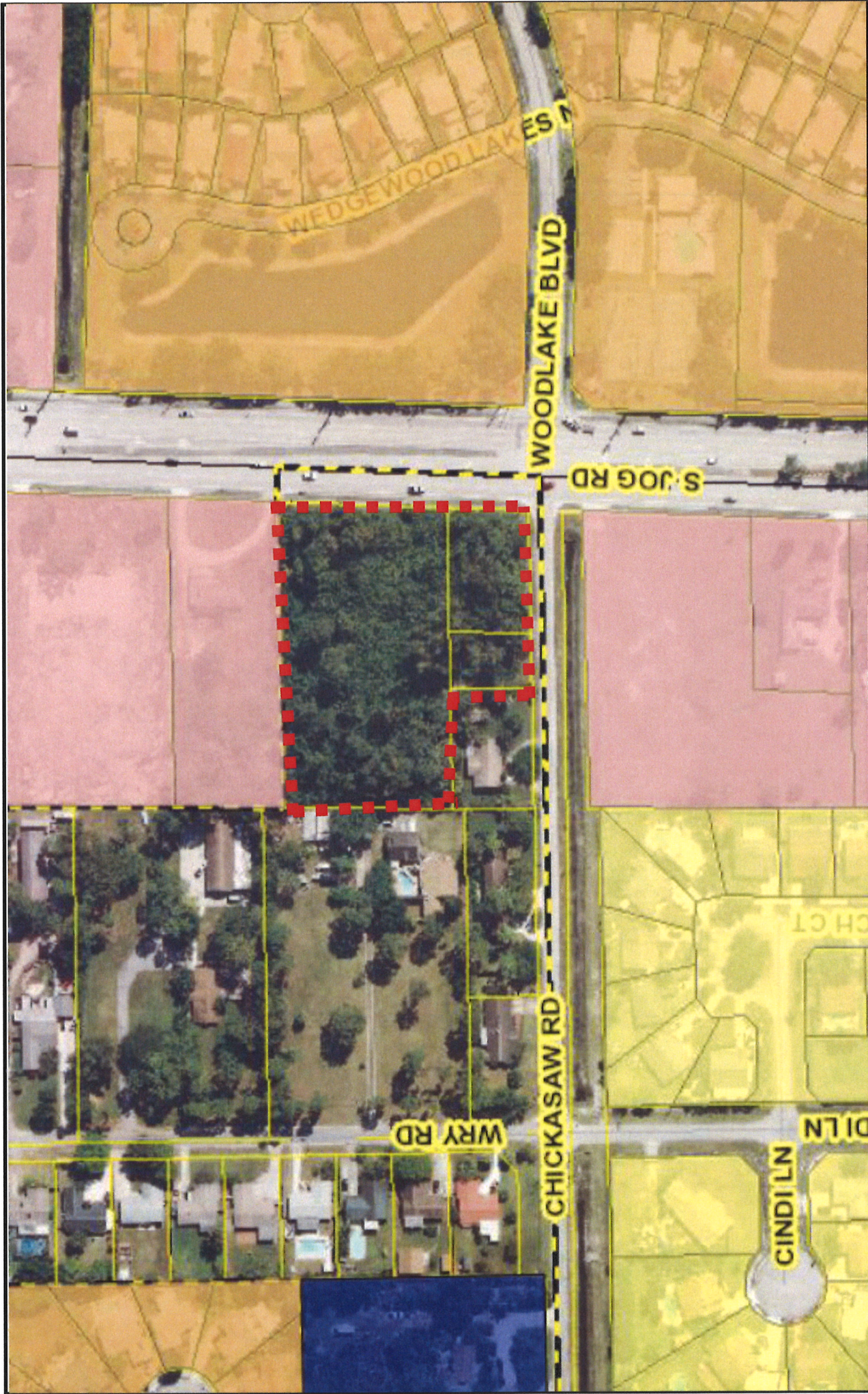
All daily administrative functions and general government support will be available to the properties from the City when annexed into the corporate limits. Existing City staff will be adequate for the needs of the area and service will be provided from the existing City Hall.

Conclusion

The proposed annexation as depicted in Figure 1 and Table 1 and as analyzed herein complies with all of the requirements of Chapter 171, Florida Statutes. It is reasonably compact, contiguous to the existing City boundaries, supported by a majority of property owners, within an area used for urban purposes, and can be served upon annexation with all of the municipal services currently provided by the City of Greenacres in the same manner and basis as provided for the rest of the City. The City will finance the provision of services through the general fund operating budget.

Table 1

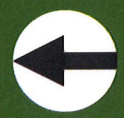
										EXHIBIT "1"		
South Military Trail												
Site Address	Owner Name and Address	Parcel Control Number	Legal Description	Acres	Exist. FLU	Exist. Zoning	Proposed FLU	Proposed Zoning	Existing Use	Taxable Value	Tax Difference	Consent
S. Jog Road	Morris Craig B 21218 St Andrews Blvd #528 Boca Raton FL 33433	00-42-43-27-05-022-0406	The North 205 feet of the South 305 feet of Tract 40, Block 22, The Palm Beach Farms Company, Plat No. 3, according to the map or plat thereof as recorded in Plat Book 2, Page 45, Public Records of Palm Beach County, Florida.	1.66	Palm Beach County Low Residential 3 units per acre (PBC LR-3)	Palm Beach County Agricultural Residential (PBC AR)	City Commercial (CM)	City Commercial Neighborhood (CN)	Undeveloped	\$106,662	\$233.79	Y
Chickasaw Road	Sperber Morris W Trust, Emerson Roslyn L, Allen Valerie S TR, Sperber Michael I TR 7831 North Fork Dr West Palm Beach, FL 33411-5776	00-42-43-27-05-022-0402	The East 145 feet of the South 100 feet of Tract 40, Block 22, and the West 58.77 feet of the East 203.77 feet of the South 100 feet of the Tract 40, Block 22, PALM BEACH FARMS COMPANY PLAT NO. 3, according to the Plat thereof recorded in Plat Book 2, Pages 45-54, inclusive, of the Public Records of Palm Beach County, Florida.	0.15	Palm Beach County Low Residential 3 units per acre (PBC LR-3)	Palm Beach County Agricultural Residential (PBC AR)	City Commercial (CM)	City Commercial Neighborhood (CN)	Undeveloped	\$28,620	\$62.73	Y
Chickasaw Road	Sperber Morris W Trust, Emerson Roslyn L, Allen Valerie S TR, Sperber Michael I TR 7831 North Fork Dr West Palm Beach, FL	00-42-43-27-05-022-0405	The East 145 feet of the South 100 feet of Tract 40, Block 22, and the West 58.77 feet of the East 203.77 feet of the South 100 feet of the Tract 40, Block 22, PALM BEACH FARMS COMPANY PLAT NO. 3, according to the Plat thereof recorded in Plat Book 2, Pages 45-54, inclusive, of the Public Records of Palm Beach County, Florida.	0.33	Palm Beach County Low Residential 3 units per acre (PBC LR-3)	Palm Beach County Agricultural Residential (PBC AR)	City Commercial (CM)	City Commercial Neighborhood (CN)	Undeveloped	33,022	\$72.38	Y
Total Acreage												
										2.14		



NW Chickasaw Road & Jog Road Annexation

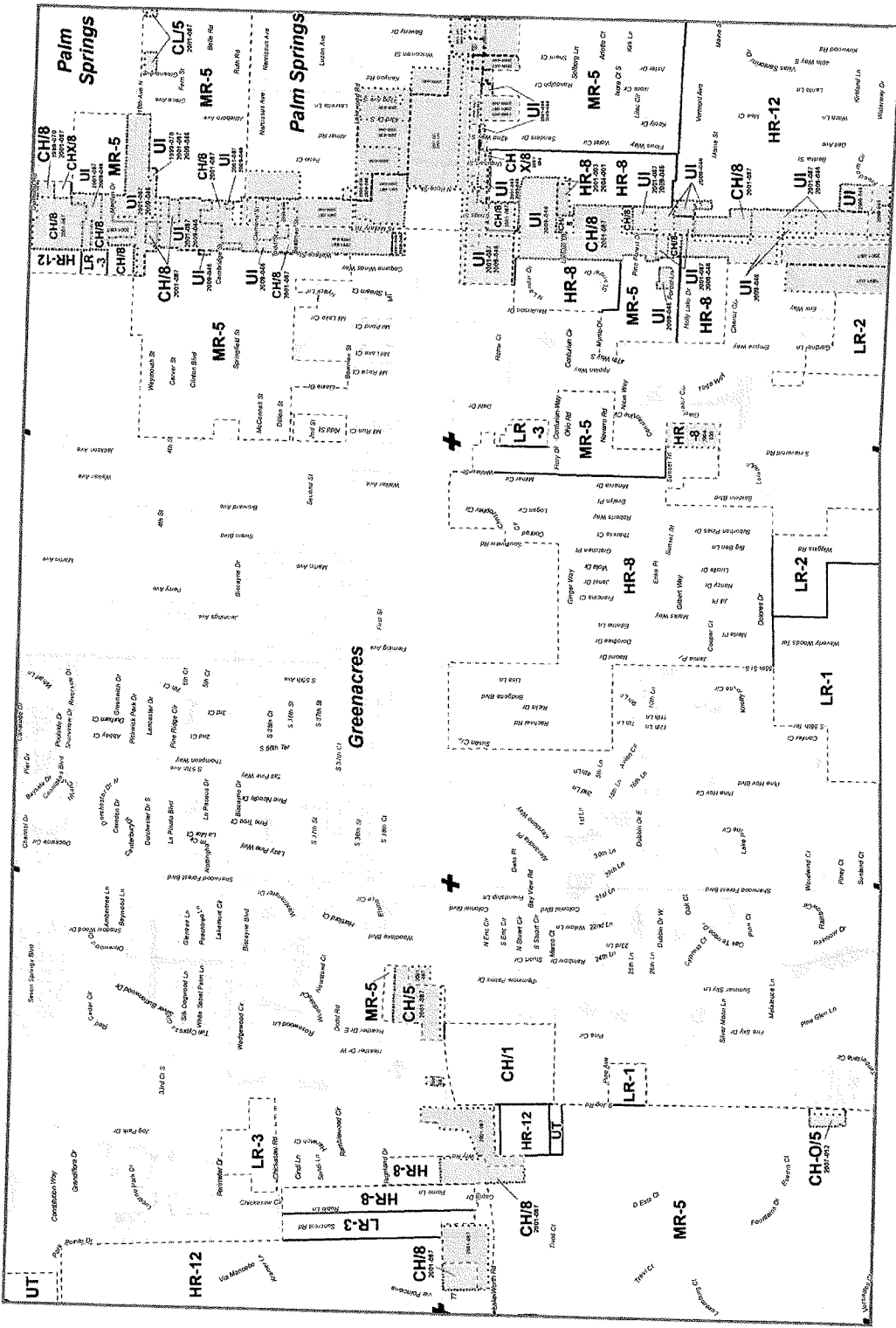
ANX-13-03

Prepared By:
Planning and Engineering Department
City of Greenacres
5800 Melaleuca Lane
Greenacres, FL 33463



North

Figure 2



Amendment Table

Amendment ID	Ordinance Number	Effective Date
91-77 COM 15	1991-031	9/30/1991
98-77 CHX 1	1998-055	12/21/1998
98-77 CHX 2	1998-056	12/21/1998
98-77 CHX 3	1998-057	12/21/1998
98-77 CHX 4	1998-058	12/21/1998
98-77 CHX 5	1998-059	12/21/1998
98-77 RES 1	2000-038	9/18/2000
00S-77 COM 1	2001-003	1/25/2001
00S-77 COM 2	2001-004	1/25/2001
00S-77 COM 3	2001-005	1/25/2001
00S-77 COM 4	2001-006	1/25/2001
00S-77 COM 5	2001-007	1/25/2001
00S-77 COM 6	2001-008	1/25/2001
00S-77 COM 7	2001-009	1/25/2001
00S-77 COM 8	2001-010	1/25/2001
00S-77 COM 9	2001-011	1/25/2001
00S-77 COM 10	2001-012	1/25/2001
00S-77 COM 11	2001-013	1/25/2001
00S-77 COM 12	2001-014	1/25/2001
00S-77 COM 13	2001-015	1/25/2001
00S-77 COM 14	2001-016	1/25/2001
00S-77 COM 15	2001-017	1/25/2001
00S-77 COM 16	2001-018	1/25/2001
00S-77 COM 17	2001-019	1/25/2001
00S-77 COM 18	2001-020	1/25/2001
00S-77 COM 19	2001-021	1/25/2001
00S-77 COM 20	2001-022	1/25/2001
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00S-77 COM 22	2001-024	1/25/2001
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00S-77 COM 28	2001-030	1/25/2001
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00S-77 COM 32	2001-034	1/25/2001
00S-77 COM 33	2001-035	1/25/2001
00S-77 COM 34	2001-036	1/25/2001
00S-77 COM 35	2001-037	1/25/2001
00S-77 COM 36	2001-038	1/25/2001
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00S-77 COM 39	2001-041	1/25/2001
00S-77 COM 40	2001-042	1/25/2001
00S-77 COM 41	2001-043	1/25/2001
00S-77 COM 42	2001-044	1/25/2001
00S-77 COM 43	2001-045	1/25/2001
00S-77 COM 44	2001-046	1/25/2001
00S-77 COM 45	2001-047	1/25/2001
00S-77 COM 46	2001-048	1/25/2001
00S-77 COM 47	2001-049	1/25/2001
00S-77 COM 48	2001-050	1/25/2001
00S-77 COM 49	2001-051	1/25/2001
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00S-77 COM 58	2001-060	1/25/2001
00S-77 COM 59	2001-061	1/25/2001
00S-77 COM 60	2001-062	1/25/2001
00S-77 COM 61	2001-063	1/25/2001
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00S-77 COM 71	2001-073	1/25/2001
00S-77 COM 72	2001-074	1/25/2001
00S-77 COM 73	2001-075	1/25/2001
00S-77 COM 74	2001-076	1/25/2001
00S-77 COM 75	2001-077	1/25/2001
00S-77 COM 76	2001-078	1/25/2001
00S-77 COM 77	2001-079	1/25/2001
00S-77 COM 78	2001-080	1/25/2001
00S-77 COM 79	2001-081	1/25/2001
00S-77 COM 80	2001-082	1/25/2001
00S-77 COM 81	2001-083	1/25/2001
00S-77 COM 82	2001-084	1/25/2001
00S-77 COM 83	2001-085	1/25/2001
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00S-77 COM 88	2001-090	1/25/2001
00S-77 COM 89	2001-091	1/25/2001
00S-77 COM 90	2001-092	1/25/2001
00S-77 COM 91	2001-093	1/25/2001
00S-77 COM 92	2001-094	1/25/2001
00S-77 COM 93	2001-095	1/25/2001
00S-77 COM 94	2001-096	1/25/2001
00S-77 COM 95	2001-097	1/25/2001
00S-77 COM 96	2001-098	1/25/2001
00S-77 COM 97	2001-099	1/25/2001
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00S-77 COM 99	2001-101	1/25/2001
00S-77 COM 100	2001-102	1/25/2001

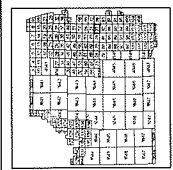
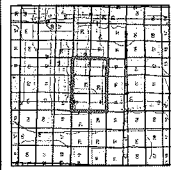
Note: Each site on this map referenced with an Ordinance Number has been subject to a site specific Future Land Use Commission. Please reference the applicable ordinance for conditions of approval that may limit the Planning Division and on this webpage: www.pbcgov.com/planning/ordinance

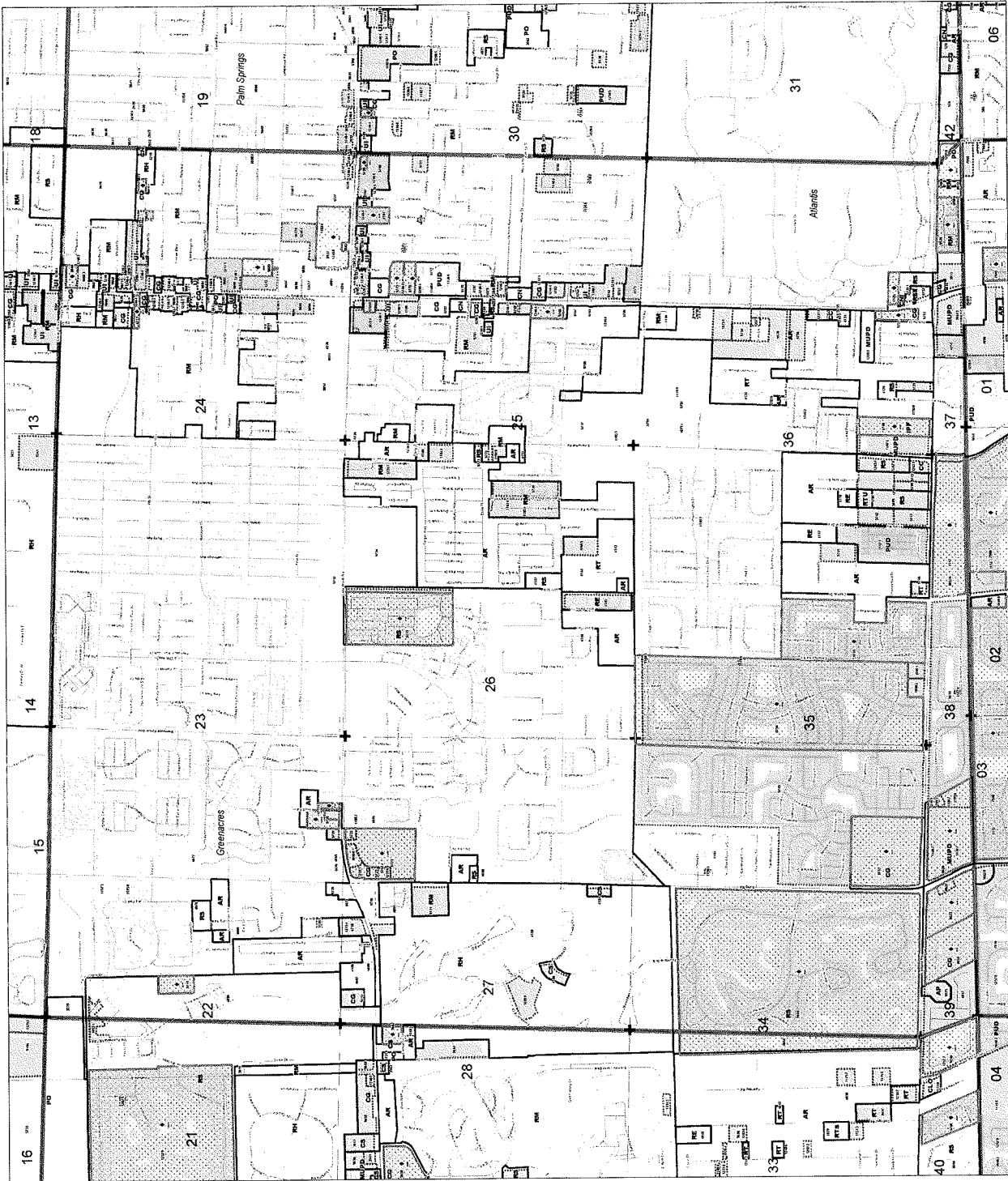


1 inch = 600 feet
0 500 1,000 Feet




This map is a representation of the official copy of the map on file with Palm Beach County Planning Division.






- Future Land Use
- FLU Atlas Page
- Amendments Fill
- Parcels
- Municipality
- Water







ZONING QUAD 33
 Zoning District Map of Palm Beach County
 October 12, 2017

Additional Approvals: 
 Water: 
 Section Lines: 
 Parcels: 
 Municipality: 

Zoning Quads Boundary: 
 Zoning District Boundary: 

Corresponding PDD (CPDD) - pursuant to PDD 3.1.2 of the ULC. (Revised under Ordinance 2015-009)
 Not comparable to those prior approvals that are stipulated in P.A. 3.1.2. Planned Development District.

Figure 3

Waste Water
Collection System



Palm Beach County
Water Utilities

Legend

- H Valve Public
- M Valve Private
- Manhole Public
- Manhole Private
- Air Release
- F.M. Private
- - - F.M. Abandoned
- - - F.M. Public
- Gravity Main Public
- Gravity Main Private
- PS Master Pump Stations
- L.S. Public
- L.S. Private
- ▭ Section Lines
- ▭ Parcels
- ▭ Canals
- ▭ Non PBCWUD S.A.
- ▭ Buildings > 7500sqft
- ▭ As-built No.
- Valve No.
- Manhole No.
- △ A.R.V. No.



Grid Map Sheet
H24SE
SEWER
Printing Date: Mar 05, 2006

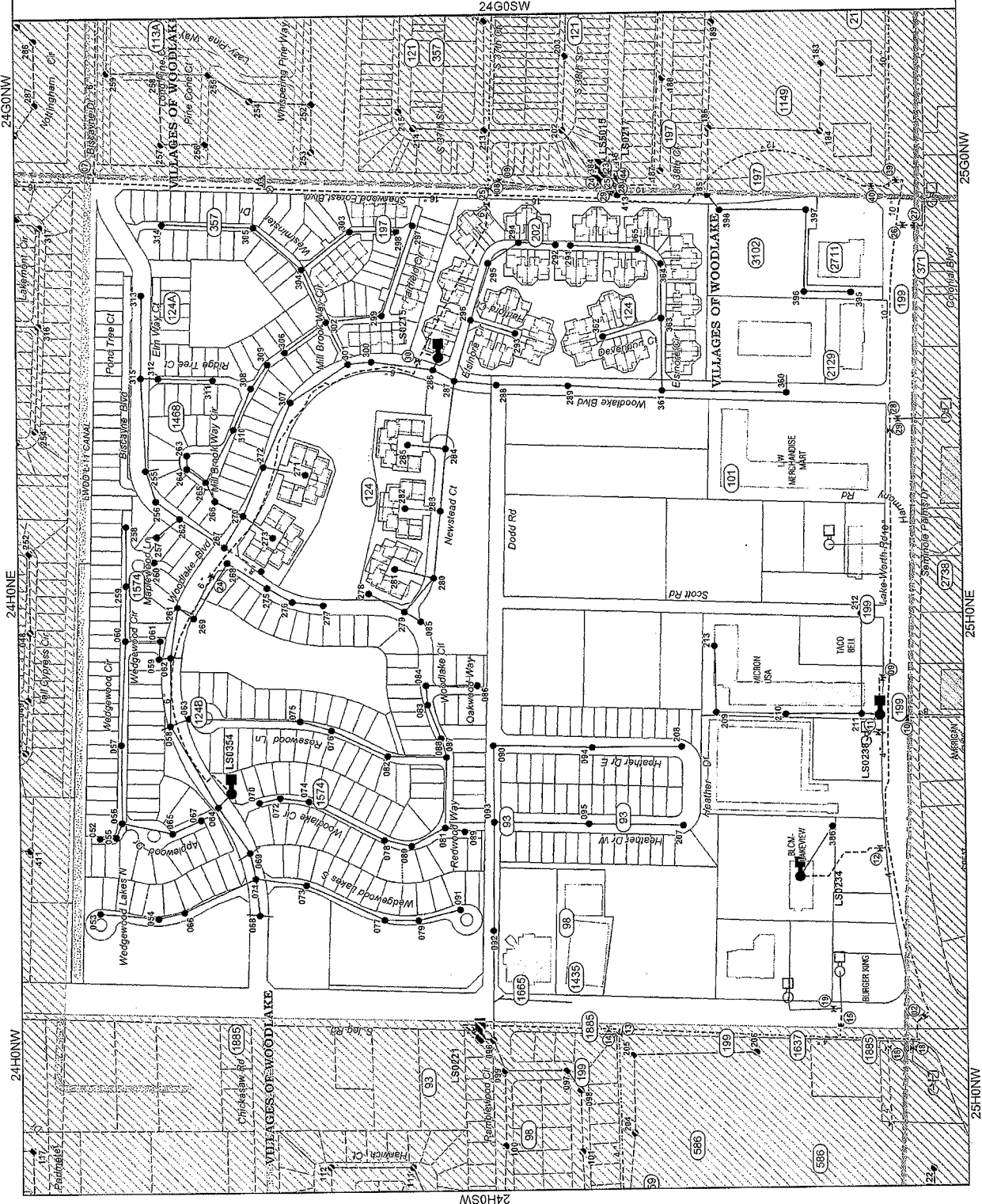


Figure 4

Water Distribution System



Palm Beach County Water Utilities

Legend

- Valve Public
- Valve Private
- Meter
- Hydrant Public
- Hydrant Private
- Air Release
- Control Valve
- Reducer
- W.M. Active
- W.M. Aband.
- W.M. Private
- Section Lines
- Parcels
- MapGrid/QuarterMile
- Canals
- Non PBC/WUD S.A.
- Buildings > 7500sqft
- As-built No.
- Valve No.
- Hydrant No.
- A.R.V. No.



Grid Map Sheet
H24SE
WATER
Printing Date: Mar 07, 2008

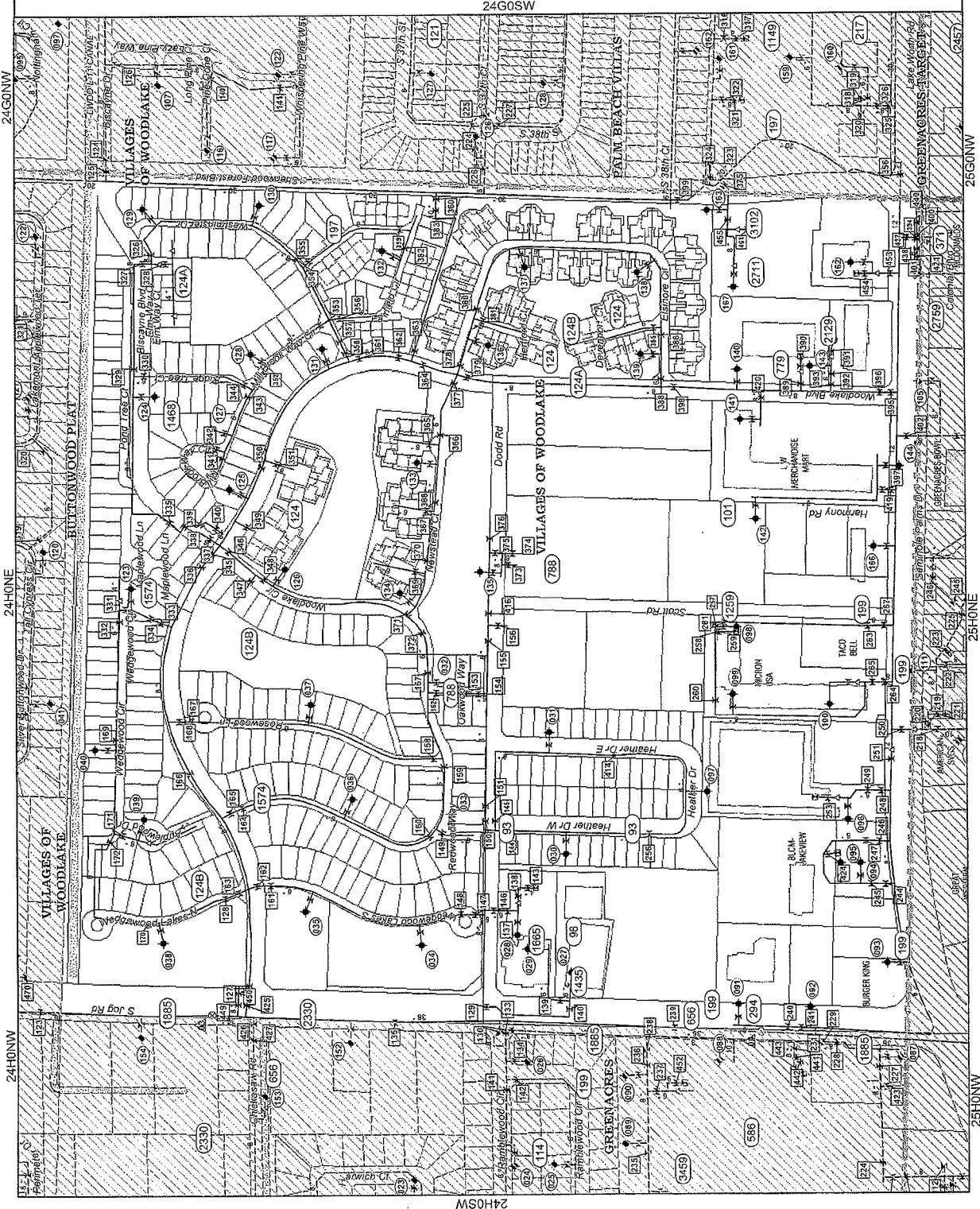


Figure 5

CITY OF GREENACRES

Council Agenda Memo
2018.01KF3.007

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **Ordinance 2017-33, CPA-13-04**
Future Land Use Amendment for NW Corner of Chickasaw Road and South Jog Rd
City Council Agenda Item for 01-22-18

DATE: January 8, 2018

COPIES: James D. Stokes, City Attorney
Joanna Cunningham, City Clerk
File: CPA-13-04

Background:

Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Rosyln L. Emerson, Craig B. Morris and Shahveer Dhatigara of four (4) parcels of land totaling approximately 3.201 acres, is requesting a small-scale future land use amendment.

Three (3) parcels are located in unincorporated Palm Beach County and one (1) parcel is within City limits on the northwest corner of Chickasaw Road and South Jog Road. Currently, three (3) of the parcels have a Palm Beach County future land use designation of Low Residential 3-units per acre (LR-3) and one (1) parcel has a City future land use designation of Mixed Use (MU). Requests for a voluntary annexation (ANX-13-03), a zoning change (ZC-13-04) and a site and development plan (SP-17-02) are being processed concurrently with this application.

The Land Development Staff has reviewed this proposal and recommended approval, followed by the Local Planning Agency recommending approval by a vote of 7-0 at their meeting on December 6, 2017. The City Council approved this petition on first reading December 18, 2017 by a unanimous vote of 4-1.

Analysis:

Staff has determined that the proposed Commercial (CM) future land use designation is compatible with the surrounding properties and the commercial activity along this major thoroughfare and supports the City's goal of attracting small to mid-size commercial activity along South Jog Road. The Advisory Future Land Use Map (Map FLU 9) recommends Mixed Use (MU) for the subject parcels; however, staff recommends the Commercial (CM) land use due to the location of the site along a major thoroughfare (South Jog Road) and at a minor intersection with Chickasaw Road / Woodlake Blvd.

In addition, the applicant meets the level of service (LOS) standards for concurrency and the proposal is consistent with the provisions of the Comprehensive Plan and with Chapter 163, Florida Statutes.

Overall, the proposed Commercial (CM) future land use category is compatible with adjacent land uses, meets concurrency requirements and is consistent with the City's Comprehensive Plan, the Treasure Coast Regional Planning Council's Strategic Regional Policy Plan and Chapter 163, Florida Statutes.

Financial:

N/A.

Legal:

Ordinance 2017-33 was prepared in accordance with all applicable State Statutes and City Code requirements.

Staff Recommendation:

Approval of CPA-13-04 through the adoption of Ordinance 2017-33.



Kara L. Irwin-Ferris, AICP
Planning and Engineering Director

Attachments:

1. Ordinance 2017-33
2. Future Land Use Map
3. Aerial Location Map



FUTURE LAND USE AMENDMENT (CPA-13-04) NW CORNER OF CHICKASAW & JOG RD (ALDI) CITY OF GREENACRES, FLORIDA

PREPARED BY THE PLANNING AND ENGINEERING DEPARTMENT

Legend

CITY BOUNDARY

FUTURE LAND USE CATEGORIES

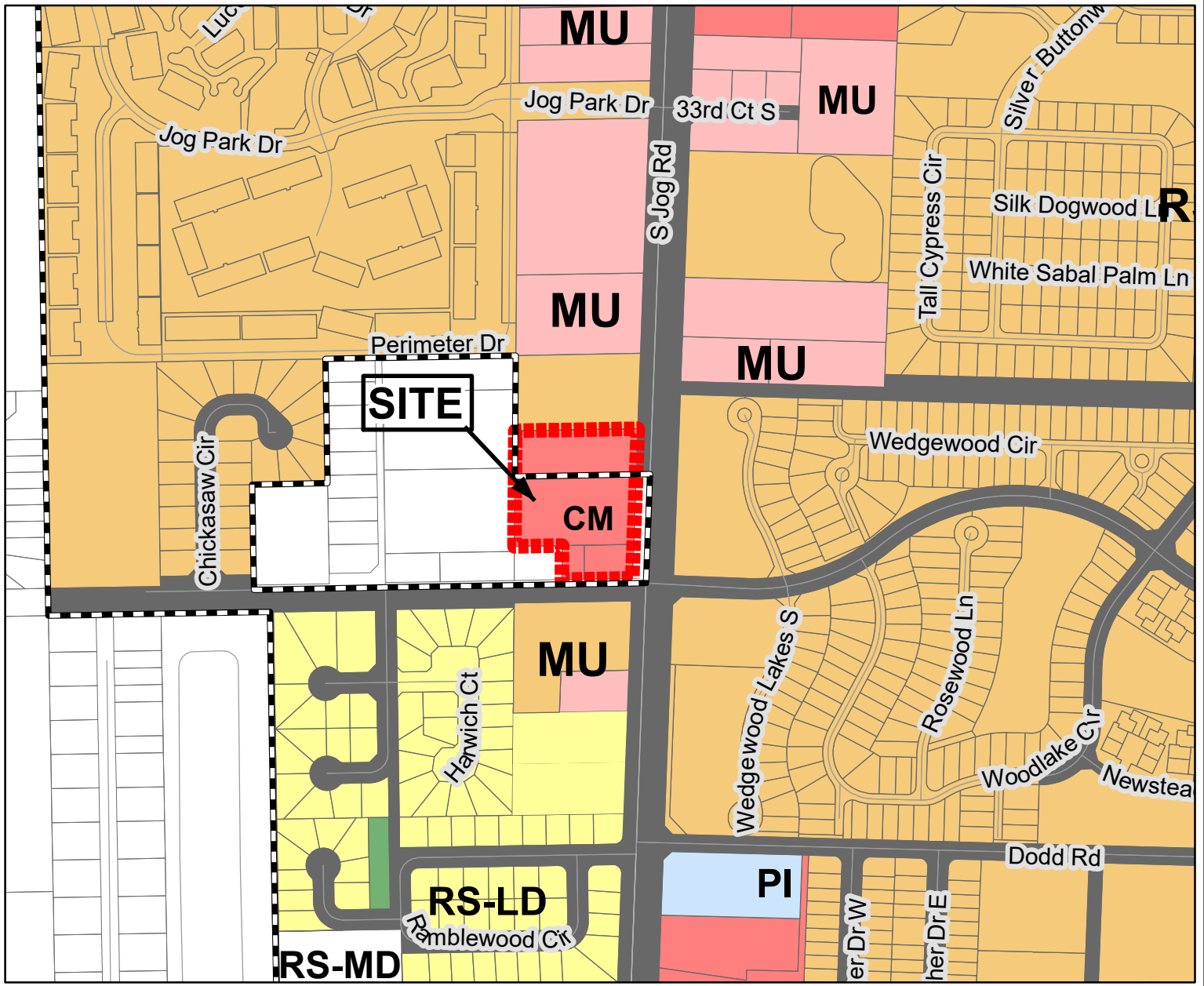
- RIGHT OF WAY
- RESIDENTIAL LOW DENSITY (RS-LD)
- RESIDENTIAL MEDIUM DENSITY (RS-MD)
- RESIDENTIAL HIGH DENSITY (RS-HD)
- MIXED USE (MU)
- COMMERCIAL (CM)
- RECREATION OPEN SPACE (RO)
- PUBLIC INSTITUTIONAL (PI)
- STUDY AREA ZONE (SAZ)



Date: 12/8/2017

500

Feet



ORDINANCE NO. 2017-33

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, AMENDING THE FUTURE LAND USE MAP OF THE FUTURE LAND USE ELEMENT OF THE CITY'S COMPREHENSIVE PLAN, TO CHANGE THE FUTURE LAND USE DESIGNATION OF FOUR PARCELS OF LAND TOTALING APPROXIMATELY 3.201 ACRES, LOCATED AT THE NORTHWEST CORNER OF CHICKASAW ROAD AND SOUTH JOG ROAD, FROM A PALM BEACH COUNTY DESIGNATION OF LOW RESIDENTIAL 3 UNITS PER ACRE (RL-3) IN PART AND FROM CITY MIXED USE (MU) TO A CITY OF GREENACRES DESIGNATION OF COMMERCIAL (CM) LOCATED ON THE WEST SIDE OF SOUTH JOG ROAD AND NORTH OF CHICKASAW ROAD AS REQUESTED BY THE PETITIONER, DUNAY, MISKEL AND BACKMAN, LLP, AGENT FOR THE OWNERS, MORRIS W. SPERBER TRUST, ROSLYN L. EMERSON, CRAIG B. MORRIS AND SHAHVEER DHATIGARA; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR TRANSMITTAL TO THE DIVISION OF COMMUNITY DEVELOPMENT; PROVIDING FOR INCLUSION IN THE COMPREHENSIVE PLAN; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Greenacres, pursuant to the Local Government Comprehensive Planning and Land Development Regulation Act, and in accordance with all of its terms and provisions, has prepared and adopted a Comprehensive Plan which has been certified by the State of Florida Division of Community Development; and

WHEREAS, Chapter 163.3187 provides for small-scale future land use amendments for properties ten (10) acres or less; and

WHEREAS, the subject property meets the requirements of 163.3187; and

WHEREAS, the petitioner is requesting to change the City of Greenacres Future Land Use Map from a Palm Beach County future land use designation of Low Residential 3 units per acre (LR-3) and City Mixed Use (MU) to a City of Greenacres future land use designation of Commercial (CM) for the subject property; and

WHEREAS, the Local Planning Agency for the City of Greenacres has held a duly advertised public hearing on December 6, 2017, and has recommended approval of petition CPA-13-04 to amend the Comprehensive Plan; and

WHEREAS, the City Council of the City of Greenacres has conducted a duly advertised public hearing to receive comments on CPA-13-04 concerning the proposed amendment to the Comprehensive Plan and has considered all comments received as required by state law and local ordinance; and

WHEREAS, the City Council finds that the proposed amendment ordinance is consistent with the City's Comprehensive Plan and is in the best interest of the citizens of the City of Greenacres.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1. Future Land Use Map Designation.

That the Future Land Use Map designation is hereby amended from a Palm Beach County future land use designation of Low Residential 3 units per acre (LR-3) and City Mixed Use (MU) to a City of Greenacres future land use designation of Commercial (CM) for the property legally described as follows:

Legal Descriptions

PCNs: 00-42-43-27-05-022-0406

The North 205 feet of the South 305 feet of Tract 40, Block 22, The Palm Beach Farms Company, Plat No. 3, according to the map or plat thereof as recorded in Plat Book 2, Page 45, Public Records of Palm Beach County, Florida.

PCNs: 00-42-43-27-05-022-0402 and 00-42-43-27-05-022-0405

The East 145 feet of the South 100 feet of Tract 40, Block 22, and the West 58.77 feet of the East 203.77 feet of the South 100 feet of Tract 40, Block 22, Palm Beach Farms Company Plat No. 3, according to the Plat thereof recorded in Plat Book 2, pages 45-54, inclusive, of the Public Records of Palm Beach County, Florida.

PCN: 18-42-43-27-05-022-0403

The North 134 feet of the South 439 feet of Tract 40, Block 22, The Palm Beach Farms Co. Plat No. 3, according to the Plat thereof on file in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, in Plat Book 2, Pages 45 to 54 inclusive, of the Public Records of Palm Beach County, Florida.

CONTAINING A TOTAL OF 3.201 ACRES MORE OR LESS.

The above described parcels are subject to road right-of-ways, easements and reservations of record.

Section 2. Authorization to Make Changes.

That the Planning and Engineering Department is further authorized to make the necessary map change to the Comprehensive Plan to reflect the change authorized by this Ordinance.

Section 3. Repeal of Conflicting Ordinances.

All Ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this Ordinance are hereby repealed.

Section 4. Severability.

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

Section 5. Transmittal to the DCD.

The Planning and Engineering Department shall send copies of the future land use amendment and Ordinance to the Treasure Coast Regional Planning Council (TCRPC) and the State Division of Community Development (DCD).

Section 6. Inclusion in the Comprehensive Plan.

It is the intention of the City Council, entered as hereby ordained, that the provisions of this Ordinance shall become and be made a part of the Comprehensive Plan of the City of Greenacres, Florida; that the section(s) of this Ordinance may be renumbered or re-lettered to accomplish such intention, and that the word "Ordinance" may be changed to "Section", "Article" or another word.

Section 7. Effective Date.

The effective date of this plan amendment shall be thirty-one (31) days following the adoption of this Ordinance in accordance with the provisions of Chapter 163.3187, F.S.

Passed on the first reading this 18th day of December, 2017.

PASSED AND ADOPTED on the second reading this 22nd day of January, 2018.

Voted

Joel Flores
Mayor

()
Paula Bousquet
Deputy Mayor

Attest:

Joanna Cunningham
City Clerk

()
John Tharp
Council Member, District I

()
Peter Noble
Council Member, District II

()
Judith Dugo
Council Member, District III

()
Anderson Thelusme
Council Member, District IV

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney



LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION

I. Project Description:

Project: NW Corner of Chickasaw & Jog Rd (Aldi)

Petitioner: Dwayne L. Dickerson, Esq., Dunay Miskel & Backman, LLP
14 SE 4th Street, Suite 36
Boca Raton, FL 33432
Agent for the owners:
Morris W. Sperber Trust, Rosyln L. Emerson, Craig B. Morris and Shahveer Dhatigara



Request: Small-scale Future Land Use Amendment from Palm Beach County Low Residential 3-units per acre (LR-3) and City Mixed Use (MU) to City Commercial (CM)

Location: The northwest corner of South Jog Road and Chickasaw Road.

II. Site Data:

Existing Use: Undeveloped / Vacant

Proposed Use: Grocery Store

Parcel Control Numbers: 18-42-43-27-05-022-0403
00-42-43-27-05-022-0402; -405; and -0406;

Parcel Size: 3.201 acres (139,435.56 square feet)

Existing Future Land Use Designation: PBC Low Residential 3 units per acre (LR/3) and City Mixed Use (MU)

Proposed Future Land Use Designation: City Commercial (CM)

Existing Zoning District:

PBC Agricultural Residential (AR) and
City Mixed Use Development Office (MXD-O)

Proposed Zoning District:

City Commercial Neighborhood (CN)

Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Vacant Single-Family Residence	City Mixed Use (MU)	City Mixed Development-Office (MXD-O)
<i>South</i>	Undeveloped land	City Mixed Use (MU)	City Mixed Development-Office (MXD-O)
<i>East</i>	Villages of Woodlakes	City Residential Medium Density (RS-MD)	City Residential Medium (RM-2)
<i>West</i>	Single-Family Residence	Low Residential 3 units per acre (LR-3)	PBC Agricultural Residential (AR)

III. Annexation/Zoning History:

Unincorporated Parcels

The approximately 2.11-acres of land are located in unincorporated Palm Beach County within the identified Future Annexation Area of the City. The area to be annexed contains three (3) individual parcels each having a Palm Beach County future land use designation of Low Residential 3-units per acres (LR-3). Concurrent petitions for an annexation (ANX-16-01), zoning change (ZC-13-04), and site plan approval (SP-17-02) are being processed for the site.. These parcels are all undeveloped with no prior approvals.

A site plan approval request (SP-17-02) by the property owners is proposing to develop the site as a Grocery Store under the authority of the City of Greenacres and in conformity with the City's zoning code. The project is anticipated to follow the same hearing schedule.

North Parcel – City of Greenacres

The proposed overall development also includes the approximately 1.09-acre site adjacent to the north, which is developed as a single-family home that is currently vacant. The site was annexed into the City on August 2, 2010 (ANX-10-01) and was given the MXD-O zoning designation and is part of the rezoning application (ZC-13-04) being processed concurrent with this request.

IV. Data and Analysis:

This small-scale future land use amendment is needed in order to replace the existing Palm Beach County Low Residential 3-units per acre (LR-3) future land use designation and City Mixed Use (MU) with an appropriate City designation as a result of the annexation and proposed development. The Advisory Future Land Use Map (Map FLU 9) recommends Mixed Use (MU) for the subject parcels; however, staff recommends the Commercial (CM) land use due to the location of the site along a major thoroughfare (South Jog Road) and at a minor intersection with Chickasaw Road / Woodlake Blvd, as well as the

potential for a future mid-block signalization at the intersection due to location in the middle of two major intersections to the north and south.

The proposed City of Greenacres Commercial (CM) future land use designation allows a wide range of uses intended to serve community commercial demand. The proposed Commercial Neighborhood zoning district has a maximum Floor Area Ratio of 0.30 and 20% lot coverage. In addition, the Comprehensive Plan recognizes South Jog Road as a small to mid-sized in scale commercial area and calls for commercial land uses within the corridor.

Project Description:

As stated above, a concurrent petition for site and development plan approval is under review and the site is anticipated to be developed with a one-story 22,978 sq. ft. grocery store building in the future. Site configuration, setbacks, and landscape buffers will be required to meet City Code requirements.

Land Use Analysis:

After a review of the proposed land use amendment, staff has determined that the application is consistent with the provisions of Chapter 163, FS, because it is compatible with adjacent properties, meets concurrency requirements, and is consistent with the provisions of the City's Comprehensive Plan. Specifically, these are as follows:

A. Compatibility:

A review of the adjacent existing and anticipated land uses (see attached Aerial Photo) shows that the proposed land use is compatible with the adjacent properties.

North: To the north of the subject parcels (located north of S. Jog Rd) is a property containing the medical office building (under construction) known as Jog Professional. Jog Professional has a future land use designation of Mixed Use (MU) and a zoning designation of Mixed Use Development-Office (MXD-O). The site consists of a 17,300 square foot medical office building. The proposed designation is compatible to the adjacent land use; therefore, there will be no adverse impacts from the proposed future land use amendment.

South: To the south of the subject area across Chickasaw Road, is a property containing a place of worship (Church of God Seventh Day). The property has a City Mixed Use (MU) and a zoning designation of Mixed Use Development-Office (MXD-O). The proposed amendment will maintain consistency through the use of adequate buffering, landscaping and setbacks required on commercial parcels.

East: To the east of the subject parcels across South Jog Road is a residential planned unit development known as (Villages of Woodlake). Villages of Woodlake has a City Residential-Medium (RS-MD) future land use designation and a Residential Medium-2 (RM-2) zoning district with a Special Exception for a Planned Unit Development Master Plan (PUD). The proposed designation will have no negative impacts to the residential development as these two sites are separated by a major thoroughfare (S. Jog Rd) as well as required Right-Of-Way (ROW) landscape buffers.

West: The subject parcels abuts three (3) residential properties to the west not being annexed into the City's limits. The properties have a PBC Low Residential 3 units per acre (LR-3) with a PBC Agricultural Residential zoning district (AR). The proposed designation is required to provide landscape buffers as well as a 6-foot high concrete wall to buffer between residential and commercial uses. Therefore, there will be no adverse impacts from the proposed future land use amendment.

Conclusions: Reviewing the adjacent existing commercial and residential development shows that the proposed City Commercial future land use designation is compatible with the surrounding properties and the commercial activity along this major thoroughfare and supports the City's goal of attracting small to mid-size commercial activity along South Jog Road. In regards to the compatibility of the proposed land use designation, the densities and intensities of the proposed land use are not in conflict with those of surrounding properties along South Jog Road, as defined in the Comprehensive Plan. The density and intensity, are similar and compatible.

B. Concurrency:

The site is currently undeveloped/vacant and any future changes to the property will be evaluated for compliance with level of service standards by all relevant agencies as part of site and development plan approval. The applicant meets the level of service (LOS) standards through commitment for service from Palm Beach County Traffic Engineering, the Lake Worth Drainage District, and the Palm Beach County Water Utilities Department for the anticipated intensity permitted by the proposed land use.

C. Consistency with City's Comprehensive Plan:

The proposed amendment is consistent with the Goals, Objectives and Policies of the Comprehensive Plan, specifically:

1. Future Land Use Element

Objective 8, Policy c)

Land development regulations adopted to implement this Comprehensive Plan shall be based on and be consistent with the following standards for residential densities and commercial intensities as indicated below:

* * * (1 through 10 and 12 through 16 omitted for brevity) * * *

(11) Commercial Neighborhood – 20% lot coverage, 0.30 FAR

Objective 10, Policy e)

The City of Greenacres shall regulate and control all future land use activities which affect the topography, materials beneath the land's surface and availability of services by implementing the following policies:

Policy e)

In reviewing future land use amendments in the City's Future Annexation Area, the City will utilize the Advisory Future Land Use Map (Map 9) as the basis for the assignment of future land use designations as well as consideration of the goals, objectives and policies contained in this Element and an analysis of the proposal's compatibility with adjacent uses in order to determine the appropriate designation.

Objective 11, Policies a, b, c & d)

The City shall discourage the proliferation of urban sprawl by following established land use patterns, promoting appropriate infill and designating future land use densities based upon levels of services and the availability of services and facilities.

Policy a)

Urban Sprawl will be discouraged by permitting only development that is consistent and compatible with the established land use pattern. "Consistent and compatible with the established land use pattern" shall mean:

- (1) Only uses permitted within the Plan's land use designation and the implementing zoning district shall be approved.
- (2) Only development within the designated density range and intensity regulations of the implementing zoning district will be approved.
- (3) Adequate facilities and services shall be available and concurrent to accommodate the proposed development.

Policy b)

Infill development shall be promoted within existing areas to discourage the harmful effects of leapfrog development.

Policy c)

Future timing of appropriate land use densities and intensities will be determined by the established levels of services and the availability of services and facilities to meet the established levels.

Policy d)

The City will continue to utilize the nodal system (Section VI A.1 and A.2 of the Future Land Use Element) in conjunction with Map 5 to designate Future Land Uses in activity spheres and infill corridors.

"Establishment of Activity Centers; Map No. 5 FLU" identifies primary and secondary spheres for commercial activity. The City's planning approach calls for the containment of future commercial use within the spheres of activity. However, existing land use patterns along portions of Jog Road may necessitate the commercial or mixed-use infill of certain parcels along this roadway. In any event, strip commercial development will be discouraged in these areas by proper site planning and enhanced design.

While the proposed intersection is not designated on the current land element "Establishment of Activity Centers; Map No. 5 FLU," as a secondary activity center, the Comprehensive Plan allows for the land use

designation provided it is an in-fill parcel along the roadway, which is also a consideration in determining the land use of a parcel.

In further consideration of the proposed land use, the Biscayne Boulevard / Woodlake Boulevard right-of-way is designated as a city collector, and it feeds into the intersection being considered in this request, it meets the initial requirement for an official designation as a secondary sphere as defined in the City's Comprehensive Plan. Development potential in the area and roadway or intersection improvements will provide further support to re-evaluate the intersection in the future.

Therefore; staff recommends the Commercial (CM) land use designation with the Commercial Neighborhood zoning district (CN) which will be able to provide less intensive commercial services to the surrounding neighborhoods and discourage strip commercial development.

V. Consistency with the Treasure Coast Regional Planning Council SRPP:

The proposed future land use amendment represents a means of increasing commercial opportunities in the City through the process of infill development, rather than approving land uses which will encourage urban sprawl. This is consistent with the intent of Regional Goal 2.1, which discourages urban sprawl development patterns and Regional Goal 5.1, which states that redevelopment, revitalization and infill of existing neighborhoods and districts should be encouraged. The proposed Commercial (CM) future land use designation is consistent with the intent of Regional Goal 8.1 which states that development should take place concurrent with or after the provision of necessary infrastructure and services. As a result, the proposed future land use amendment is consistent with the Treasure Coast Regional Planning Council's Strategic Regional Policy Plan (SRPP) concerning appropriate development patterns.

VI. Consistency with Chapter 163, Florida Statutes:

The amendment is consistent with the provisions of Chapter 163.3184 and 163.3187 F.S. concerning the processing of a small-scale future land use amendment to the Comprehensive Plan, as well as providing all applicable data and analysis to support the amendment.

In summary, this small-scale future land use amendment to the City's Comprehensive Plan is compatible with adjacent land uses, adequately addresses concurrency issues, and is consistent with the City's Comprehensive Plan, the Regional Planning Council's SRPP and Chapter 163, F.S.

VII. Staff Recommendation:

Approval of CPA-13-04 through the adoption of Ordinance 2017-33.

LOCAL PLANNING AGENCY ACTION – December 6, 2017

The Local Planning Agency on a motion made by Commissioner Bennis and seconded by Commissioner Robarts, by a vote of seven (7) to zero (0), ***recommended approval*** of Comprehensive Plan Amendment ***CPA-13-04*** (*NW Corner of Chickasaw / S. Jog Road*), as presented by staff.

CITY COUNCIL ACTION First Reading – December 18, 2017

The City Council on a motion made by Councilwoman Dugo and seconded by Councilman Noble, voting four (4) to zero (1) with Councilman Tharp dissenting, ***approved*** Comprehensive Plan Amendment ***CPA-13-04*** (*NW Corner of Chickasaw / S. Jog Road*), on first reading, through ***Ordinance 2017-33***, as presented by staff.

CITY COUNCIL ACTION Adoption Hearing – January 22, 2018

Joel Flores, Mayor

Attest:

Joanna Cunningham, City Clerk

Attachments:

1. Aerial Photograph
2. Future Land Use Map
3. Ordinance 2017-33

CITY OF GREENACRES

Council Agenda Memo
2018.01KF3.008

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **Ordinance 2017-34, ZC-13-04**
Zoning Change for NW Corner of Chickasaw Road and South Jog Road
City Council Agenda Item for 01-22-18

DATE: January 8, 2018

COPIES: James D. Stokes, City Attorney
Joanna Cunningham, City Clerk
File: ZC-13-04

Background:

Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Rosyln L. Emerson, Craig B. Morris and Shahveer Dhatigara for four parcels of land totaling approximately 3.201 acres, is requesting a zoning change. Three (3) parcels are located in unincorporated Palm Beach County and one (1) parcel is within City limits on the northwest corner of Chickasaw Road and South Jog Road. Currently, three (3) of the parcels have a Palm Beach County zoning designation of Agricultural Residential (AR) and one (1) parcel has a City zoning designation of Mixed Use Development Office (MXD-O). Requests for a voluntary annexation (ANX-13-03), comprehensive plan amendment (CPA-13-04) and a site and development plan (SP-17-02) are being processed concurrently with this application.

The Land Development Staff has reviewed this proposal and recommended approval, followed by the Planning Commission recommending approval by a vote of 7-0 at their meeting on December 6, 2017. The City Council approved this petition on first reading December 18, 2017 by a unanimous vote of 4-1.

Analysis:

The proposed rezoning from Palm Beach County Agricultural Residential (AR) and City Mixed Use Development Office (MXD-O) to City Commercial Neighborhood (CN) is consistent with the site's proposed Commercial (CM) future land use designation. In

addition, the proposed CN zoning designation is consistent with the existing land use pattern in the area. The Mixed Use designations and commercial uses, which surround the site to the north and south, are within a commercial service corridor that functions on both a local and a regional level. The proposed zoning designation is compatible with the commercial character of the adjacent properties to the north and south located within the City of Greenacres. The proposal also meets all concurrency requirements and is consistent with the City's Comprehensive Plan and Zoning Code including the ten (10) zoning change criteria.

Financial:

N/A.

Legal:

Ordinance 2017-34 was prepared in accordance with all applicable State Statutes and City Code requirements.

Staff Recommendation:

Approval of ZC-13-04 through the adoption of Ordinance 2017-34.



Kara L. Irwin-Ferris, AICP
Planning and Engineering Director

Attachments:

1. Ordinance 2017-34
2. Conceptual Site Plan
3. Zoning Map



ZONING CHANGE (ZC-13-04)

NW CORNER OF CHICKASAW & JOG RD (ALDI)

CITY OF GREENACRES, FLORIDA

PREPARED BY THE PLANNING AND ENGINEERING DEPARTMENT

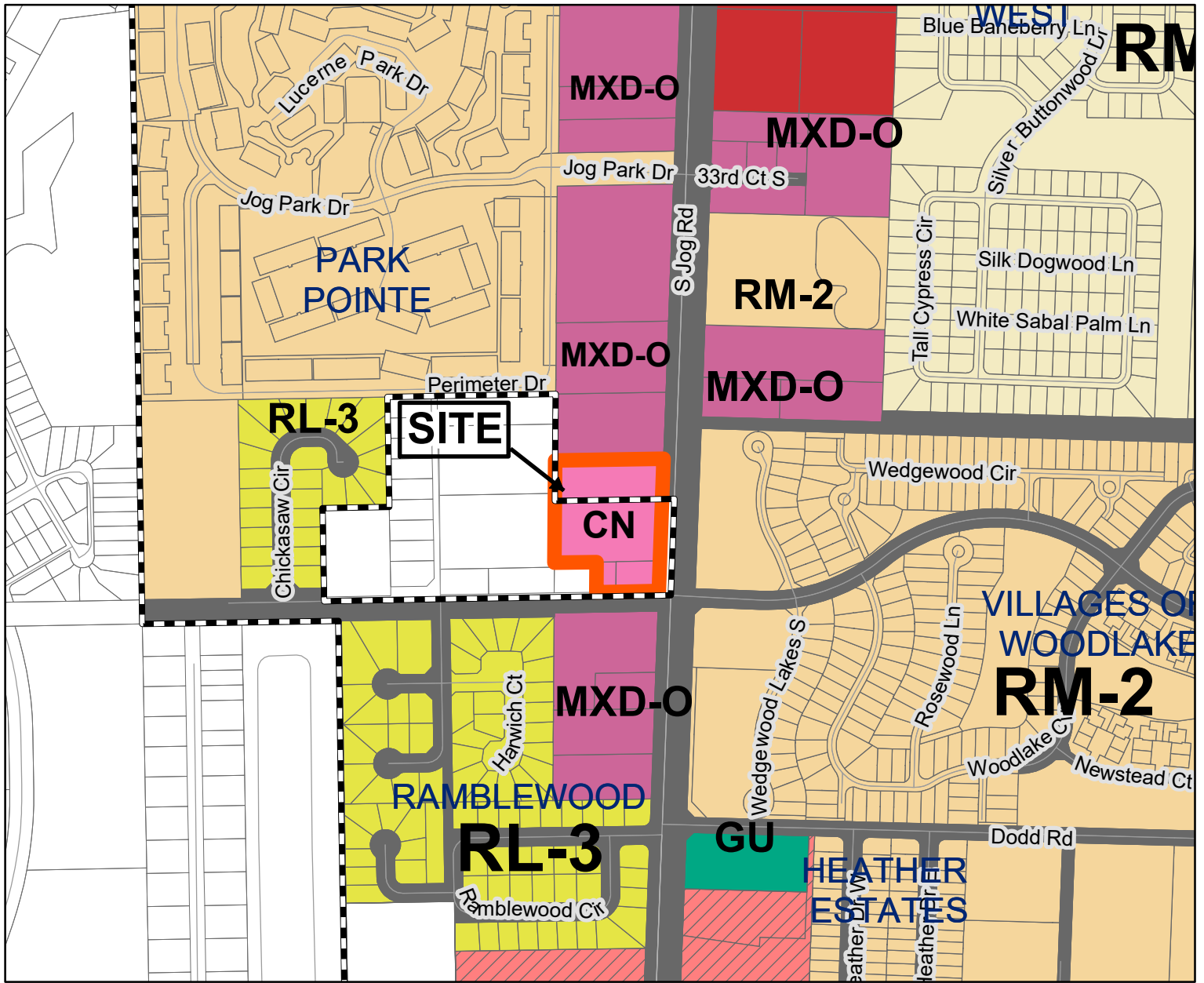
- Legend**
- CITY BOUNDARY
 - RIGHT OF WAY
 - LAKE WORTH ROAD URBAN CORRIDOR OVERLAY DISTRICT
 - AGRICULTURAL RESIDENTIAL (4 UNITS/ACRE) (AR)
 - RESIDENTIAL LOW - 3 (RL-3)
 - RESIDENTIAL ESTATE (1 UNIT/ACRE) (RE)
 - RESIDENTIAL LOW DENSITY (3 UNITS/ACRE) (RL-1)
 - RESIDENTIAL LOW DENSITY (4 UNITS/ACRE) (RL-2)
 - RESIDENTIAL LOW DENSITY (5 UNITS/ACRE) (RL-3)
 - RESIDENTIAL MEDIUM DENSITY 1 (6 UNITS/ACRE) (RM-1)
 - RESIDENTIAL MEDIUM DENSITY 2 (7 UNITS/ACRE) (RM-2)
 - RESIDENTIAL HIGH DENSITY (10 UNITS/ACRE) (RH)
 - RESIDENTIAL MOBILE HOME (RMH)
 - MIXED DEVELOPMENT RESIDENTIAL (MXD-R)
 - MIXED DEVELOPMENT COMMERCIAL (MXD-C)
 - MIXED DEVELOPMENT OFFICE (MXD-O)
 - MIXED DEVELOPMENT - ORIGINAL SECTION (MXD-OS)
 - OFFICE PROFESSIONAL AND INSTITUTIONAL (OPI)
 - COMMERCIAL NEIGHBORHOOD (CN)
 - COMMERCIAL GENERAL (CG)
 - COMMERCIAL INTENSIVE (CI)
 - GOVERNMENT USE (GU)
 - STUDY AREA ZONE (SAZ)



500

Feet

Date: 12/8/2017



ORDINANCE NO. 2017-34

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, APPROVING THE APPLICATION FOR A ZONING CHANGE FOR FOUR (4) PARCELS OF LAND TOTALING APPROXIMATELY 3.201 ACRES, LOCATED AT THE NORTHWEST CORNER OF CHICKASAW ROAD AND SOUTH JOG ROAD, FROM A PALM BEACH COUNTY ZONING DESIGNATION OF AGRICULTURAL (AR) IN PART AND CITY MIXED USE DEVELOPMENT OFFICE ZONING (MXD-O) TO A CITY OF GREENACRES ZONING DESIGNATION OF COMMERCIAL NEIGHBORHOOD (CN), AS REQUESTED BY THE PETITIONER, DUNAY, MISKEL AND BACKMAN, LLP, AGENT FOR THE OWNERS, MORRIS W. SPERBER TRUST, ROSLYN L. EMERSON, CRAIG B. MORRIS AND SHAHVEER DHATIGARA; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Roslyn L. Emerson, Craig B. Morris and Shahveer Dhatigara, is herein known as the "Petitioner" for the herein described property; and

WHEREAS, the Petitioner is requesting a rezoning of four (4) parcels of land totaling approximately 3.201 acres more or less, from a Palm beach County zoning designation of Agricultural (AR) in part and City Mixed Use Development Office (MXD-O) in part to a City of Greenacres zoning designation of Commercial Neighborhood (CN); and

WHEREAS, the Planning Commission has held a duly advertised public hearing on December 6, 2017 and reviewed the application for compliance with the staff findings relevant to the criteria for a Zoning Change as detailed in the Land Development Staff Report and Recommendation, Exhibit "A", dated November 15, 2017, as revised; and

WHEREAS, the City Council of the City of Greenacres has conducted a duly advertised public hearing on January 22, 2018 and has considered all comments received concerning the proposed amendment to the Official Zoning Map as required by state law and local ordinances; and

WHEREAS, the City Council finds that the proposed zoning change ordinance is consistent with the City's Comprehensive Plan, said Plan being adopted pursuant to the Local Government Comprehensive Planning and Land Development Regulation Act and certified by the State of Florida Division of Community Development; and

WHEREAS, the City Council of the City of Greenacres further finds that, in accordance with Exhibit "A", "Land Development Staff Report and Recommendation", dated November 15, 2017, as revised (attached), the proposed amendment changing the zoning district of four (4) parcels of land totaling approximately 3.201 acres more or less, from a Palm Beach County zoning designation of Agricultural (AR) in part and City Mixed Use Development Office (MXD-O) to a City of Greenacres zoning designation of Commercial Neighborhood (CN), is in the best interest of the citizens of the City of Greenacres.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1. Zoning District Amendment.

The request by the petitioner to change the Official Zoning Map to include a zoning change of four (4) parcels of land totaling approximately 3.201 acres more or less, from a Palm Beach County zoning designation of Agricultural (AR) in part and City Mixed Use Development Office (MXD-O) to a City of Greenacres zoning designation of Commercial Neighborhood (CN), is hereby granted for the properties located at the northwest corner of Chickasaw Road and South Jog Road, legally described as follows:

Legal Descriptions

PCNs: 00-42-43-27-05-022-0406

The North 205 feet of the South 305 feet of Tract 40, Block 22, The Palm Beach Farms Company, Plat No. 3, according to the map or plat thereof as recorded in Plat Book 2, Page 45, Public Records of Palm Beach County, Florida.

PCNs: 00-42-43-27-05-022-0402 and 00-42-43-27-05-022-0405

The East 145 feet of the South 100 feet of Tract 40, Block 22, and the West 58.77 feet of the East 203.77 feet of the South 100 feet of Tract 40, Block 22, Palm Beach Farms Company Plat No. 3, according to the Plat thereof recorded in Plat Book 2, pages 45-54, inclusive, of the Public Records of Palm Beach County, Florida.

PCN: 18-42-43-27-05-022-0403

The North 134 feet of the South 439 feet of Tract 40, Block 22, The Palm Beach Farms Co. Plat No. 3, according to the Plat thereof on file in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, in Plat Book 2, Pages 45 to 54 inclusive, of the Public Records of Palm Beach County, Florida.

CONTAINING A TOTAL OF 3.201 ACRES MORE OR LESS.

The above described parcels are subject to road right-of-ways, easements and reservations of record.

Section 2. Authorization to Make Changes.

That the Planning and Engineering Department is further directed to make the necessary changes to the City of Greenacres Official Zoning Map to reflect the changes authorized by this Ordinance.

Section 3. Repeal of Conflicting Ordinances.

All Ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this Ordinance are hereby repealed.

Section 4. Severability.

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

Section 5. Effective Date.

The provisions of this Ordinance shall become effective upon adoption.

Passed on the first reading this 18th day of December, 2017.

PASSED AND ADOPTED on the second reading this 22nd day of January, 2018.

Voted

Joel Flores
Mayor

()
Paula Bousquet
Deputy Mayor

Attest:

Joanna Cunningham
City Clerk

()
John Tharp
Council Member, District I

()
Peter Noble
Council Member, District II

()
Judith Dugo
Council Member, District III

()
Anderson Thelusme
Council Member, District IV

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney



LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION

I. Project Description:

Project: NW Corner of Chickasaw & Jog Rd
(Aldi)

Petitioner: Dwayne L. Dickerson, Esq., Dunay
Miskel & Backman, LLP
14 SE 4th Street, Suite 36
Boca Raton, FL 33432
Agent for the owners:
Morris W. Sperber Trust, Rosyln L.
Emerson, Craig B. Morris and
Shahveer Dhatigara



Request: Zoning Change from Palm Beach
County Agricultural Residential (AR)
and City Mixed Use Development
Office (MXD-O) to City Commercial
Neighborhood (CN)

Location: The northwest corner of South Jog Road
and Chickasaw Road.

II. Site Data:

Existing Use:	Undeveloped / Vacant
Proposed Use:	Grocery Store
Parcel Control Number:	18-42-43-27-05-022-0403 00-42-43-27-05-022-0402; -405; and -0406;
Parcel Size:	3.201 acres (139,435.56 square feet)
Existing Future Land Use Designation:	PBC Low Residential 3 units per acre (LR/3) and City Mixed Use (MU)
Proposed Future Land Use Designation:	City Commercial (CM)
Existing Zoning District:	PBC Agricultural Residential (AR)

Proposed Zoning District:

City Commercial Neighborhood (CN)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Vacant Single-Family Residence	City Mixed Use (MU)	City Mixed Development-Office (MXD-O)
<i>South</i>	Undeveloped land	City Mixed Use (MU)	City Mixed Development-Office (MXD-O)
<i>East</i>	Villages of Woodlakes	City Residential Medium Density (RS-MD)	City Residential Medium (RM-2)
<i>West</i>	Single-Family Residence	Low Residential 3 units per acre (LR-3)	PBC Agricultural Residential (AR)

III. Annexation/Zoning History:

Unincorporated Parcels

The approximately 2.11-acres of land are located in unincorporated Palm Beach County within the identified Future Annexation Area of the City. The area to be annexed contains three (3) individual parcels each having a Palm Beach County future land use designation of Low Residential 3-units per acres (LR-3). Concurrent petitions for an annexation (ANX-16-01), comprehensive plan amendment (CPA-13-04), and site plan approval (SP-17-02) are being processed for the site.. These parcels are all undeveloped with no prior approvals.

A site plan approval request (SP-17-02) by the property owners is proposing to develop the site as a Grocery Store under the authority of the City of Greenacres and in conformity with the City’s zoning code. The project is anticipated to follow the same hearing schedule.

North Parcel – City of Greenacres

The proposed overall development also includes the approximately 1.09-acre site adjacent to the north, which is developed as a single-family home that is currently vacant. The site was annexed into the City on August 2, 2010 (ANX-10-01) and was given the MXD-O zoning designation and is part of the comprehensive plan amendment (CPA-13-04) being processed concurrent with this request.

IV. Applicable Comprehensive Plan Provisions:

The Comprehensive Plan includes the following planning objectives and policies related to this proposed zoning change request:

1. Future Land Use Element

Objective 8, Policy c)

Land development regulations adopted to implement this Comprehensive Plan shall be based on and be consistent with the following standards for residential densities and commercial intensities as indicated below:

* * * (1 through 9 and 11 through 16 omitted for brevity) * * *

10) Commercial Neighborhood - 20% lot coverage, 0.30 FAR

Objective 11, Policies a, b, & c)

The City shall discourage the proliferation of urban sprawl by following established land use patterns, promoting appropriate infill and designating future land use densities based upon levels of services and the availability of services and facilities.

Policy a)

Urban Sprawl will be discouraged by permitting only development that is consistent and compatible with the established land use pattern. "Consistent and compatible with the established land use pattern" shall mean:

- (1) Only uses permitted within the Plan's land use designation and the implementing zoning district shall be approved.
- (2) Only development within the designated density range and intensity regulations of the implementing zoning district will be approved.
- (3) Adequate facilities and services shall be available and concurrent to accommodate the proposed development.

Policy b)

Infill development shall be promoted within existing areas to discourage the harmful effects of leapfrog development.

Policy c)

Future timing of appropriate land use densities and intensities will be determined by the established levels of services and the availability of services and facilities to meet the established levels

V. Applicable City Code Provisions:

Section 16-153(a)(1) of the Code relating to rezoning of property states that the proposed zoning change should not be contrary to the future land use map, and it should not have an adverse effect on the Comprehensive Plan.

Division 9. Commercial Neighborhood (Section 16-446 through 16-458)

The commercial neighborhood (CN) district is intended to provide a number of selected establishments that will serve one or several neighborhoods within one-half to one and one-half (1½) mile radius. The district is not intended for use by major or large scale

commercial or service concerns. Professional and business offices and service establishments and uses that specifically address the needs of surrounding residents are encouraged. Orientation to and compatibility with the neighborhoods to be served are critical. The district shall be designed and regulated to eliminate potential land use conflicts that may impact surrounding residential areas.

VI. Staff Analysis:

Land Development Staff Comments:

The petition was reviewed by the Land Development Staff on August 10 and August 17, 2017, and recommended for approval.

Planning and Engineering Dept.:	Incorporated into the staff report
Building Department:	No objections
Fire Rescue Department:	No objections
Public Works Department:	No objections
PBSO District 16:	No objections

Zoning Change Criteria and Findings of Fact:

Section 16-153. Planning Commission Report: The Planning Commission shall submit a report to the City Council which shows that the Commission has studied and considered the proposed amendment for rezoning of property and change to the official zoning map in relation to the following, where applicable:

Specific Criteria Findings:

- (1) Whether the proposed change would be contrary to the land use plan and would have an adverse effect on the Comprehensive Plan.**

Finding: The proposed Commercial Neighborhood (CN) zoning will be consistent with the property's proposed Commercial future land use designation. The CN district is intended to provide a number of selected establishments that will serve one or several neighborhoods within one-half to one and one-half (1½) mile radius. The proposed zoning designation is in support of the Goals, Objectives, and Policies of the Comprehensive Plan directing small to mid-sized commercial activity to areas that are oriented to major thoroughfares such as South Jog Road.

- (2) The existing land use pattern.**

Finding: The proposed Commercial Neighborhood (CN) zoning designation is consistent with the existing land use pattern in the area. The Mixed Use designations and commercial uses, which surround the site to the north and south, are within a commercial service corridor that functions on both a local and a regional level. The proposed zoning designation is compatible with the commercial character of the adjacent properties to the north and south located within the City of Greenacres.

- (3) **The possible creation of an isolated district unrelated to adjacent and nearby districts.**

Finding: This proposed zoning change will not create an isolated zoning district. The site is located along the Jog Road commercialized corridor with existing commercial uses and designations on both sides, including identical designation along this corridor.

- (4) **The population density pattern and possible increase or overtaxing of the land on public facilities such as schools, utilities, etc.**

Finding: The site is surrounded to the north and south by developed commercial land uses. Concurrency has been satisfied for all applicable agencies for the 22, 978 square foot building proposed for the site based on the concurrent petition for site and development plan approval.

- (5) **Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.**

Finding: The property is being annexed into the City and therefore requires an appropriate City zoning designation.

- (6) **Whether changed or changing conditions make the passage of the proposed amendment necessary.**

Finding: The property is being annexed into the City and therefore requires an appropriate City zoning designation. This rezoning is needed in order to have a consistent zoning designation for the overall development.

- (7) **Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.**

Finding: The proposed change will not create an excessively increase traffic congestion or affect public safety. Any redevelopment must satisfy Traffic Performance Standards as part of the site plan approval process. Thus, traffic and public safety will not be negatively impacted.

- (8) **Whether the proposed change will adversely influence living conditions in the neighborhood.**

Finding: The proposed zoning change will not adversely affect living conditions in the area. The site is mostly undeveloped in part and a vacant single-family structure; any future redevelopment (such as the concurrent petition for a site and development plan approval) will be required to include adequate landscaping, setbacks, and buffering in accordance with the City Zoning Code. The area is also an established commercial corridor.

- (9) **Whether there are substantial reasons why the property cannot be used in accord with existing zoning.**

Finding: The property is being annexed into the City and therefore requires an appropriate City zoning designation. The rezoning for the parcel already within City limits zoned (MXD-O) is needed in order to have a consistent zoning designation for all the parcels that will make up the overall development of a grocery store.

- (10) **Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.**

Finding: As evidenced by the findings above, the proposed zoning change does not constitute a special privilege for the property owner because the change is consistent with existing land use patterns, the property's proposed future land use, the surrounding future land use and zoning designations, and the existing County zoning designation.

VII. Staff Recommendation:

Approval of ZC-13-04 through the adoption of Ordinance 2017-34.

PLANNING COMMISSION RECOMMENDATION – December 6, 2017

The Planning Commission on a motion made by Commissioner Bennis and seconded by Commissioner Garcia, by a vote of seven (7) to zero (0), ***recommended approval*** of Zoning Change **ZC-13-04** (NW Corner Chickasaw / S. Jog Road (Aldi Grocery Store)), as presented by staff.

CITY COUNCIL ACTION First Reading – December 18, 2017

The City Council on a motion made by Councilwoman Dugo and seconded by Councilman Thelusme, voting four (4) to zero (1) with Councilman Tharp dissenting, ***approved*** Zoning Change **ZC-13-04** (NW Corner Chickasaw / S. Jog Road (Aldi Grocery Store)), on first reading, through **Ordinance 2017-34**, as presented by staff.

CITY COUNCIL ACTION Adoption Hearing – January 22, 2018

Joel Flores, Mayor

Attest:

Joanna Cunningham, City Clerk

Attachments:

1. Aerial Photograph
2. Zoning Map
3. Ordinance 2017-34

CITY OF GREENACRES

Council Agenda Memo
2018.01KF3.009

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director

SUBJECT: **SP-17-02**
Site Plan for NW Corner of Chickasaw Road and South Jog Road (Aldi's)
City Council Agenda Item for 01-22-18

DATE: January 8, 2018

COPIES: James D. Stokes, City Attorney
Joanna Cunningham, City Clerk
File: SP-17-02

Background:

Dunay, Miskel and Backman, LLP, agent for the owners, Morris W. Sperber Trust, Roslyn L. Emerson, Craig B. Morris and Shahveer Dhatigara for four parcels of land totaling approximately 3.201 acres, is requesting site and development plan approval for a Grocery Store building. Three (3) parcels are located in unincorporated Palm Beach County and one (1) parcel is within City limits on the northwest corner of Chickasaw Road and South Jog Road. Currently, three (3) of the parcels have a Palm Beach County zoning designation of Agricultural Residential (AR) and one (1) parcel has a City zoning designation of Mixed Use Development Office (MXD-O). Requests for an annexation (ANX-13-03), comprehensive plan amendment (CPA-13-04), zoning change (ZC-13-04), are being processed for the properties.

The Land Development Staff has reviewed this proposal and recommended approval, followed by the Planning Commission recommending approval by a vote of 7-0 at their meeting on December 6, 2016.

Analysis:

The petition is for site and development plan approval to construct a one-story 22,978 square foot grocery store building. The site plan has 135 parking spaces including five handicap spaces and has ingress/egress points from Chickasaw Road and South Jog Road. The subject site is adequately buffered by a proposed 15-foot wide landscape buffer along South Jog Road, a 10-foot wide landscape buffer along Chickasaw Road, and a proposed 6-foot high concrete wall along the west property boundary with a 10-foot

wide landscape buffer as required by the zoning code to buffer the adjacent residential uses.

The applicant has provided architectural elevations depicting banding, and architectural features on all four elevations. The parapet wall around the entire roof will effectively screen mechanical equipment.

Financial:

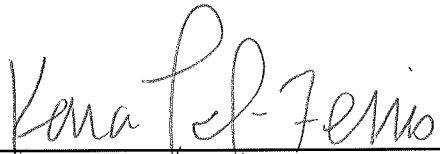
N/A.

Legal:

The site and development plan has been reviewed in accordance with applicable City Code requirements.

Staff Recommendation:

Approval of SP-17-02, subject to the conditions of approval listed in the staff report.



Kara L. Irwin-Ferriś, AICP
Planning and Engineering Director

Attachments:

1. Site and Development Plans
2. Aerial Location Map

SITE CONSTRUCTION PLANS

FOR

ALDI, INC

CONTACT INFORMATION

CONSULTANTS

CIVIL ENGINEER:
BOHLER ENGINEERING FL, LLC
2255 GLADES ROAD, SUITE 305E
BOCA RATON, FL 33431
(561) 571-0280

BOUNDARY & TOPOGRAPHICAL SURVEY:
CALFELD & WHEELER, INC.
7900 GLADES ROAD-SUITE 100
BOCA RATON, FL 33433
(561) 392-1891

GEOTECHNICAL / ENVIRONMENTAL REPORTS:
NATIVE GEOSCIENCE
2014 EDGEWATER DR. #248
ORLANDO, FL 32804
(407) 342-1443

ARCHITECT:
CUMACI & PETERSON
1925 PROSPECT AVE
ORLANDO, FL 32814
(407) 661-9100

LANDSCAPE ARCHITECT:
SCOTT BARBER DESIGNS, PA
1551 WYNCLIFF DRIVE
WELLSINGTON, FL 33414
(561) 389-7283

TRAFFIC:
KBP CONSULTING, INC.
8400 N. UNIVERSITY DRIVE, SUITE 309
TAMPA, FL 33621
(561) 568-7103

OWNER / APPLICANT
ALDI, INC
BIW LAKE WORTH JOG, LLC
3708 W. SWANN AVE, SUITE 200
TAMPA, FL 33609
(813) 874-1700

END USER
ALDI, INC
JORDAN FORD
1171 N. STATE ROAD 7
ROYAL PALM BEACH, FL 33411
(561) 840-8000

LOCATION OF SITE
NWC OF S JOG ROAD & CHICKASAW ROAD
GREENACRES, FLORIDA
PALM BEACH COUNTY
SEC 25, TWP 44 S, RGE 42 E



LOCATION MAP

SCALE: 1" = 500'

S. JOG ROAD SPEED LIMIT = 45 MPH
CHICKASAW ROAD SPEED LIMIT = 25 MPH

GOVERNING AGENCIES

- | | | |
|--|---|---|
| <p>CITY
CITY OF GREENACRES
5800 MELEUICA LANE
GREENACRES, FL 33463
(561) 642-2045</p> <p>FIRE PREVENTION
PALM BEACH COUNTY FIRE RESCUE
2300 N. JOG ROAD, SUITE #W27
WEST PALM BEACH, FL 33411
CONTACT: CAPT. WALTER LEHART
(561) 233-0550</p> <p>ELECTRIC
FLORIDA POWER & LIGHT
810 CHARLOTTE AVE
WEST PALM BEACH, FL 33401
CONTACT: STACEY LIEBLA
(561) 616-1514</p> | <p>WATER/SEWER
PALM BEACH COUNTY WATER UTILITIES
8945 JOG ROAD
BOYNTON BEACH, FL 33437
CONTACT: ADAM GALICKI
(561) 493-6122</p> <p>FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP)
SOUTHEAST DISTRICT OFFICE
400 NORTH CONGRESS AVENUE, SUITE 200
WEST PALM BEACH, FL 33401
(561) 681-6800</p> <p>TRAFFIC
PALM BEACH COUNTY TRAFFIC DIVISION
2300 N JOG ROAD, 3RD FLOOR
WEST PALM BEACH, FL 33411
CONTACT: QUAN YUAN, P.E.
(561) 684-4104</p> <p>TELEPHONE
AT&T
2021 SOUTH MILITARY TRAIL
WEST PALM BEACH, FL 33415
CONTACT: JOHN NGUYEN
(561) 988-8529</p> | <p>STORM DRAINAGE
SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWD)
3301 GUN CLUB ROAD
WEST PALM BEACH, FL 33406
CONTACT: CARLOS BERDOJAS
(561) 682-6505</p> <p>LAKE WORTH DRAINAGE DISTRICT (LWDD)
11081 S MILITARY TRAIL
DELRAY BEACH, FL 33484
CONTACT: JOSEPH WALSH
(561) 819-5588</p> <p>NATURAL GAS
FLORIDA PUBLIC UTILITIES
401 S. DIXIE HIGHWAY
WEST PALM BEACH, FL 33401
CONTACT: MAURO RUINI
(561) 838-1713</p> |
|--|---|---|

LEGAL DESCRIPTION

THE EAST 145 FEET OF THE SOUTH 100 FEET OF TRACT 40, BLOCK 22, AND THE WEST 58.77 FEET OF THE EAST 203.77 FEET OF THE SOUTH 100 FEET OF TRACT 40, BLOCK 22, PALM BEACH FARMS COMPANY, PLAT NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGES 45 THROUGH 54, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH:

THE NORTH 205 FEET OF THE SOUTH 305 FEET OF TRACT 40, BLOCK 22, THE PALM BEACH FARMS COMPANY, PLAT NO. 3, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 45, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH:

THE NORTH 134 FEET OF THE SOUTH 439 FEET OF TRACT 40, BLOCK 22, THE PALM BEACH FARMS COMPANY, PLAT NO. 3, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 2, PAGE 45, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CONTAINING 139434.07 SQUARE FEET OR 3.201 ACRES MORE OR LESS.

DISCLAIMER:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL OF THE DIMENSIONS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT FROM SOURCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. BOHLER ENGINEERING FL, LLC ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS OR FOR ANY CHANGES IN THE SITE OR ANY UNFORESEEN CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATIONS FROM ALL APPLICABLE AGENCIES AND LOCAL JURISDICTIONS. BOHLER ENGINEERING FL, LLC ACCEPTS NO LIABILITY FOR ANY CONSEQUENCES OF SUCH ACTIONS.

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

BOCA RATON, FL
NORTH MIAMI, FL
MIAMI, FL
PALM BEACH, FL
WEST PALM BEACH, FL
FORT LAUDERDALE, FL
DADE COUNTY, FL
BROWARD COUNTY, FL
PALM BEACH COUNTY, FL
DADE COUNTY, FL
BROWARD COUNTY, FL

REVISIONS			
REV	DATE	COMMENT	BY
1	10/31/17	REV PER CITY COMMENTS	DJE

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NOT APPROVED FOR CONSTRUCTION

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PROJECT No.: FL170202
DRAWN BY: CL
CHECKED BY: CR
DATE: 09/15/17
SCALE: AS NOTED
CAD/D: SDJ

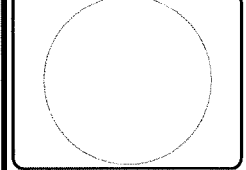
CONSTRUCTION PLANS

FOR
ALDI, INC

LOCATION OF SITE
NWC OF S JOG ROAD
& CHICKASAW ROAD
PALM BEACH COUNTY
GREENACRES, FLORIDA

BOHLER ENGINEERING

2255 GLADES ROAD, SUITE 305E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA REGISTERED PROFESSIONAL ENGINEER
LANDSCAPE ARCHITECT LICENSE NO. 1914293



SHEET TITLE:
COVER

SHEET NUMBER:
C-1

RECEIVED by
CITY OF GREENACRES

OCT 31 2017

PLANNING & ENGINEERING

PREPARED BY

BOHLER ENGINEERING

2255 GLADES ROAD, SUITE 305E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
BohlerEngineering.com

GENERAL NOTES:

FLORIDA ADMINISTRATIVE CODE

62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS

FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.

(1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

(A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C.

(B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

(C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.

(D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.009(5), F.S., AND RULE 64E-8.002, F.A.C.

(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.

(A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

(B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C.

(3) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.

(A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.

(B) EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THIS REQUIREMENT (I.E., WHERE THERE IS A CONFLICT IN THE ROUTING OF A WATER MAIN AND A STORM SEWER AND WHERE ALTERNATIVE ROUTING OF THE WATER MAIN OR THE STORM SEWER IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE). THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THIS REQUIREMENT (I.E., THE DEPARTMENT SHALL ALLOW CONSTRUCTION OF CONFLICT MANHOLES, BUT SUPPLIERS OF WATER OR PERSONS PROPOSING TO CONSTRUCT CONFLICT MANHOLES MUST FIRST OBTAIN A SPECIFIC PERMIT FROM THE DEPARTMENT IN ACCORDANCE WITH PART V OF THIS CHAPTER AND MUST PROVIDE IN THE PRELIMINARY DESIGN REPORT OR DRAWINGS, SPECIFICATIONS, AND DESIGN DATA ACCOMPANYING THEIR PERMIT APPLICATION THE FOLLOWING INFORMATION:

- 1. TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH CONFLICT MANHOLE.
2. A STATEMENT IDENTIFYING THE PARTY RESPONSIBLE FOR MAINTAINING EACH CONFLICT MANHOLE.
3. ASSURANCE OF COMPLIANCE WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS IN SUB-SUBPARAGRAPHS A THROUGH D, BELOW.

A. EACH WATER MAIN PASSING THROUGH A CONFLICT MANHOLE SHALL HAVE A FLEXIBLE, WATERTIGHT JOINT ON EACH SIDE OF THE MANHOLE TO ACCOMMODATE DIFFERENTIAL SETTLING BETWEEN THE MAIN AND THE MANHOLE.

B. WITHIN EACH CONFLICT MANHOLE, THE WATER MAIN PASSING THROUGH THE MANHOLE SHALL BE INSTALLED IN A WATERTIGHT CASING PIPE HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE).

C. EACH CONFLICT MANHOLE SHALL HAVE AN ACCESS OPENING, AND SHALL BE SIZED, TO ALLOW FOR EASY CLEANING OF THE MANHOLE.

D. GRATINGS SHALL BE INSTALLED AT ALL STORM SEWER INLETS UPSTREAM OF EACH CONFLICT MANHOLE TO PREVENT LARGE OBJECTS FROM ENTERING THE MANHOLE.

(4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS. NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.009(5), F.S., AND RULE 64E-8.002, F.A.C.

(5) EXCEPTIONS WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUBSECTION (1) OR (2) ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THESE REQUIREMENTS IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH EXCEPTION AND PROVIDE ALTERNATIVE CONSTRUCTION FEATURES THAT AFFORD A SIMILAR LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION. ACCEPTABLE ALTERNATIVE CONSTRUCTION FEATURES INCLUDE THE FOLLOWING:

(A) WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE.

- 1. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C., FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE;
2. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE; OR
3. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE.

(B) WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE.

- 1. USE OF PIPE OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN; AND
2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER.

62-555.320 DESIGN AND CONSTRUCTION OF PUBLIC WATER SYSTEM MAINS

PUBLIC WATER SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO PROVIDE SUFFICIENT DRINKING WATER OF A QUALITY THAT WILL MEET ALL APPLICABLE STANDARDS IN CHAPTERS 62-550, F.A.C., AND REQUIREMENTS IN THIS CHAPTER. THIS SECTION ADDRESSES THE DESIGN AND CONSTRUCTION OF ALL PUBLIC WATER SYSTEM COMPONENTS OTHER THAN WELLS (BUT INCLUDING WELL PUMPING EQUIPMENT AND APPURTENANCES); PUBLIC WATER SYSTEM WELLS ARE ADDRESSED IN CHAPTERS 62-524 AND 62-532, F.A.C., AND RULE 62-555.315, F.A.C.

(21) DRINKING WATER PIPING AND APPURTENANCES.

(B) ALL NEW OR ALTERED PIPING, INCLUDING TREATMENT PLANT PROCESS PIPING, AND APPURTENANCES CONVEYING FINISHED DRINKING WATER SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTIONS 8.0 THROUGH 8.5 AND 8.7 THROUGH 8.11 IN RECOMMENDED STANDARDS FOR WATER WORKS AS INCORPORATED INTO RULE 62-555.330, F.A.C., EXCEPT THAT:

3. ALL WATER MAIN PIPE, INCLUDING FITTINGS, INSTALLED ON OR AFTER AUGUST 28, 2003, EXCEPT PIPE INSTALLED UNDER A CONSTRUCTION PERMIT FOR WHICH THE DEPARTMENT RECEIVED A COMPLETE APPLICATION BEFORE AUGUST 28, 2003, SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE. PIPE SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL. AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPES DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE AT DRINKING WATER TREATMENT PLANTS SHALL BE COLOR CODED AND LABELED IN ACCORDANCE WITH SUBSECTION 62-555.320(10), F.A.C., AND ALL OTHER ABOVEGROUND PIPE SHALL BE PAINTED BLUE OR SHALL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.

(C) THE DEPARTMENT SHALL ALLOW THE USE OF PIPE AND APPURTENANCES THAT DO NOT CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS AS INCORPORATED INTO RULE 62-555.330, F.A.C., ONLY IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE DOCUMENTATION SHOWING THAT THE ALTERNATE PIPE AND APPURTENANCES PROVIDE STRENGTH, DURABILITY, RELIABILITY, AND PUBLIC HEALTH PROTECTION AT LEAST EQUAL TO THAT PROVIDED BY PIPE AND APPURTENANCES THAT CONFORM TO APPLICABLE AWWA STANDARDS.

62-604.400 DESIGN/PERFORMANCE CONSIDERATIONS

(2), IN ADDITION TO SUBSECTION (1), ABOVE, THE FOLLOWING REQUIREMENTS SHALL BE MET WHERE APPLICABLE:

(g) EXCEPT AS PROVIDED IN SUBSECTION 62-604.400(3), F.A.C., SEWERS AND FORCE MAINS SHALL BE LAID AT LEAST TEN FEET (OUTSIDE TO OUTSIDE) HORIZONTALLY FROM WATER MAINS. PROVIDED THE APPLICANT DEMONSTRATES THERE IS NO REASONABLE ALTERNATIVE, THE DEPARTMENT SHALL APPROVE SMALLER HORIZONTAL SEPARATION DISTANCES FOR SEWERS IF ONE OF THE FOLLOWING CONDITIONS IS MET:

- 1. THE TOP OF THE SEWER IS INSTALLED AT LEAST 18 INCHES BELOW THE BOTTOM OF THE POTABLE WATER LINE.
2. THE SEWER IS ENCASED IN WATERTIGHT CARRIER PIPE OR CONCRETE.
3. BOTH THE SEWER AND THE WATER MAIN ARE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT PIPE COMPLYING WITH PUBLIC WATER SUPPLY DESIGN STANDARDS AND PRESSURE TESTED TO 150 PSI TO ASSURE WATERTIGHTNESS.
4. THE APPLICANT PROVIDES DOCUMENTATION ACCOMPANYING THE PERMIT APPLICATION SHOWING THAT ANOTHER ALTERNATIVE WILL RESULT IN AN EQUIVALENT LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION.

(h) EXCEPT AS PROVIDED IN SUBSECTION 62-604.400(3), F.A.C., SEWERS AND FORCE MAINS SHALL BE LAID AT LEAST THREE FEET (OUTSIDE TO OUTSIDE) HORIZONTALLY FROM ANY EXISTING OR PROPOSED RECLAIMED WATER LINE PERMITTED UNDER PART III OF CHAPTER 62-810, F.A.C. SMALLER HORIZONTAL DISTANCES SHALL BE APPROVED IN ACCORDANCE WITH SUBSECTION 62-610.469(7), F.A.C.

(i) EXCEPT AS PROVIDED IN SUBSECTION 62-604.400(3), F.A.C., SEWER PIPES AND FORCE MAINS SHALL CROSS UNDER WATER MAINS. UNLESS THERE IS NO ALTERNATIVE, SEWERS AND FORCE MAINS CROSSING WATER MAINS OR RECLAIMED WATER LINES PERMITTED UNDER PART III OF CHAPTER 62-810, F.A.C., SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. THE MINIMUM VERTICAL SEPARATION SHALL BE MAINTAINED WHETHER THE WATER MAIN IS ABOVE OR BELOW THE SEWER. FOR SEWER CROSSINGS, THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER OR FORCE MAIN TO MAINTAIN LINE AND GRADE. FOR SEWERS, PROVIDED THE APPLICANT DEMONSTRATES THERE IS NO REASONABLE ALTERNATIVE, THE DEPARTMENT SHALL APPROVE SMALLER VERTICAL SEPARATION DISTANCES IF ONE OF THE FOLLOWING CONDITIONS IS MET:

- 1. THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
2. THE SEWER IS DESIGNED AND CONSTRUCTED EQUAL TO WATER PIPE AND PRESSURE TESTED TO 150 PSI TO ASSURE WATERTIGHTNESS.
3. THE APPLICANT PROVIDES DOCUMENTATION ACCOMPANYING THE PERMIT APPLICATION SHOWING THAT ANOTHER ALTERNATIVE WILL RESULT IN AN EQUIVALENT LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION.

(j) THE PROVISIONS OF PARAGRAPHS 62-604.400(2)(9)(i), F.A.C., ABOVE ARE APPLICABLE TO IN-GROUND CROSSINGS. NO VERTICAL OR HORIZONTAL SEPARATION DISTANCES ARE REQUIRED FOR ABOVE-GROUND CROSSINGS.

BOHLER ENGINEERING logo and contact information including address (2255 GLADES ROAD, SUITE 3056, BOCA RATON, FLORIDA 33431) and phone numbers (561) 571-0280.

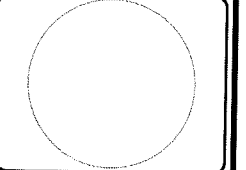
REVISIONS table with columns: REV, DATE, COMMENT, BY, DUE. Row 1: 1, 10/31/17, REV PER CITY COMMENTS, DUE.

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG logo and website URL www.callsunshine.com.

NOT APPROVED FOR CONSTRUCTION stamp with project details: PROJECT No. FL8170020, DRAWN BY: CL, CHECKED BY: CR, DATE: 08/16/17, SCALE: AS NOTED, CAD ID.: SDD.

CONSTRUCTION PLANS FOR ALDI, INC. LOCATION OF SITE: NWC OF S JOG ROAD & CHICKASAW ROAD, PALM BEACH COUNTY, GREENACRES, FLORIDA.

BOHLER ENGINEERING logo and address: 2255 GLADES ROAD, SUITE 3056, BOCA RATON, FLORIDA 33431. Phone: (561) 571-0280.

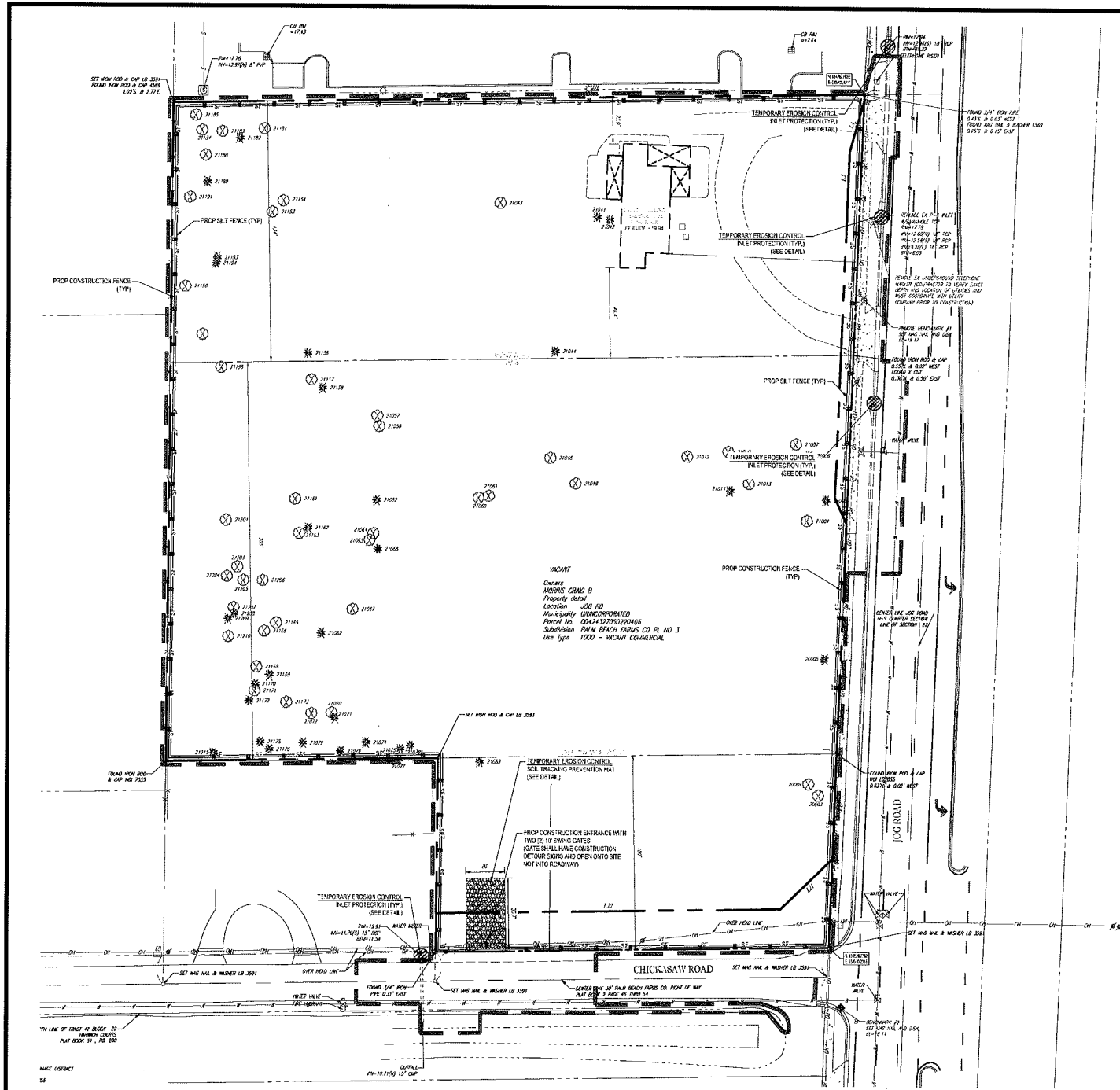


CITY OF GREENACRES

OCT 31 2017

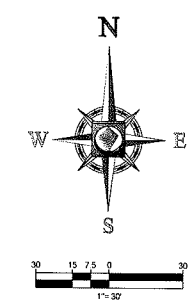
PLANNING & ENGINEERING

SHEET TITLE: GENERAL NOTES. SHEET NUMBER: C-3.



- DATUM NOTES:**
1. BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83, 1995 ADJUSTMENT.
 2. SUBJECT PROPERTY FALLS WITHIN ZONE "0" ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM), IDENTIFIED AS COMMUNITY PANEL NUMBER 1201920160A, EFFECTIVE DATE 03/01/1979.
 3. ELEVATIONS SHOWN HEREON ARE NATIONAL AMERICAN VERTICAL DATUM (NAVD 88) "SLK QWK" 118.57, PER PALM BEACH COUNTY ENGINEERING DEPT. IS THE PARENT BENCHMARK.
 4. BEARING BASE: LINE BETWEEN PALM BEACH COUNTY GPS CONTROL POINTS "LW112" AND "PH115" IS ASSUMED TO BEAR NORTH 88°58'43" EAST AND ALL BEARINGS SHOWN ON MAP ARE RELATIVE THERE TO.

VACANT
Quartz
MORRIS CRAND B
 Property detail
 Location: JOG RD
 Municipality: UNINCORPORATED
 Parcel No.: 00423220020000000000
 Subdivision: PALM BEACH (PALM BEACH CO PL NO 3)
 Use Type: 1000 - VACANT COMMERCIAL



LEGEND:

- EX PROPERTY BOUNDARY LINES
- EX ADJACENT BOUNDARY LINES
- PROP PROPERTY BOUNDARY LINES
- PROP LIMIT OF DEVELOPMENT
- EX EASEMENT LINE
- PROP SILT FENCE
- PROP SOIL TRACKING PREVENTION MAT
- PROP INLET PROTECTION

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	14.50'	S24°55'43"E
L2	151.19'	S02°10'55"W
L3	27.21'	S02°02'55"W
L4	27.00'	S18°05'42"W
L5	3.33'	S02°07'54"W
L6	355.68'	N89°03'14"E
L7	330.12'	N00°27'51"E
L8	140.04'	S89°32'14"W
L9	80.02'	N00°27'51"E
L10	177.87'	S89°32'14"W
L11	37.55'	S45°33'31"W
L12	54.25'	S02°07'04"W
L13	118.58'	S02°07'54"W

BOHLER ENGINEERING

STATE OF FLORIDA
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REVISIONS

REV	DATE	COMMENT	REV PER CITY	BY
1	10/31/17	COMMENTS		CUE

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PROJECT No: FLB170020
 DRAWN BY: CL
 CHECKED BY: CR
 DATE: 08/01/17
 SCALE: AS NOTED
 CADD: EAG

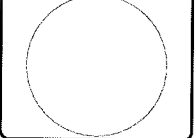
CONSTRUCTION PLANS

FOR
ALDI, INC

LOCATION OF SITE
 NWC OF S JOG ROAD
 & CHICKASAW ROAD
 PALM BEACH COUNTY
 GREENACRES, FLORIDA

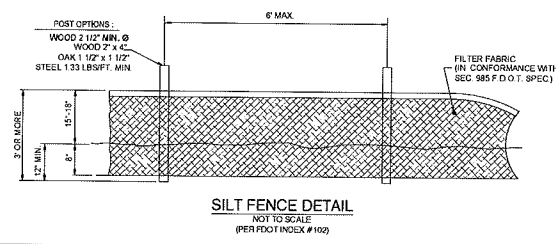
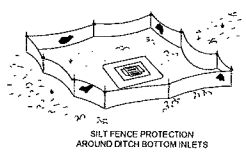
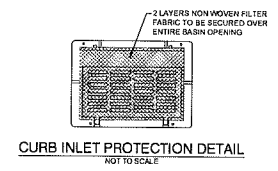
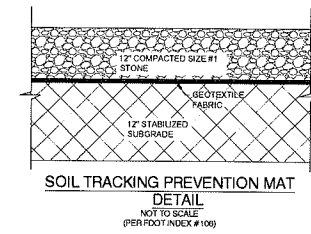
BOHLER ENGINEERING

2265 GLADES ROAD, SUITE 305E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0280
 Fax: (561) 571-0281
 FLOOD RESISTANCE CERTIFICATE NO. 0076
 LAND SURVEYING & ENGINEERING BUSINESS LIC. 14142200001



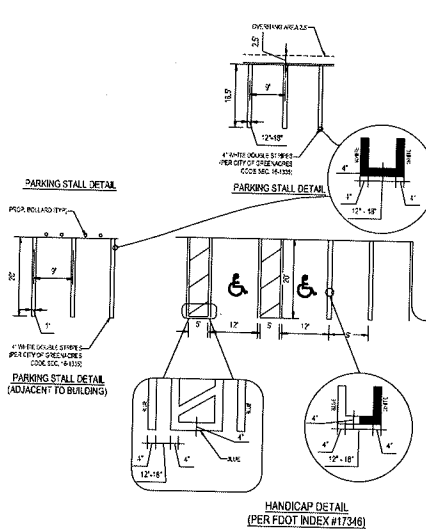
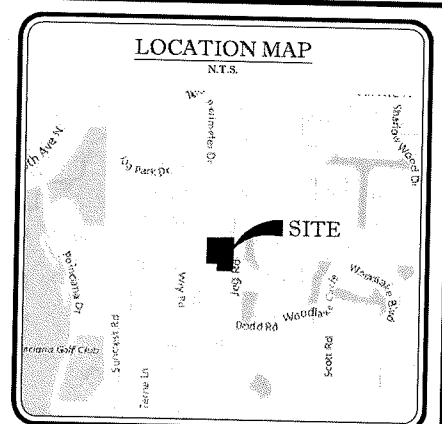
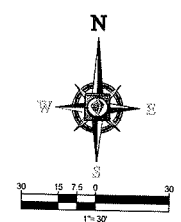
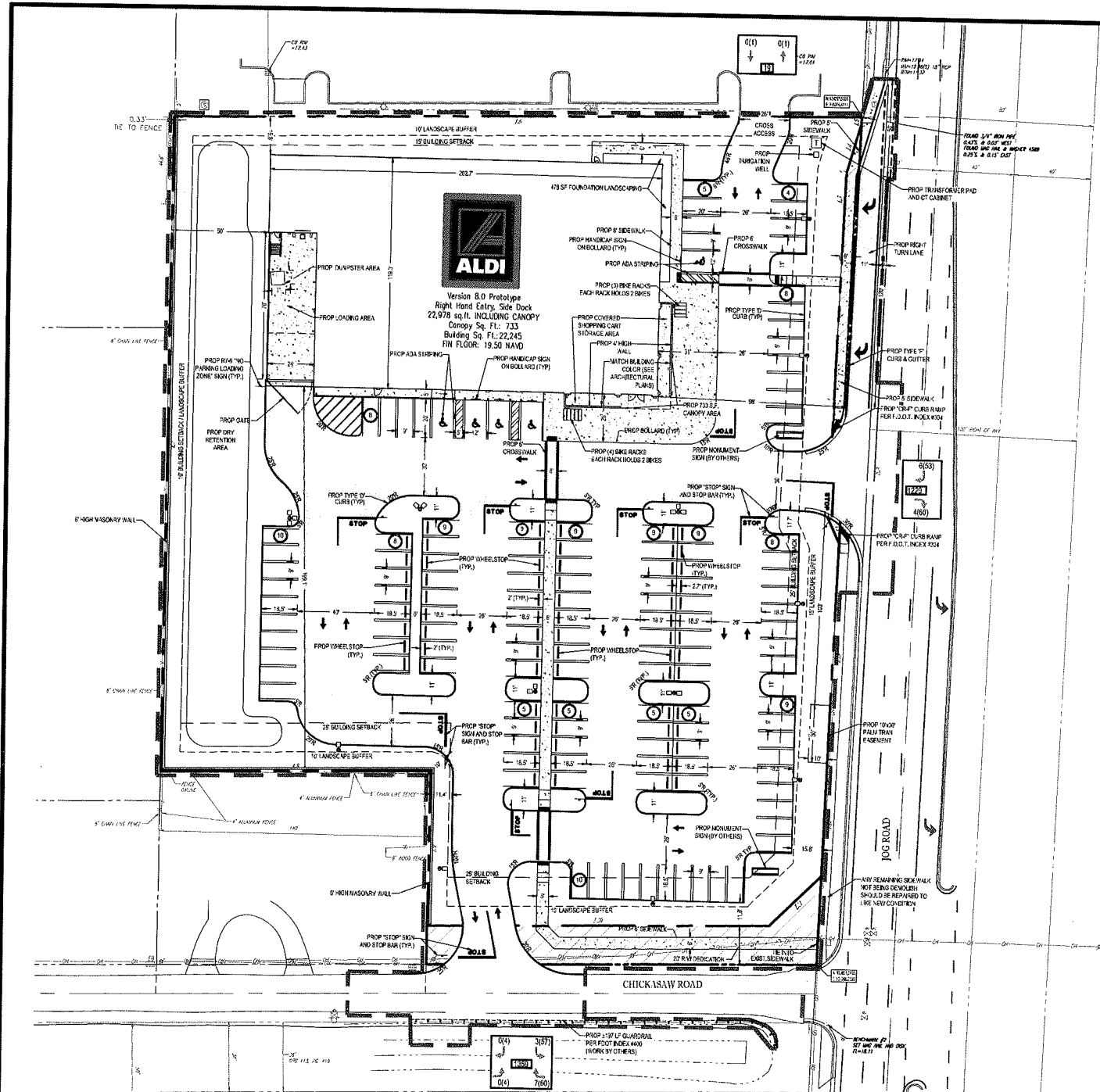
SHEET TITLE
PHASE I SOIL EROSION CONTROL PLAN

SHEET NUMBER
C-5



RECEIVED by
 CITY OF GREENACRES

OCT 31 2017



LINE TABLE

LINE #	LENGTH	DIRECTION
L1	14.50'	S24° 55' 43"E
L2	151.19'	S02° 10' 05"W
L3	27.21'	S02° 02' 05"W
L4	27.06'	S16° 06' 42"W
L5	3.31'	S02° 07' 24"W
L6	335.93'	N08° 09' 14"E
L7	339.10'	N00° 27' 51"E
L8	140.04'	S89° 03' 14"W
L9	60.02'	N00° 27' 51"E
L10	177.87'	S89° 03' 14"W
L11	37.53'	S45° 33' 31"W
L12	54.25'	S02° 07' 04"W
L13	110.56'	S02° 07' 04"W

SITE DATA:

PROPERTY OWNER: ALDI, INC.
 PARCEL ID / FOLIO NUMBERS: 09-43-43-27-05-002-0402, 09-43-43-27-05-002-0403, 09-43-43-27-05-002-0406, 18-43-43-27-05-002-0403
 ENGINEER: BOHLER ENGINEERING FL, LLC, 2355 GLADES ROAD, SUITE 300E, BOCA RATON, FL 33431, (561) 571-0280
 SITE ADDRESS: 850 JOG ROAD & CHICKASAW RD, GREENACRES, FL 33487
 HOURS OF OPERATION: MON-SAT, 9AM-8PM, SUN 10AM-7PM
 NUMBER OF EMPLOYEES: 15-20
 LIMIT OF DEVELOPMENT AREA: 101,388 SF (2.34 AC)
 EX PROJECT AREA: 132,448 SF (3.04 AC)
 RIGHT OF WAY RESERVATION: 5,683 SF (0.13 AC)
 TOTAL PROJECT AREA: 139,520 SF (3.17 AC)
 PROP IMPROVEMENTS AREA: 87,594 SF (2.00 AC) (77.97%)
 BUILDING AREA: 22,445 SF (0.51 AC)
 CANOPY AREA: 735 SF (0.02 AC)
 PAVEMENT/ASPHALT AREA: 14,185 SF (0.32 AC)
 PROP PAVEMENT AREA: 38,147 SF (0.87 AC) (27.03%)
 PROP PAVEMENT AREA: 64,500 SF (1.47 AC) (46.23%)
 MAXIMUM LOT COVERAGE (%): 20%
 PROP LOT COVERAGE (%): 16.5%
 EXISTING PROP ZONING: AR - AGRICULTURAL RESIDENTIAL OR COMMERCIAL RESIDENTIAL
 EXLAND USE: VACANT COMMERCIAL, RETAIL FOOD MARKET
 PROP LAND USE: BUILDING SETBACKS
 REQUIRED: FRONT (ROW) (SOUTH) 25 FT, FRONT (ROW) (NORTH) 10 FT, SIDE (WEST) 10 FT, REAR (NORTH) 15 FT
 PROVIDED: 189.1 FT, 90.0 FT, 10.0 FT, 19.8 FT
 LANDSCAPE BUFFERS: FRONT (ROW) (SOUTH) 10 FT, FRONT (ROW) (NORTH) 10 FT, SIDE (WEST) 10 FT, REAR (NORTH) 15 FT
 FAR (MAX): 0.30
 BUILDING HEIGHT (MAX): 25 FT, 23.0 FT
 PARKING REQUIREMENTS: FOOD MARKET/RETAIL: 22,345 S.F. (1 SPACE / 300 S.F. A) = 112 SPACES
 TOTAL REQUIRED: 112 SPACES
 TOTAL PROVIDED PARKING SPACES: 139 SPACES
 ADA PARKING STALL: 5 (12.2%)
 STANDARD PARKING STALL: 6 (5.2%)
 BICYCLE PARKING: 122 (92.8%)
 (1 BICYCLE SPACE / 70 VEHICULAR SPACES) + 7 BICYCLE SPACES PROVIDED
 *PROPOSED RIGHT OF WAY ALONG CHICKASAW ROAD ARTICLE 1 (SEC. 16-1). BUILDING HEIGHT WILL BE THE VERTICAL DISTANCE FROM A POINT 5 FEET (1.5 M) ABOVE GRADE TO HIGHEST ROOF STRUCTURE

LEGEND:

- EX PROPERTY BOUNDARY LINES
- EX ADJACENT BOUNDARY LINES
- PROP PROPERTY BOUNDARY LINES
- EX EASEMENT LINES
- PROP BUILDING SETBACK
- PROP LANDSCAPE BUFFER
- PROP TYPE "D" CURB
- PROP LIMITS OF DEVELOPMENT
- PROP SIGN
- PROP BOLLARD
- PROP HEAVY DUTY ASPHALT PAVEMENT
- PROP ASPHALT PAVEMENT
- PROP CONCRETE PAVEMENT
- PROP RIGHT-OF-WAY DEDICATION
- PROP PARKING SPACE COUNT
- PROP LIGHT POLE
- PROP TRANSFORMER PAD AND CT CABINET

SITE NOTES:

SURROUNDING EX-LAND USE, FUTURE LAND USE, ZONING DISTRICT

DIRECTION	JURISDICTION	EX-LAND USE	FUTURE LAND USE	ZONING DISTRICT
NORTH	CITY OF GREEN ACRES	VACANT COMMERCIAL	MIXED USE (M4)	MIXED DEVELOPMENT OFFICE (MDO-0)
SOUTH	CITY OF GREEN ACRES	VACANT COMMERCIAL	MIXED USE (M4)	MIXED DEVELOPMENT OFFICE (MDO-0)
WEST	PALM BEACH COUNTY	RESIDENTIAL	LOW-RESIDENTIAL (R-3)	AGRICULTURAL RESIDENTIAL (AR)
EAST	CITY OF GREEN ACRES	RESIDENTIAL	RESIDENTIAL MEDIUM DENSITY (RM-40)	RESIDENTIAL MEDIUM DENSITY (RM-40)

- ALL DIMENSIONS SHOWN ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
- ALL RADI DIMENSIONS ARE 5' TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS AND SIGNAGE WITHIN PALM BEACH COUNTY RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" - LATEST EDITION, AND PALM BEACH COUNTY TYPICAL TP-17.
- ALL SIGNS SHALL BE REVIEWED AND APPROVED BY THE CITY OF GREEN ACRES.
- THE PROPERTY SHOWN HEREON APPEARS TO BE IN FLOOD ZONE "X" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 190192, PANEL NUMBER 0100, SUFFIX A, EFFECTIVE FEBRUARY 1, 1979, FOR PALM BEACH COUNTY, FLORIDA.
- ALL PAVEMENT MARKINGS, EXCEPT PARKING STALLS, SHALL BE ALKYLID THERMOPLASTIC 90 MILS IN THICKNESS AND MUST MEET CITY OF GREEN ACRES CODE SEC. 16-1335.
- SO D TO BE INSTALLED AT THE BACK OF ALL CURBS, PAVEMENT EDGES, SWALES AND DETENTION ANS.
- IN THE EVENT THE PROJECT IS TERMINATED PRIOR TO CONSTRUCTION COMPLETION, THE PROJECT SHALL BE BROUGHT TO GRADE, SEEDING AND ALL DEBRIS AND MATERIALS SHALL BE HALLED OFF-SITE AND DUMPED AT A STATE OF FLORIDA APPROVED FACILITY.
- CONTRACTOR SHALL BE RESPONSIBLE THAT ALL ACCESSIBLE ROUTES MEET THE FLORIDA ACCESSIBILITY CODE PRIOR TO INSTALLING FINAL PAVEMENT AND CONCRETE.
- CONSTRUCTION PLAN APPROVAL, DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING THE REQUIRED BUILDING, ELECTRICAL, PLUMBING AND MECHANICAL PERMITS. THESE INCLUDE BUT ARE NOT LIMITED TO ANY STRUCTURE, SIGN, WALL, ENCLOSURE OR SCREENING, ETC.
- ALL SIGNS WILL BE REVIEWED UNDER A SEPARATE PERMIT.
- PROP HOURS OF OPERATION ARE MONDAY THROUGH SATURDAY 9AM-8PM & SUNDAY 9AM-6PM.
- ALL CONSTRUCTION AND RESTORATION WORK WITHIN PALM BEACH COUNTY RIGHT OF WAY SHALL COMPLY WITH THE LATEST EDITION OF FDOT DESIGN STANDARDS AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ADA ACCESSIBILITY NOTES:

- ALL HANDICAPPED PARKING SPACES AND ACCESSIBLE ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO THE BANKS ENTRANCE MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING SEAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON-COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.
- ALL CONSTRUCTION TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND THE FLORIDA ACCESSIBILITY CODE.

BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING, ENGINEERING, ARCHITECTURE, TRANSPORTATION, UTILITIES, SUSTAINABLE DESIGN, PERMITTING SERVICES
 OFFICES: MIAMI, FLORIDA; BOCA RATON, FLORIDA; WEST PALM BEACH, FLORIDA; PALM BEACH, FLORIDA; PALM BEACH GARDENS, FLORIDA; WEST PALM BEACH, FLORIDA; BOCA RATON, FLORIDA

REVISIONS

REV	DATE	COMMENT	BY
1	10/01/17	REV PER CITY COMMENTS	DLR

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NOT APPROVED FOR CONSTRUCTION
 PROJECT NO: FL170200
 DRAWN BY: CR
 CHECKED BY: CR
 DATE: 09/19/17
 SCALE: AS NOTED
 CADD: SPS

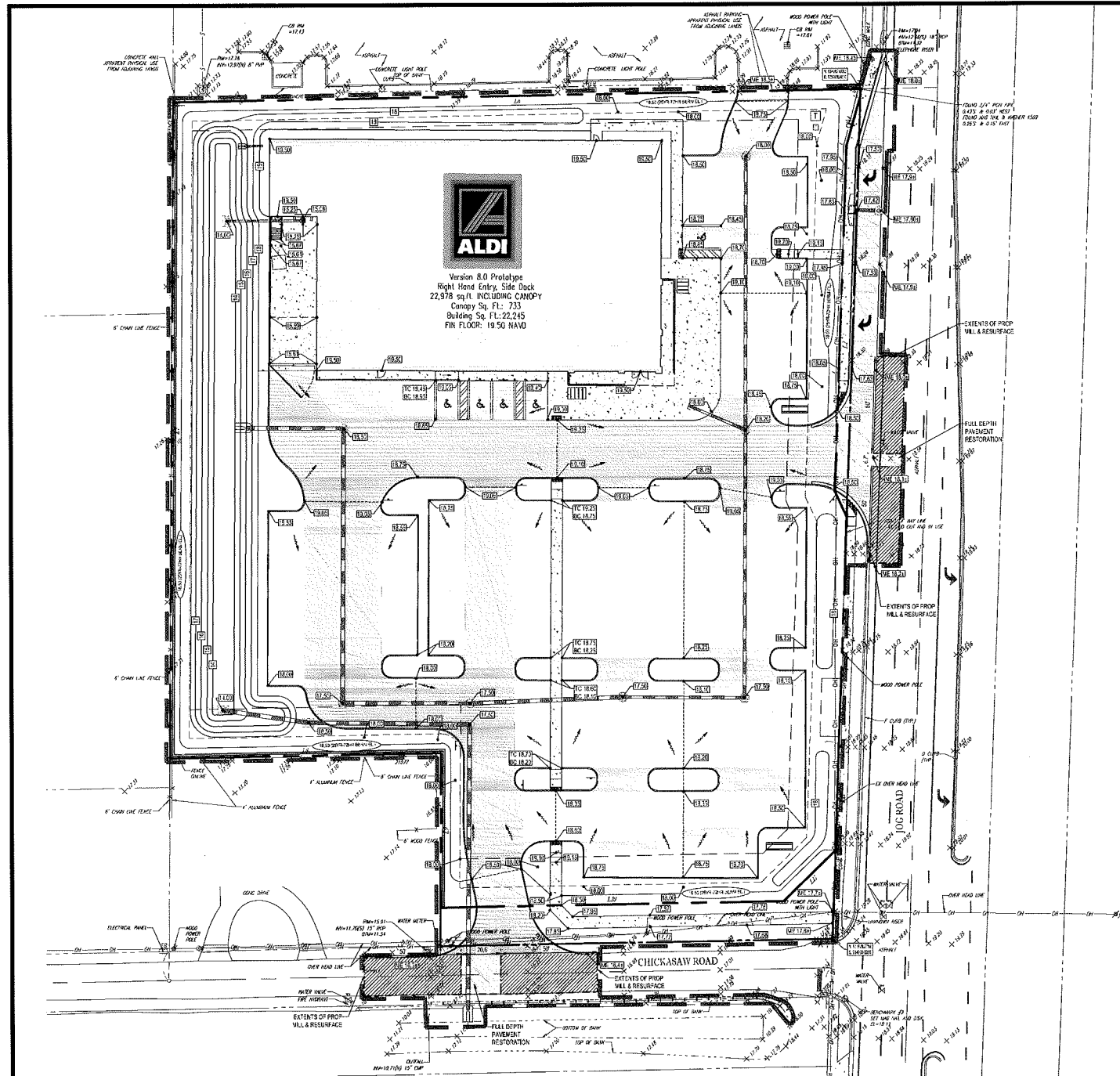
CONSTRUCTION PLANS
 FOR
ALDI, INC
 LOCATION OF SITE
 NWC OF S JOG ROAD & CHICKASAW ROAD
 PALM BEACH COUNTY
 GREENACRES, FLORIDA

BOHLER ENGINEERING
 2255 GLADES ROAD, SUITE 300E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0280
 Fax: (561) 571-0281
 FLORIDA BUSINESS REGISTRATION NO. 18030
 LICENSED PROFESSIONAL ENGINEER (CIVIL) NO. 12020

RECEIVED
CITY OF GREENACRES

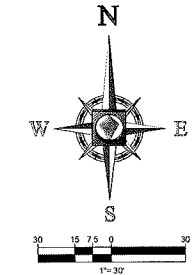
SITE PLAN
 SHEET NUMBER
C-6

OCT 31 2017



PAVING AND GRADING NOTES:

- GENERAL:
 - A. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYOR'S BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
 - B. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. "T" = TOP OF CURB ELEVATION; "B" = BOTTOM OF CURB ELEVATION (EDGE OF PAVEMENT); "M.E." = PROPOSED GRADE TO MATCH EXISTING GRADE; "M" = TOP OF RETAINING WALL ELEVATION; "BW" = BOTTOM OF RETAINING WALL ELEVATION.
 - C. THE BOUNDARY AND TOPOGRAPHIC SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
 - D. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
 - E. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMESTOCK BASE.
 - F. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
 - G. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.
 - H. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.
- MATERIALS:
 - A. BASE COURSE SHALL BE PER F.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" SECTIONS 203 & 211. LIMESTOCK BASE THICKNESS TO BE 6" MIN FOR STANDARD CONSTRUCTION AND 8" MIN FOR HEAVY DUTY CONSTRUCTION WITH MIN. U.S. 100 PERFORMED IN TWO LIFTS MAX. 4" LIFTS UNLESS OTHERWISE SPECIFIED.
 - B. ASPHALT SURFACES SHALL BE TYPE S-II ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, AND SHALL BE A MINIMUM OF 1-1/2" THICK AND CONSTRUCTED IN TWO 3/4" LIFTS, WITH TACK COAT BETWEEN LIFTS, UNLESS OTHERWISE SPECIFIED.
 - C. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS 1 CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 6 GAUGE WIRE MESH.
- INSTALLATION:
 - A. SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (ASHFOT T-99) TO A MIN. 12" AND SHALL HAVE A MINIMUM U.S. 100 STABILITY OF 100, UNLESS OTHERWISE INDICATED (OR U.S. 100).
 - B. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 6" PLACED IN ONE LIFT. BASE COURSE MATERIAL SHALL HAVE A MINIMUM MARSHALL STABILITY OF 100, UNLESS OTHERWISE INDICATED (OR U.S. 100).
 - C. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER ASHFO T-99.
 - D. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-II ASPHALTIC CONCRETE OR THE LATEST REVISION.
- TESTING:
 - A. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE, ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
 - B. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE ORIENTED BY THE ENGINEER.
 - C. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
 - D. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
 - E. DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.



LEGEND:

- EX PROPERTY BOUNDARY LINES
- EX ADJACENT BOUNDARY LINES
- PROP PROPERTY BOUNDARY LINES
- EX STORM SEWER
- EX SPOT GRADE
- PROP LIMITS OF DEVELOPMENT
- PROP SPOT GRADE
- PROP STANDARD DUTY CONCRETE PAVEMENT
- PROP SOIL BORING LOCATION (REFER TO GEOTECH REPORT)
- PROP DRAINAGE ARROW
- PROP RIDGE LINE
- PROP DRAINAGE PIPE
- PROP EXFILTRATION TRENCH
- PROP STORM STRUCTURE
- PROP HEAVY DUTY ASPHALT PAVEMENT
- PROP ASPHALT PAVEMENT
- EXTENTS OF MILL AND OVERLAY

ALDI PAVING AND GRADING NOTES:

- Asphalt shall be the type or types specified on the drawings. If no type is indicated the contractor shall use a mix specified by the appropriate Florida Department of Transportation for top and binder. All asphalt shall be produced in state approved plants with state approved products.
- Asphalt will only be placed when the outside temperature is 45 degrees F and rising. Asphalt will never be placed on frozen material, during medium or heavy precipitation or when preceding precipitation has saturated the subgrade and/or subgrade.
- Surfaces that will be new asphalt shall be tack coated prior placement of asphalt including curbs, gutters, existing asphalt and structures. Tack coat shall be applied evenly to match the lines and grades of the proposed existing asphalt at a rate of 20 to 15 gallons per square yard.
- Asphalt shall be placed in layers equal to those specified on the plans. Thickness of each layer or the thickness of all layers combined shall not vary more than 1/4 inch for thickness of 4 inches and shall be subject to repair, replacement or reasonable compensation of which the contractor will bear all costs. The asphalt shall also be tested for smoothness by laying a 15 foot straight edge on the pavement and verifying that there are no gaps greater than 1/4 inch in any direction.
- Placement and compaction requirements shall be the same as those specified by the Florida Department of Transportation. The rolling shall be done in such a manner that will match joints and give a smooth uniform surface, while providing the proper compaction, which will be 98% of laboratory density.
- When matching into existing pavement all match joints shall be saw cut to provide a straight smooth joint. The asphalt depth at the match joint shall be equal to that of the proposed or existing which ever is greater.
- Paving equipment shall be of good condition and quality. Asphalt shall be placed by mechanical equipment except on small areas that are inaccessible to a paver. Asphalt shall be transported in covered trucks and stockpiled in such a manner that will maintain asphalt temperature. Asphalt shall be rejected when temperatures fall below 250 degrees F or the minimum temperatures specified by the State Department of Transportation.

GENERAL NOTES:

- CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CASTING STRUCTURES.
- COORDINATE ALL UTILITY LEADS AND BUILDING CONNECTIONS WITH THE ARCHITECTURAL PLANS.
- STANDARD INDEXES REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS".
- ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY WILL NEED TO BE SEEDDED.
- ANY SIDEWALK THAT IS DAMAGED OR BROKEN DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- ALL CONSTRUCTION AND RESTORATION WORK WITHIN PALM BEACH COUNTY RIGHT OF WAY SHALL COMPLY WITH THE LATEST EDITION OF FOOT DESIGN STANDARDS AND THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ANY DAMAGE TO PBC - TRAFFIC FACILITIES CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITIONS AT NO COST TO PALM BEACH COUNTY.
- PALM BEACH COUNTY RESERVES THE RIGHT TO DETERMINE IF DAMAGED FACILITIES WILL BE REPAIRED OR REPLACED.
- PBC-TRAFFIC'S CONTACT IS: ROD FRIEDEL, PHONE 561-691-4371.
- EXISTING SITE DRAINAGE SYSTEM TO REMAIN SHALL BE CLEANED TO ENSURE EFFICIENT OPERATION. EXISTING STORM PIPES NOT IN USE SHALL BE REMOVED.

LINE #	LENGTH	DIRECTION
L1	14.50	024° 55' 43"E
L2	151.19	502° 10' 05"W
L3	27.21	502° 02' 05"W
L4	27.02	516° 00' 42"W
L5	3.33	502° 07' 04"W
L6	355.89	N08° 03' 14"E
L7	339.12	N00° 27' 51"E
L8	140.04	S89° 03' 14"W
L9	80.02	N00° 27' 51"E
L10	177.87	S89° 03' 14"W
L11	37.53	S45° 33' 31"W
L12	54.29	502° 07' 05"W
L13	118.98	502° 07' 05"W

DATUM NOTES:

- BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83, 1980 ADJUSTMENT.
- SUBJECT PROPERTY FALLS WITHIN ZONE "B" ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM), IDENTIFIED AS COMMUNITY PANEL NUMBER 120182016A, EFFECTIVE DATE: 02/01/1979.
- ELEVATIONS SHOWN HEREON ARE NATIONAL AMERICAN VERTICAL DATUM (NAVD 88) "BLK OAK" 116.57, PER PALM BEACH COUNTY ENGINEERING DEPT. IS THE PARENT BENCHMARK.
- BEARINGS BASE: LINE BETWEEN PALM BEACH COUNTY GPS CONTROL POINTS "LW-17" AND "PHYLLIS" IS ASSUMED TO BEAR NORTH 88° 56' 43" EAST AND ALL BEARINGS SHOWN ON MAP ARE RELATIVE THERETO.

25 YEAR - 72 HOUR PERIMETER
GRADE ELEVATION = 18.50'

BOHLER ENGINEERING

STATE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
SUSTAINABLE DESIGN

REGISTERED PROFESSIONAL ENGINEER
NO. 14284
EXPIRES 12/31/2018

REGISTERED PROFESSIONAL SURVEYOR
NO. 14284
EXPIRES 12/31/2018

REGISTERED PROFESSIONAL ARCHITECT
NO. 14284
EXPIRES 12/31/2018

REGISTERED PROFESSIONAL ELECTRICAL ENGINEER
NO. 14284
EXPIRES 12/31/2018

REGISTERED PROFESSIONAL MECHANICAL ENGINEER
NO. 14284
EXPIRES 12/31/2018

REGISTERED PROFESSIONAL PLUMBING ENGINEER
NO. 14284
EXPIRES 12/31/2018

REGISTERED PROFESSIONAL CHEMICAL ENGINEER
NO. 14284
EXPIRES 12/31/2018

REGISTERED PROFESSIONAL INDUSTRIAL ENGINEER
NO. 14284
EXPIRES 12/31/2018

REV	DATE	COMMENT	BY
1	10/31/17	REV PER CITY COMMENTS	JRE

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PROJECT No. FLB170022
DRAWN BY: CL
CHECKED BY: CR
DATE: 09/19/17
SCALE: AS NOTED
CAD ID: GPC

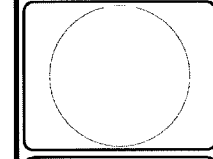
PROJECT
CONSTRUCTION PLANS

FOR
ALDI, INC

LOCATION OF SITE:
NWC OF S JOG ROAD
& CHICKASAW ROAD
PALM BEACH COUNTY
GREENACRES, FLORIDA

BOHLER ENGINEERING

2285 GLADES ROAD, SUITE 308E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA LICENSED CIVIL ENGINEER NO. 14284
FLORIDA LICENSED SURVEYOR NO. 14284



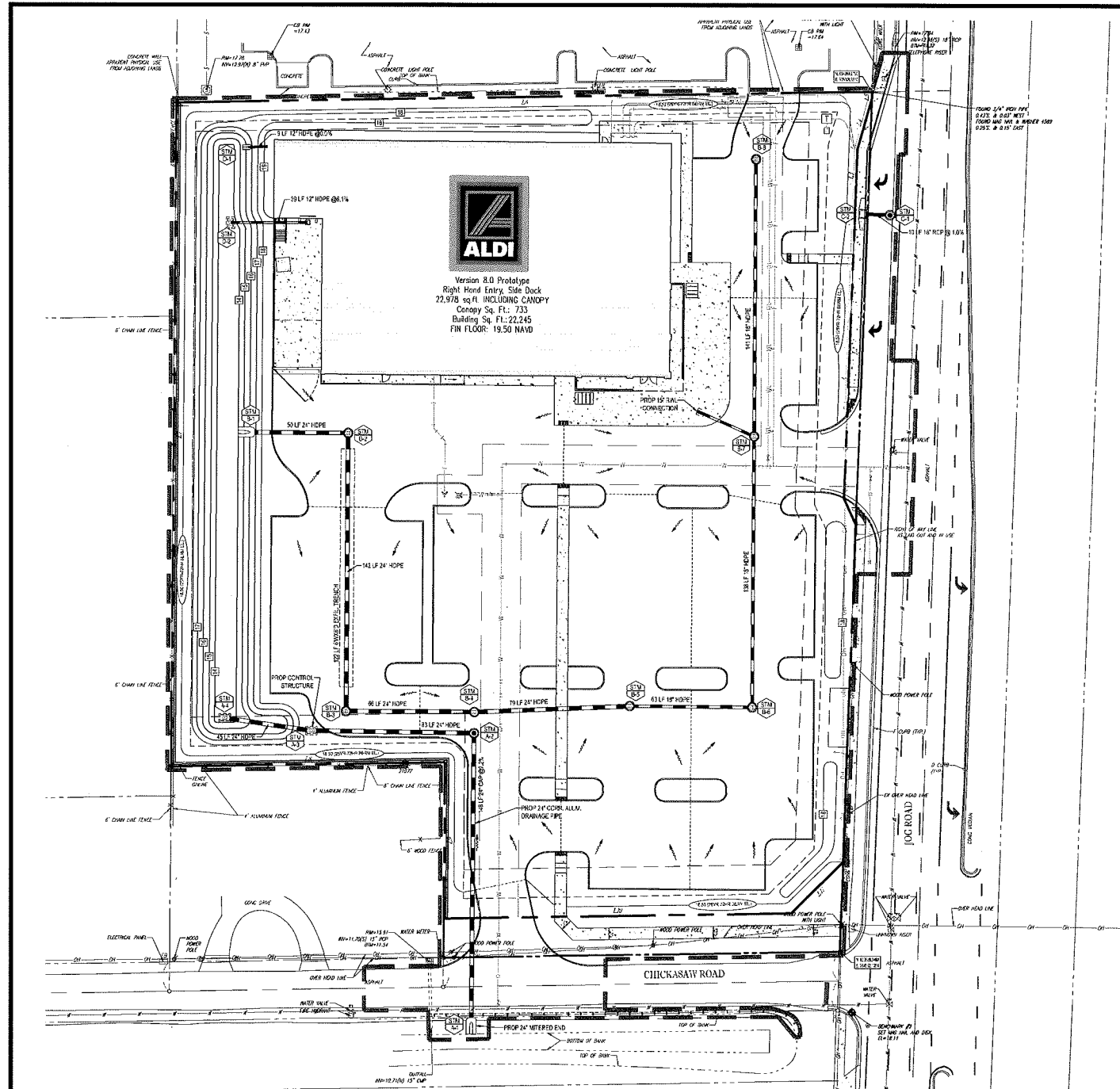
SHEET TITLE
PAVING & GRADING PLAN

SHEET NUMBER
C-7

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OCT 31 2017

PLANNING & ENGINEERING

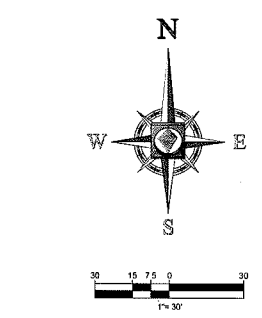


STORM DRAINAGE NOTES:

- GENERAL:
 - DISTANCES AND LENGTHS OF PIPE SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES
- MATERIALS:
 - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM C-76, CLASS II, WALL THICKNESS "B" LATEST REVISION. RUBBER GASKETS OR OTHER MANUFACTURER SUPPLIED JOINT SEALER SHALL BE USED.
 - ALL PVC DRAINAGE PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SCH 35, WITH PUSH-ON RUBBER GASKET JOINTS.
 - ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-284 LATEST REVISIONS. ALL PIPING TO BE NON-PERFORATED TUBING.
 - PROPOSED "GRATE INLETS" SHALL BE STANDARD FOOT TYPE "C" DITCH BOTTOM INLETS, PER FOOT INDEX #232
- INSTALLATION:
 - PIPE SHALL BE PLACED ON A MINIMUM OF 8 INCHES STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
 - BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED IN LAYERS NOT TO EXCEED 6 INCHES TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS.
 - PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.

DATUM NOTES:

- BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83, 1990 ADJUSTMENT.
- SUBJECT PROPERTY FALLS WITHIN ZONE "B" ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM), IDENTIFIED AS COMMUNITY PANEL NUMBER 1201920160A, EFFECTIVE DATE 02/01/1975.
- ELEVATIONS SHOWN HEREON ARE NATIONAL AMERICAN VERTICAL DATUM (NAVD 88) "SLX OAK" 116.57, PER PALM BEACH COUNTY ENGINEERING DEPT. IS THE PARENT BENCH MARK.
- BEARING BASE: LINE BETWEEN PALM BEACH COUNTY GPS CONTROL POINTS "LW-12" AND "TRYPHILIS" IS ASSUMED TO BEAR NORTH 89°54'43" EAST AND ALL BEARINGS SHOWN ON MAP ARE RELATIVE THERETO.



LEGEND:

- EX PROPERTY BOUNDARY LINES
- - - EX ADJACENT BOUNDARY LINES
- PROP PROPERTY BOUNDARY LINES
- - - PROP LIMIT OF DEVELOPMENT
- EX STORM WATER LINE
- - - EX OVERHEAD LINE
- EX WATER LINE
- - - PROP SANITARY LINE
- PROP SANITARY LATERAL
- - - PROP WATER LINE
- PROP WATER SERVICE
- - - PROP ELECTRIC LINE
- PROP OVERHEAD WIRE
- - - PROP STORM SEWER
- PROP EXFILTRATION TRENCH
- - - EX STORM STRUCTURES
- PROP STORM STRUCTURES

STORM STRUCTURE SCHEDULE				
NAME	STRUCTURE BOTTOM	STRUCTURE TOP	RIM ELEV.	INVERTS
A-1	24" MITERED END SECTION	NA	NA	INV (N) = 10.30' (24) INV (S) = 13.50' (24)
A-2	48" CIRCULAR FDOT TYPE "P"	MANHOLE USF 420-C	17.50	INV (N) = 13.50' (24) INV (W) = 13.50' (24)
A-3	FDOT TYPE "E" DITCH BOTTOM INLET	GRATE INLET USF 5220	18.50	INV (E) = 13.50' (24) INV (W) = 11.00' (24)
A-4	FDOT TYPE "E" DITCH BOTTOM INLET	GRATE INLET USF 5220	14.00	INV (E) = 11.00' (24)
B-1	24" MITERED END SECTION	NA	NA	INV (E) = 14.00' (24)
B-2	48" CIRCULAR FDOT TYPE "P"	GRATE INLET USF 5130-6168	18.50	INV (N) = 14.00' (24) INV (S) = 13.50' (24)
B-3	48" CIRCULAR FDOT TYPE "P"	GRATE INLET USF 5130-6168	17.50	INV (N) = 13.50' (24) INV (E) = 13.50' (24)
B-4	48" CIRCULAR FDOT TYPE "P"	GRATE INLET USF 5130-6168	17.50	INV (W) = 13.50' (24) INV (E) = 13.50' (24)
B-5	48" CIRCULAR FDOT TYPE "P"	GRATE INLET USF 5130-6168	17.50	INV (W) = 13.50' (24) INV (S) = 14.00' (18)
B-6	48" CIRCULAR FDOT TYPE "P"	GRATE INLET USF 5130-6168	17.50	INV (W) = 14.00' (18) INV (N) = 14.00' (18)
B-7	48" CIRCULAR FDOT TYPE "P"	GRATE INLET USF 5130-6168	18.20	INV (S) = 14.00' (18) INV (N) = 14.00' (18) INV (NW) = 14.00' (15)
B-8	48" CIRCULAR FDOT TYPE "P"	GRATE INLET USF 5130-6168	18.00	INV (S) = 14.00' (18)
C-1	48" CIRCULAR FDOT TYPE "P"	MANHOLE USF 420-C	17.80	INV (W) = 12.80' (18)
C-2	42"x42" SQUARE FOOT TYPE "P"	FDOT TYPE "P"	17.42	INV (E) = 12.90' (18)
D-1	12" MITERED END SECTION	NA	NA	INV (E) = 15.50' (12)
D-2	FDOT TYPE "C" DITCH BOTTOM INLET	GRATE INLET USF 6611	14.00	INV (E) = 12.00' (12)

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	14.50'	S24° 55' 43"E
L2	151.19'	S02° 10' 05"W
L3	27.21'	S02° 02' 05"W
L4	27.06'	S18° 20' 42"W
L5	3.33'	S02° 27' 04"W
L6	359.80'	N80° 03' 14"E
L7	338.10'	N00° 27' 51"E
L8	140.04'	S80° 03' 14"W
L9	80.02'	N00° 27' 51"E
L10	177.87'	S80° 03' 14"W
L11	37.53'	S45° 33' 31"W
L12	54.25'	S02° 27' 04"W
L13	118.56'	S02° 27' 04"W

- GENERAL NOTES:**
- ALL CONSTRUCTION AND RESTORATION WORK WITHIN PALM BEACH COUNTY RIGHT WAY SHALL COMPLY WITH THE LATEST EDITION OF FDOT DESIGN STANDARDS AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - ANY DAMAGE TO PBC TRAFFIC ITS FACILITIES CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITIONS AT NO COST TO PALM BEACH COUNTY.
 - PALM BEACH COUNTY RESERVES THE RIGHT TO DETERMINE IF DAMAGED FACILITIES WILL BE REPAIRED OR REPLACED.
 - PBC TRAFFIC ITS CONTACT IS: ROD FRIEDEL, PHONE: 561-481-4371
 - EXISTING SITE DRAINAGE SYSTEM TO REMAIN SHALL BE CLEANED TO ENSURE EFFICIENT OPERATION. EXISTING STORM PIPES NOT IN USE SHALL BE REMOVED.

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 3115 W. PALM BEACH BLVD., SUITE 100
 BOCA RATON, FL 33431
 (561) 571-0280
 FAX: (561) 571-0281
 FLORENCE BUSINESS CENTER OF BOCA RATON, FL 33431
 LAND SURVEYING, CIVIL ENGINEERING, ARCHITECTURE, INTERIOR DESIGN, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	BY
1	10/31/17	REV PER CITY COMMENTS	DJE

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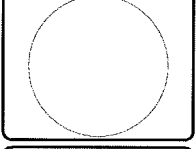
NOT APPROVED FOR
CONSTRUCTION

PROJECT NO: FLB170020
 DRAWN BY: CR
 CHECKED BY: BR511
 DATE: 08/01/17
 SCALE: AS NOTED
 CAD ID: UPS

PROJECT
CONSTRUCTION PLANS
 FOR
ALDI, INC

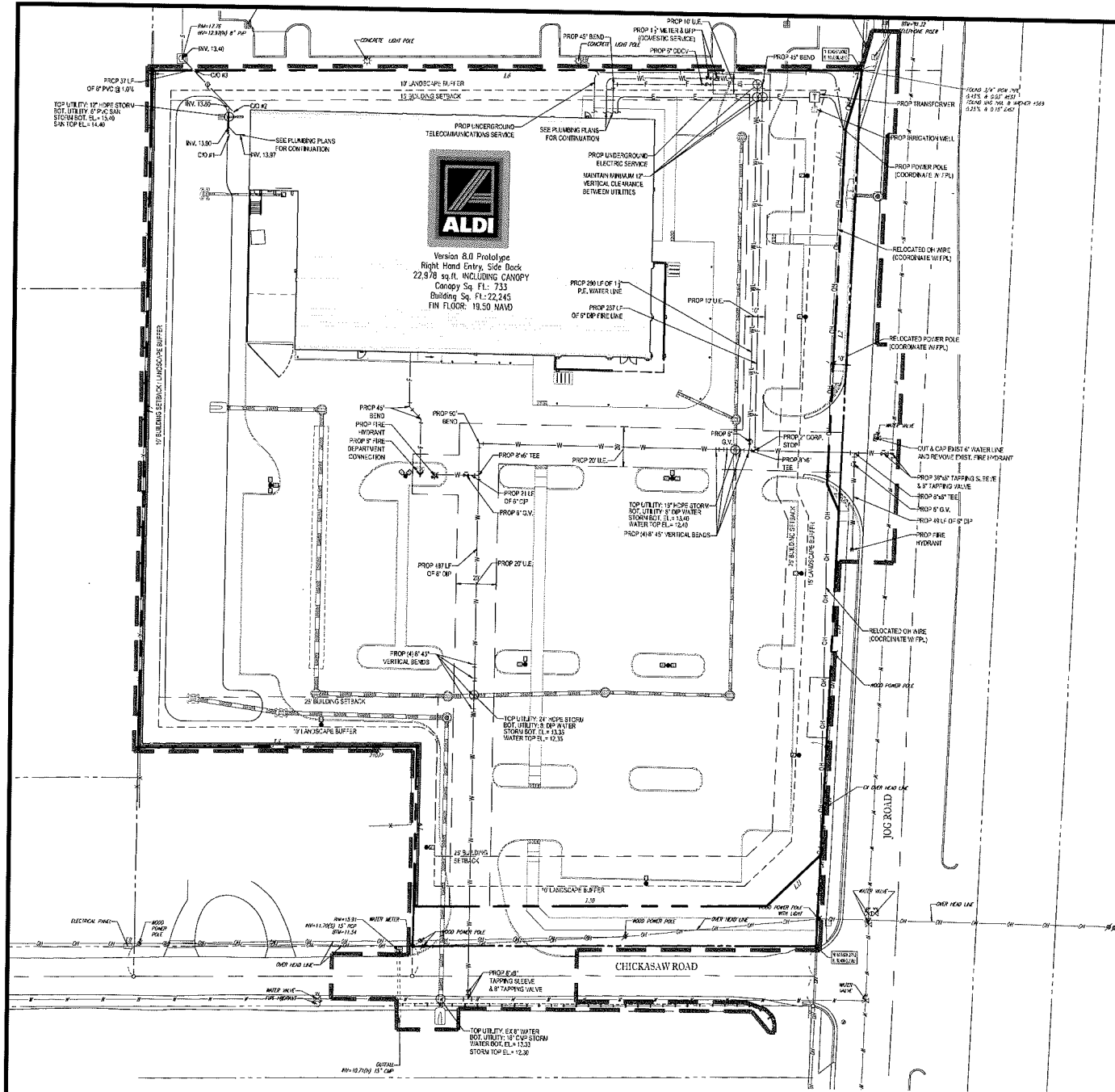
LOCATION OF SITE
 NWC OF S JOG ROAD
 & CHICKASAW ROAD
 PALM BEACH COUNTY
 GREENACRES, FLORIDA

BOHLER ENGINEERING
 2265 GLADES ROAD, SUITE 305E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0280
 Fax: (561) 571-0281
 FLORENCE BUSINESS CENTER OF BOCA RATON, FL 33431
 LANDSCAPE ARCHITECTURE LICENSE NO. 1412000001



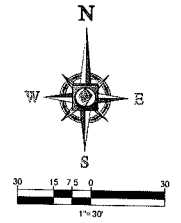
SHEET TITLE
DRAINAGE PLAN

SHEET NUMBER
C-8



SANITARY CLEANOUT SCHEDULE:

CO-1 RIM ELEV. AT GRADE E. = 13.48	CO-2 RIM ELEV. AT GRADE E. = 13.48
SD-1 (2" PVC) RIM ELEV. AT GRADE E. = 13.48	



LEGEND:

- EX PROPERTY BOUNDARY LINES
- EX ADJACENT BOUNDARY LINES
- PROP PROPERTY BOUNDARY LINES
- PROP LIMITS OF DEVELOPMENT
- EX STORM WATER LINE
- EX SANITARY SEWER LINE
- PROP UTILITY EASEMENT
- PROP SANITARY LINE
- PROP SANITARY LATERAL
- PROP WATER LINE
- PROP WATER SERVICE
- PROP ELECTRIC LINE
- PROP STORM SEWER
- PROP EXFILTRATION TRENCH
- PROP STORM STRUCTURES

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	14.50'	S24° 55' 43"E
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L3	27.21'	S02° 02' 05"W
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L12	54.25'	S02° 07' 04"W
L13	118.56'	S02° 07' 04"W

GENERAL NOTES:

- ALL CONSTRUCTION AND RESTORATION WORK WITHIN PALM BEACH COUNTY RIGHT WAY SHALL COMPLY WITH THE LATEST EDITION OF FOOT DESIGN STANDARDS AND THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- THERE IS PRE-TRAFFIC BUREAU OF PUBLIC UTILITIES ALONG THE SOUTH SIDE OF LAKE NORTH ROAD AND ALONG THE WEST SIDE OF JOG ROAD WITHIN THE LIMITS OF THE PROJECT. ANY DAMAGE TO PRE-TRAFFIC FACILITIES CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITIONS AT NO COST TO PALM BEACH COUNTY.
- PALM BEACH COUNTY RESERVES THE RIGHT TO DETERMINE IF DAMAGED FACILITIES WILL BE REPAIRED OR REPLACED.
- PRE-TRAFFIC CONTRACTOR'S BOND NUMBER: PHONE: 561-481-4371
- EXISTING SITE DRAINAGE SYSTEM TO REMAIN SHALL BE CLEANED TO ENSURE EFFICIENT OPERATION. EXISTING STORM PIPES NOT IN USE SHALL BE REMOVED.

WATER DISTRIBUTION NOTES:

- CONTRACTOR SHALL FOLLOW GUIDELINES AND PROCEDURES OUTLINED BY UTILITY PROVIDER, AND MAKE UTILITY PROVIDER'S MANUAL ON-SITE AT ALL TIMES. THE PROJECT MANUAL SHALL BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS AS IT PERTAINS TO APPROVED MATERIALS, INSTALLATION METHODS, INSPECTION, NOTIFICATION AND AS-BUILT/PROJECT CLOSURE REQUIREMENTS.
- ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-28 LATEST REVISIONS. ALL PIPING TO BE NON-PERFORATED TUBING.

SANITARY SEWER NOTES:

- GENERAL:
 - DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURES.
 - PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR TO TELEPHONE EXISTING SANITARY SEWER LINE FROM POINT OF CONNECTION THROUGH THE NEXT SEQUENTIAL DOWNSTREAM 60' OF PIPE. ADDITIONALLY, PRIOR TO COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL TELEPHONE THE NEWLY INSTALLED SANITARY SEWER MAIN TO ENSURE NO DIPS OR DEEPS WITHIN LINE.
- MATERIALS:
 - ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLY(VINYL CHLORIDE) (PVC) PIPE CONFORMING TO ASTM D 3034, SIZE 24" WITH FLANGE OR FLANGE JOINTS.
 - ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUALS.
 - ALL SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE A LID THAT IS HOI LOADING.
- INSTALLATION:
 - PIPE AND FITTINGS:
 - SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2231, AND THE UN-ULB PLASTICS PIPE ASSOCIATION'S RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE.
 - BEARING AND INITIAL BACKFILL (12 INCHES OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK, LARGER THAN 1/4" DIAMETER, OR ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSATURATED BEDDING EXISTS. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 1/4" DIAMETER.
 - CLEANOUTS:
 - CLEANOUTS SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM CLEAN SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE.
 - ALL OPENINGS AND JOINTS SHALL BE SEALED WATER-TIGHT.
 - SERVICE:
 - MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE 1/800.
 - EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.
 - CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
 - TESTING:
 - AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
 - AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.
 - SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO-HOUR TEST PERIOD FOR ANY SECTION TESTED. NO WATER LEAKAGE SHALL BE ALLOWED.
 - CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO THE CERTIFICATION TO ANY AGENCY.
 - GENERAL CONTRACTOR SHALL EMPLOY AN INDEPENDENT INSPECTOR FOR 100% CONTINUOUS INSPECTION OF THE BEARING AND BACKFILL OPERATION. CONSTRUCTION TESTS SHALL BE TAKEN AT THE BOTTOM OF TRENCH AND AT EACH LIFT OF BACKFILL.
 - GENERAL CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR AS BUILT FOR PIPE ELEVATIONS TAKEN WHEN BEARING OPERATION IS 75% COMPLETE. THESE ELEVATIONS SHALL BE TAKEN AT POINTS OF CONNECTION, CHANGES IN DIRECTION AND AT MINIMUM 20' INTERVALS ALONG THE LENGTH OF THE PIPE. THESE ELEVATIONS SHALL BE RECORDED AS AS-BUILT DIMENSIONS ON SITE PLAN REVIEW BY PROJECT ENGINEER.
 - ALL SANITARY LINES ARE TO BE FLUSHED PRIOR TO CONTRACTOR TURN-OVER OF THE FACILITY.

DATUM NOTES:

- BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM EAST ZONE NAD83, 1985 ADJUSTING.
- SUBJECT PROPERTY FALLS WITHIN ZONE "B" ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM), IDENTIFIED AS COMMUNITY PANEL NUMBER 12010010A, EFFECTIVE DATE: 02/01/1979.
- ELEVATIONS SHOWN HEREON ARE NATIONAL AMERICAN VERTICAL DATUM (NAVD 88) "BULK CONCRETE" PER PALM BEACH COUNTY ENGINEERING DEPT. IS THE PARENT BENCHMARK.
- BEARING BASE LINE BETWEEN PALM BEACH COUNTY GPS CONTROL POINTS "11W-12" AND "11W-13" IS ASSUMED TO BEAR NORTH 88° 56' 41" EAST AND ALL BEARINGS SHOWN ON MAP ARE RELATIVE THERETO.

NOTE: ALL SEWER LATERALS TO BE PRIVATELY OWNED AND MAINTAINED

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 COMMUNITY DEVELOPMENT
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REVISIONS

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1	10/2/17	REV PER CITY COMMENTS	DIE

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PROJECT NO: FL170000
 DRAWN BY: CL
 CHECKED BY: CR
 DATE: 06/15/17
 SCALE: AS NOTED
 CADD: LPS

CONSTRUCTION PLANS
 FOR
ALDI, INC

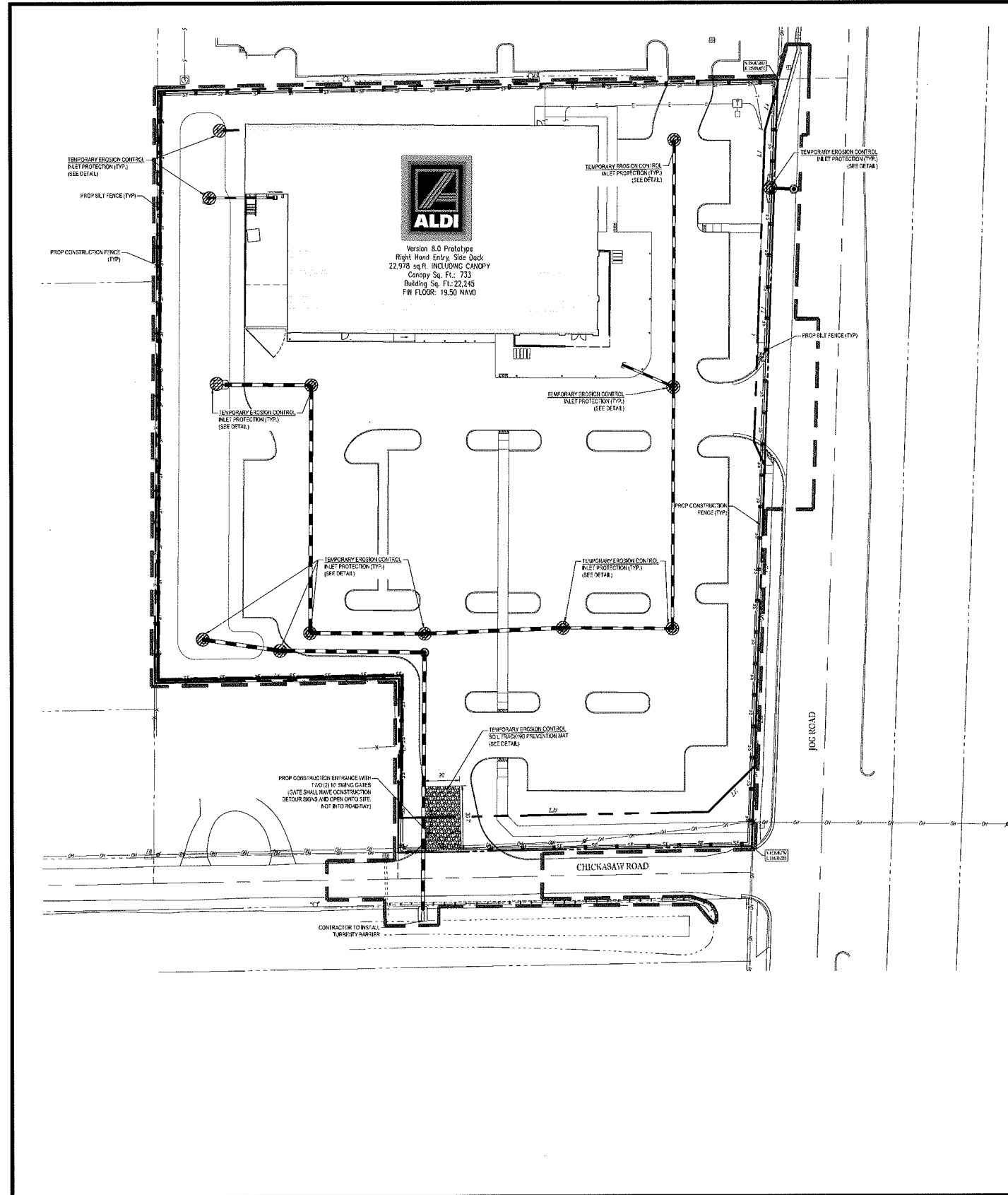
LOCATION OF SITE
 NWC OF S JOG ROAD
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 PALM BEACH COUNTY
 GREENACRES, FLORIDA

BOHLER ENGINEERING
 2265 GLADES ROAD, SUITE 305E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0280
 Fax: (561) 571-0281
 FLORIDA BUSINESS CERT. OF REG. NO. 33786
 LICENSE ARCHITECT NUMBER 16,312,000,001

UTILITY PLAN

SHEET NUMBER
C-9

WUD # 16-527

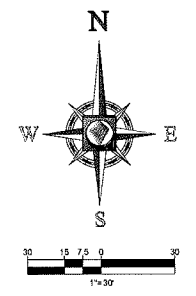


MAINTENANCE NOTES:

- N.P.D.E.S. PERMIT COMPLIANCE REQUIRES INSPECTIONS EVERY 7 CALENDAR DAYS BY AN NPDES QUALIFIED INSPECTOR AND PERIODIC INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL EVENT OF 0.2 INCHES OR GREATER. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR ROUTINE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS FURTHER MAINTENANCE AS OUTLINED BELOW
- THROUGHOUT THE CONSTRUCTION PERIOD ALL MUDSILT TRACKED ONTO EXISTING FOOT ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
 - CATCH BASIN INLET AND CONCRETE FLUME FILTERS SHALL BE MAINTAINED CLEAN AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. WEEKLY INSPECTIONS WILL BE PERFORMED EVERY 7 CALENDAR DAYS. IF A FILTER HAS HOLES OR IS INUNDATED WITH SEDIMENT, THE FILTER WILL REQUIRE REPLACEMENT.
 - CONSTRUCTION ACCESS AND TRACKING MAT MUST BE MAINTAINED AS NECESSARY. REPLENISH CRUSHED AGGREGATE IF PRESENT LAYER IS FILLED WITH SEDIMENT, POOLING WATER OR HAS RUTS. A NEW LAYER MAY BE ADDED IF OLD LAYERS BECOME COMPACTED.
 - SILT FENCE IS TO BE INSPECTED DAILY BY CONTRACTOR AND EVERY 7 CALENDAR DAYS BY NPDES QUALIFIED INSPECTOR. IF REPAIRS OR REPLACEMENT IS NECESSARY, IT SHALL BE PERFORMED IMMEDIATELY. THE SILT FENCE SHOULD BE TRENCHED IN, BACK FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVAL OF BUILT-UP SEDIMENT. WHEN THE SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE FENCE, CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR REBRACKLE THE FENCE IF IT FAILS. IT WOULD ALSO BE NECESSARY TO REINSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
 - SEEDING OR RESEEDING MAY BE REQUIRED IMMEDIATELY TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
 - REMOVE ANY VISIBLE SEDIMENT FROM THE POND BOTTOM TO KEEP THE BASIN DESIGNED INFILTRATION PERFORMANCE.
 - THE CONTRACTOR SHALL CONTINUOUSLY ENSURE THAT THE PERIMETER OF THE SITE INCLUDING CONSTRUCTION ENTRANCES IS SECURED FROM ALLOWING DEBRIS TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RAINFALL EVENTS. A WEEKLY LOG SHALL BE UPDATED AND KEPT ON SITE IN ACCORDANCE WITH THE NPDES PERMIT BY BIDDING DOCUMENTS. CONTRACTOR ACKNOWLEDGES HE/SHE IS AWARE OF NPDES GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBILITY FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.

POLLUTION PREVENTION NOTES:

- EROSION AND SEDIMENT CONTROL BMP'S IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFF SITE STORMWATER CANALS, WATERS OR RECEIVING WATERS. ON SITE WETLANDS AND SURFACE WATERS BMP'S SHALL BE DESIGNED, INSTALLED AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. (THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE)
- OFF SITE SURFACE WATER DISCHARGES OR DISCHARGES TO ONSITE WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 20 NEPHELOMETRIC TURBIDITY UNITS (NTU'S) ABOVE BACKGROUND LEVELS SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO WATER RESOURCES WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
- THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNCONTAINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-269.300(1), F.A.C. BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.
- FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO WATER RESOURCES. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.
- IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND WATER RESOURCES SHALL BE CONTACTED.
- PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.
- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-261.300(1)(a), F.A.C.
 - A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-261.300(1)(a) PART II OF F.A.C.
 - A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO WATER RESOURCES IN ACCORDANCE WITH RULE 62-261.300(1)(a) PART II OF F.A.C.
 - THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-261.300(1)(a) PART I OF F.A.C.
 - A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO COUNTY OR STATE INSPECTORS.
- THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING, TO SURFACE WATERS, OR ANY PORTION OF THE MS4 WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP). PERMITS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING.



LEGEND:

- EX PROPERTY BOUNDARY LINES
- EX ADJACENT BOUNDARY LINES
- PROP PROPERTY BOUNDARY LINES
- PROP LIMIT OF DEVELOPMENT
- PROP INLET PROTECTION
- PROP SOIL TRACKING PREVENTION MAT
- PROP STORM PIPE
- PROP SILT FENCE
- PROP RIDGE

LINE #	LENGTH	DIRECTION
L1	14.50'	S24° 55' 43"E
L2	151.19'	S87° 16' 05"W
L3	27.21'	S82° 02' 05"W
L4	27.06'	S16° 09' 42"W
L5	3.33'	S93° 07' 04"W
L6	365.86'	N89° 03' 14"E
L7	338.10'	N30° 27' 51"E
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REV. DATE COMMENT BY

1	10/21/17	REV PER CITY COMMENTS	DJE
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PROJECT No: FL8170020
 DRAWN BY: CL
 CHECKED BY: CR
 DATE: 09/19/17
 SCALE: AS NOTED
 CAD ID: 890

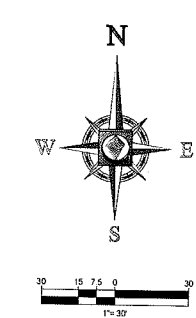
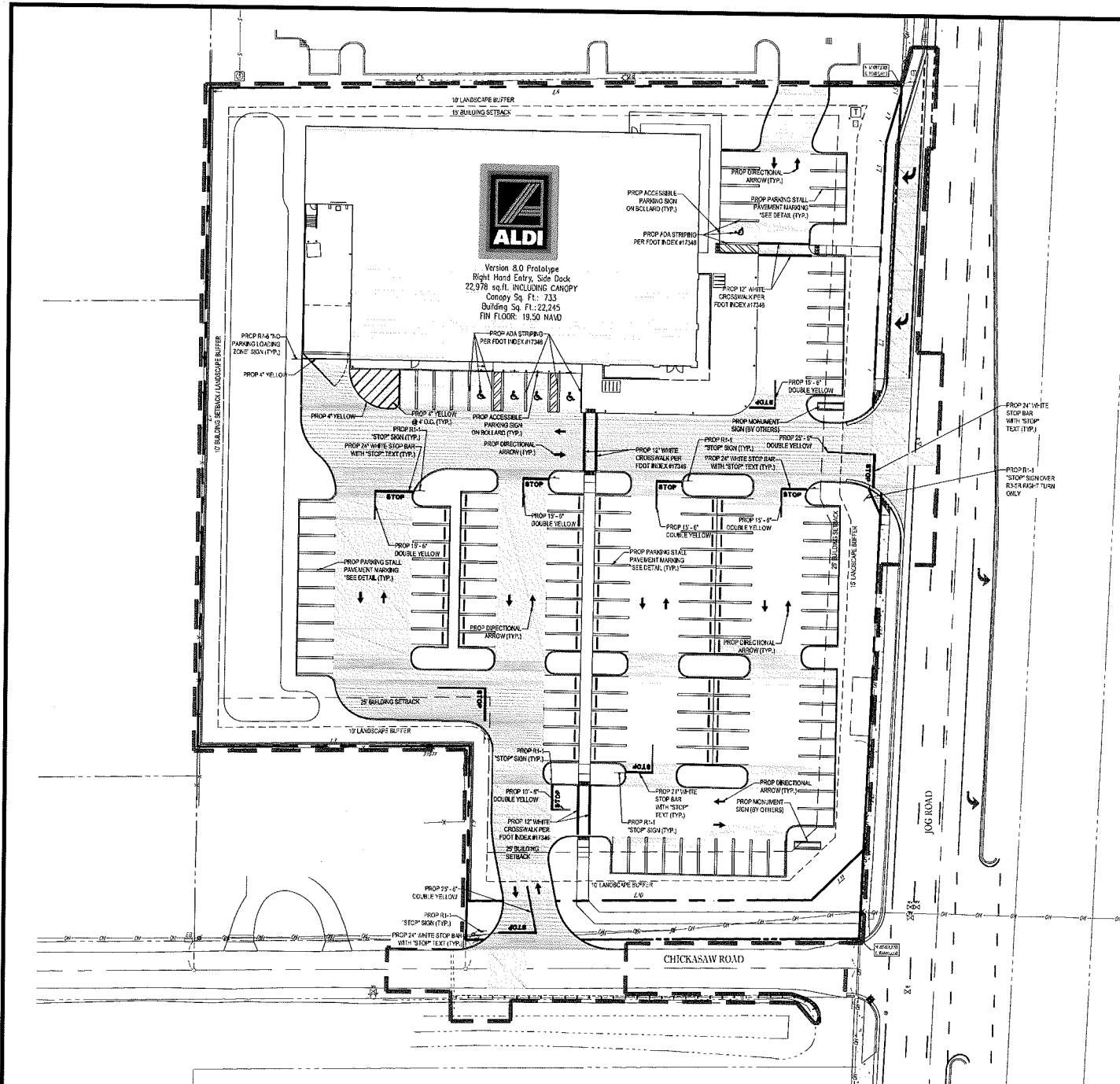
CONSTRUCTION PLANS FOR ALDI, INC

LOCATION OF SITE
 NWC OF S JOG ROAD & CHICKASAW ROAD
 PALM BEACH COUNTY GREENACRES, FLORIDA

BOHLER ENGINEERING
 2256 GLADES ROAD, SUITE 305E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0289
 Fax: (561) 571-0281
 FLORIDA BUSINESS REGISTRY # 10241200000
 LICENSED ARCHITECT BUSINESS LIC. 36112200000

SHEET TITLE
 PHASE II SOIL EROSION CONTROL PLAN

SHEET NUMBER
 C-10



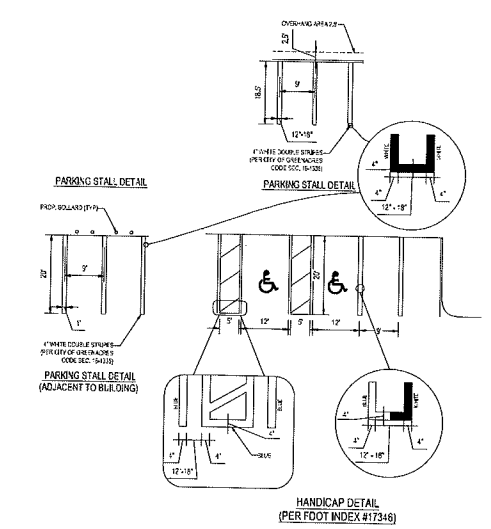
LEGEND:

- EX PROPERTY BOUNDARY LINES
- EX ADJACENT BOUNDARY LINES
- PROP PROPERTY BOUNDARY LINES
- EX EASEMENT LINES
- PROP BUILDING SETBACK
- PROP LANDSCAPE BUFFER
- PROP LIMITS OF DEVELOPMENT
- PROP SIGN
- PROP SIGN ON BOLLARD
- PROP HEAVY DUTY ASPHALT PAVEMENT
- PROP ASPHALT PAVEMENT
- PROP CONCRETE PAVEMENT
- PROP TRANSFORMER PAD AND CT CABINET

NOTE:
1. ALL STRIPING IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF GREENACRES CODE 16-335, MUTCD, AND FDOT AS APPLICABLE.

LINE TABLE

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L10	177.87'	S89° 03' 14"W
L11	37.53'	S45° 33' 31"W
L12	54.25'	S02° 07' 04"W
L13	116.59'	S02° 07' 04"W



- SITE NOTES:**
1. ALL PAVEMENT MARKINGS AND SIGNAGE WITHIN PALM BEACH COUNTY RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION, AND PALM BEACH COUNTY TYPICAL TP-17.
 2. ALL SIGNS SHALL BE REVIEWED AND PERMITTED SEPARATELY.
 3. ALL PAVEMENT MARKINGS, EXCEPT PARKING STALLS, SHALL BE ALKYLID THERMOPLASTIC 90 MILS IN THICKNESS AND MUST MEET CITY OF GREENACRES CODE SEC. 16-1335.
 4. ALL SIGNS SHALL BE REVIEWED UNDER A SEPARATE PERMIT.
 5. ALL CONSTRUCTION AND RESTORATION WORK WITHIN PALM BEACH COUNTY RIGHT OF WAY SHALL COMPLY WITH THE LATEST EDITION OF FOOT DESIGN STANDARDS AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

NOTE: ALL PAVEMENT MARKINGS AND SIGNAGE WITHIN PALM BEACH COUNTY RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION, AND PALM BEACH COUNTY TYPICAL TP-17.

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BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PERMITTING SERVICES TRANSPORTATION PLANNING
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION PLANNING

● NORTHERN VIRGINIA
 ● LOUISIANA
 ● SOUTH CAROLINA
 ● NORTH CAROLINA
 ● FLORIDA
 ● ALABAMA
 ● MISSISSIPPI
 ● ARIZONA
 ● CALIFORNIA
 ● TEXAS
 ● ILLINOIS
 ● INDIANA
 ● OHIO
 ● PENNSYLVANIA
 ● MARYLAND
 ● VIRGINIA
 ● WEST VIRGINIA
 ● KENTUCKY
 ● TENNESSEE
 ● MISSOURI
 ● KANSAS
 ● OKLAHOMA
 ● NEBRASKA
 ● NEVADA
 ● IDAHO
 ● WYOMING
 ● MONTANA
 ● WISCONSIN
 ● MINNESOTA
 ● IOWA
 ● MISSOURI
 ● KANSAS
 ● OKLAHOMA
 ● NEBRASKA
 ● NEVADA
 ● IDAHO
 ● WYOMING
 ● MONTANA
 ● WISCONSIN
 ● MINNESOTA
 ● IOWA

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1	10/31/17			DLF

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PROJECT NO.	FL1810000
DRAWN BY:	CL
CHECKED BY:	CS
DATE:	06/15/17
SCALE:	AS NOTED
CAD/D:	PMO

CONSTRUCTION PLANS

FOR
ALDI, INC

LOCATION OF SITE
NWC OF S JOG ROAD
& CHICKASAW ROAD
PALM BEACH COUNTY
GREENACRES, FLORIDA

BOHLER ENGINEERING

2265 GLADES ROAD, SUITE 305E
BOCA RATON, FLORIDA 33431

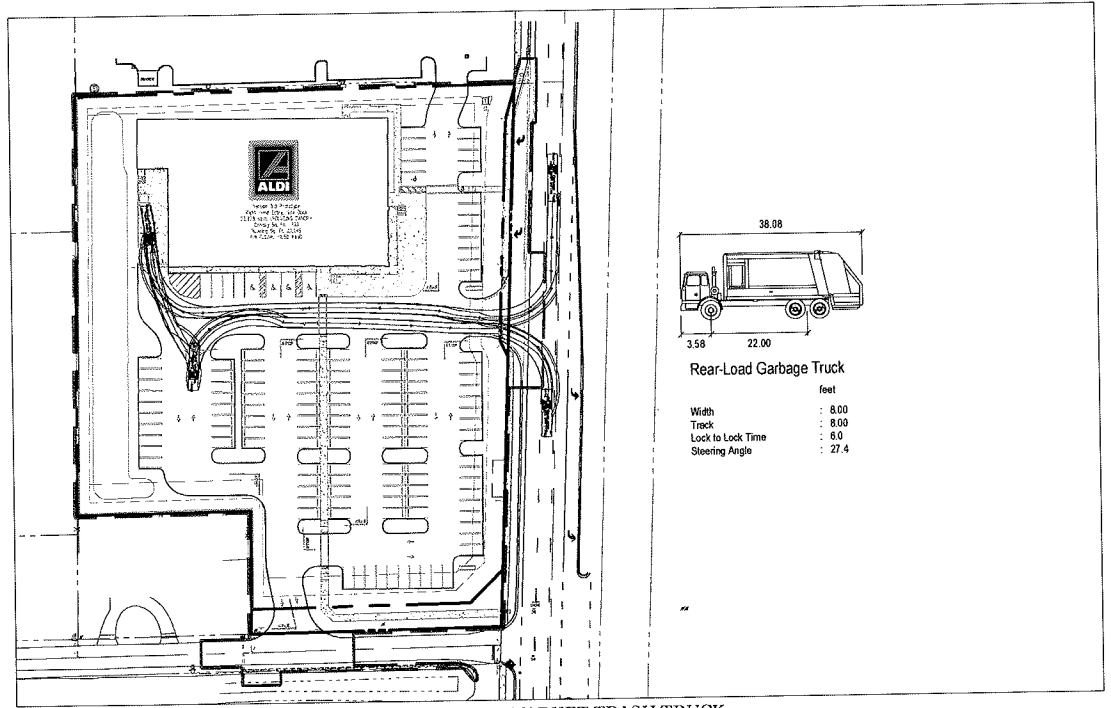
Phone: (561) 571-0280
Fax: (561) 571-0281
PROXIMA BUSINESS CENTER OF SUITE NO. 3078
LANDSCAPE ARCHITECT: SUITE 101, 1011000000000000

SHEET TITLE

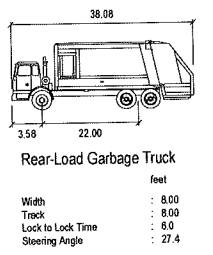
PAVEMENT MARKING & SIGNAGE PLAN

SHEET NUMBER

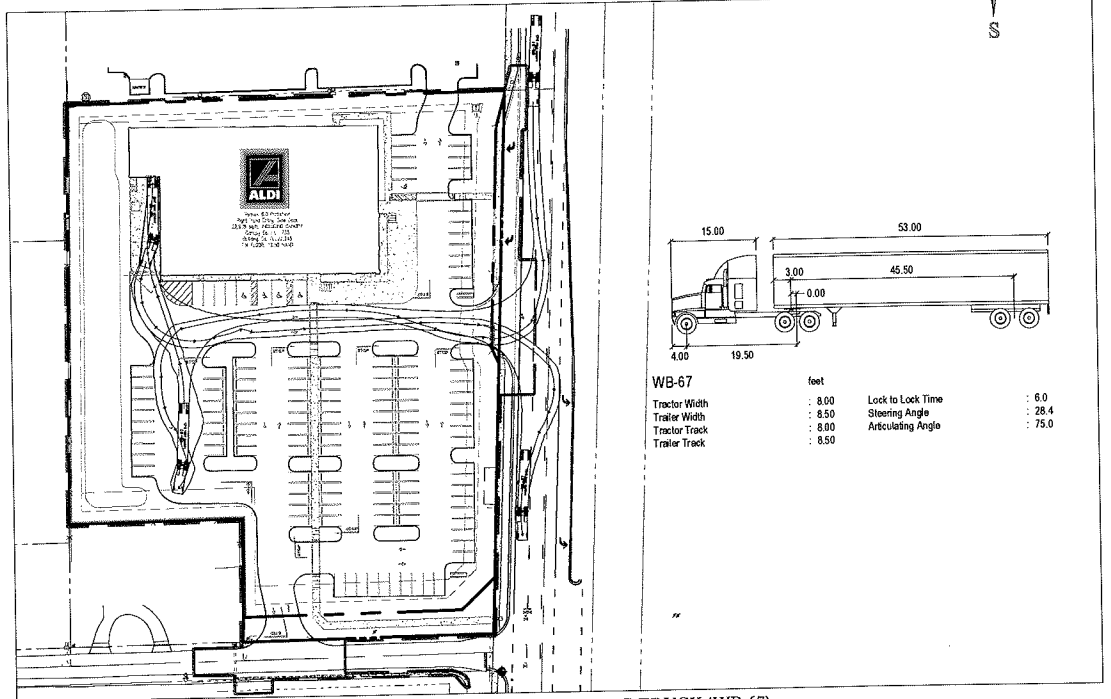
C-11



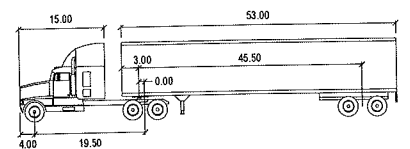
ALDI FOOD MARKET TRASH TRUCK
CIRCULATION PLAN



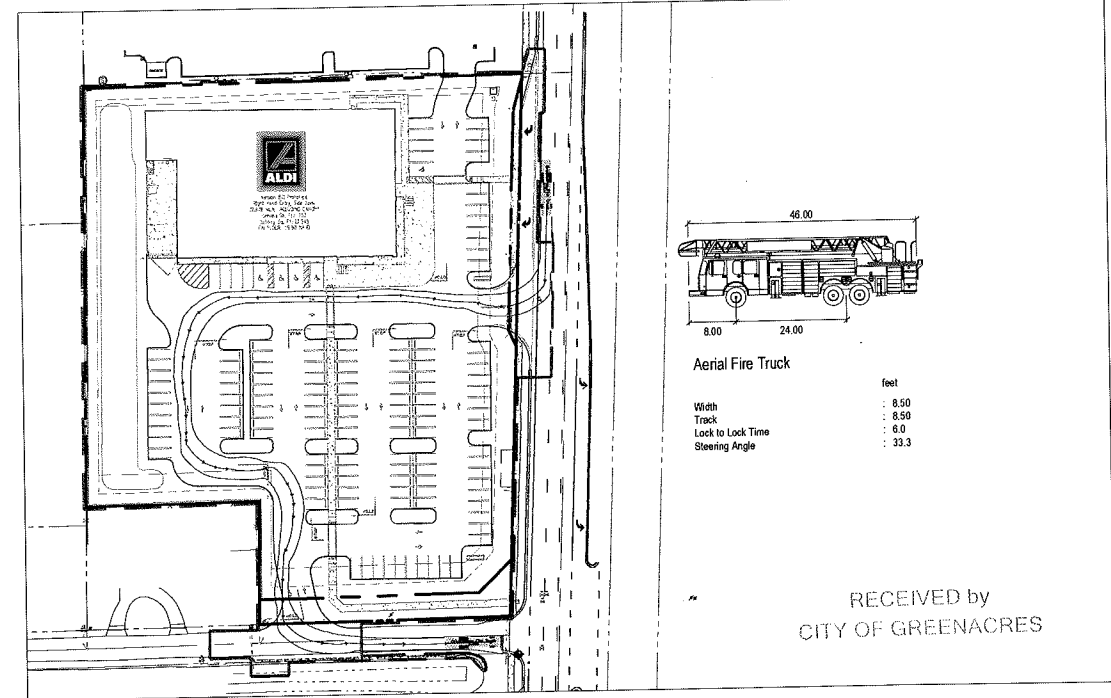
Rear-Load Garbage Truck
feet
Width : 8.00
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 27.4



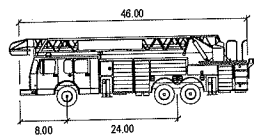
ALDI FOOD MARKET LOADING TRUCK (WB-67)
CIRCULATION PLAN



WB-67
feet
Tractor Width : 8.00
Tractor Height : 8.50
Tractor Track : 8.00
Trailer Track : 8.50
Lock to Lock Time : 6.0
Steering Angle : 28.4
Articulating Angle : 75.0



ALDI FOOD MARKET FIRE TRUCK
CIRCULATION PLAN

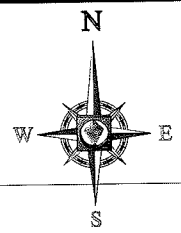
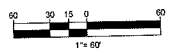


Aerial Fire Truck
feet
Width : 8.50
Track : 8.50
Lock to Lock Time : 6.0
Steering Angle : 33.3

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BOHLER ENGINEERING
 SITE EVAL AND CONSULTING ENGINEERING
 LAND DEVELOPMENT DESIGN
 SURVEYING
 UTILITY DESIGN
 HIGHWAY DESIGN
 TRANSPORTATION SERVICES
 AIRCRAFT NOISE ANALYSIS
 ENVIRONMENTAL SERVICES
 CHARTERED SURVEYORS
 REGISTERED PROFESSIONAL ENGINEERS
 REGISTERED PROFESSIONAL SURVEYORS
 REGISTERED PROFESSIONAL LAND SURVEYORS
 REGISTERED PROFESSIONAL CIVIL ENGINEERS
 REGISTERED PROFESSIONAL ELECTRICAL ENGINEERS
 REGISTERED PROFESSIONAL MECHANICAL ENGINEERS
 REGISTERED PROFESSIONAL CHEMICAL ENGINEERS
 REGISTERED PROFESSIONAL INDUSTRIAL ENGINEERS
 REGISTERED PROFESSIONAL METALLURGICAL ENGINEERS
 REGISTERED PROFESSIONAL AERONAUTICAL ENGINEERS
 REGISTERED PROFESSIONAL AGRICULTURAL ENGINEERS
 REGISTERED PROFESSIONAL ARCHITECTURAL ENGINEERS
 REGISTERED PROFESSIONAL BIOLOGICAL ENGINEERS
 REGISTERED PROFESSIONAL CERAMIC ENGINEERS
 REGISTERED PROFESSIONAL CIVIL ENGINEERS
 REGISTERED PROFESSIONAL ELECTRICAL ENGINEERS
 REGISTERED PROFESSIONAL ENVIRONMENTAL ENGINEERS
 REGISTERED PROFESSIONAL FOOD ENGINEERS
 REGISTERED PROFESSIONAL FURNACE ENGINEERS
 REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEERS
 REGISTERED PROFESSIONAL INDUSTRIAL ENGINEERS
 REGISTERED PROFESSIONAL INSTRUCTIONAL TECHNOLOGISTS
 REGISTERED PROFESSIONAL LEATHER ENGINEERS
 REGISTERED PROFESSIONAL LIGHTING ENGINEERS
 REGISTERED PROFESSIONAL MARINE ENGINEERS
 REGISTERED PROFESSIONAL METALLURGICAL ENGINEERS
 REGISTERED PROFESSIONAL MECHANICAL ENGINEERS
 REGISTERED PROFESSIONAL MINING ENGINEERS
 REGISTERED PROFESSIONAL NUCLEAR ENGINEERS
 REGISTERED PROFESSIONAL OCCUPATIONAL SAFETY AND HEALTH ENGINEERS
 REGISTERED PROFESSIONAL OPTICAL ENGINEERS
 REGISTERED PROFESSIONAL PACKAGING ENGINEERS
 REGISTERED PROFESSIONAL PAPER ENGINEERS
 REGISTERED PROFESSIONAL PETROLEUM ENGINEERS
 REGISTERED PROFESSIONAL PLASTICS ENGINEERS
 REGISTERED PROFESSIONAL POLYMER ENGINEERS
 REGISTERED PROFESSIONAL POWER ENGINEERS
 REGISTERED PROFESSIONAL RAILROAD ENGINEERS
 REGISTERED PROFESSIONAL REFRIGERATION ENGINEERS
 REGISTERED PROFESSIONAL ROCKET ENGINEERS
 REGISTERED PROFESSIONAL RUBBER ENGINEERS
 REGISTERED PROFESSIONAL TEXTILE ENGINEERS
 REGISTERED PROFESSIONAL THERMAL ENGINEERS
 REGISTERED PROFESSIONAL TRANSPORTATION ENGINEERS
 REGISTERED PROFESSIONAL URBAN ENGINEERS
 REGISTERED PROFESSIONAL VEHICLE ENGINEERS
 REGISTERED PROFESSIONAL WOOD ENGINEERS
 REGISTERED PROFESSIONAL YACHT ENGINEERS

REVISIONS

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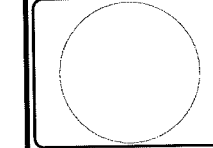
NOT APPROVED FOR
CONSTRUCTION

PROJECT NO: FLB170020
 DRAWN BY: CL
 CHECKED BY: CR
 DATE: 08/15/17
 SCALE: AS NOTED
 CADD ID: VMS

PROJECT:
CONSTRUCTION PLANS
 FOR
ALDI, INC

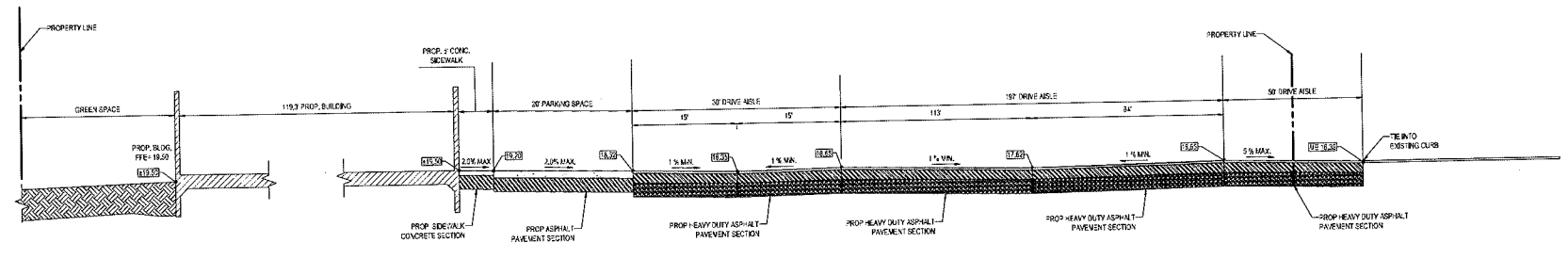
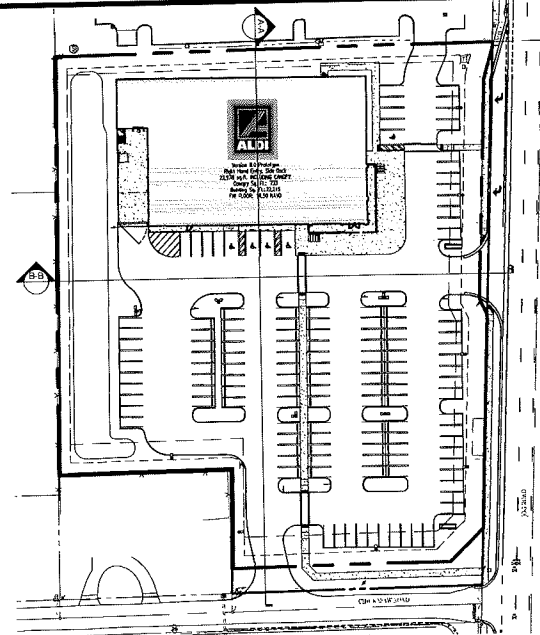
LOCATION OF SITE
 NWC OF S JOG ROAD
 & CHICKASAW ROAD
 PALM BEACH COUNTY
 GREENACRES, FLORIDA

BOHLER ENGINEERING
 2265 GLADES ROAD, SUITE 305E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0280
 Fax: (561) 571-0281
 FLORIDA BUSINESS STATE OF ALDI# 163786
 LANDSCAPE ARCHITECT BUSINESS LIC# 1642000001

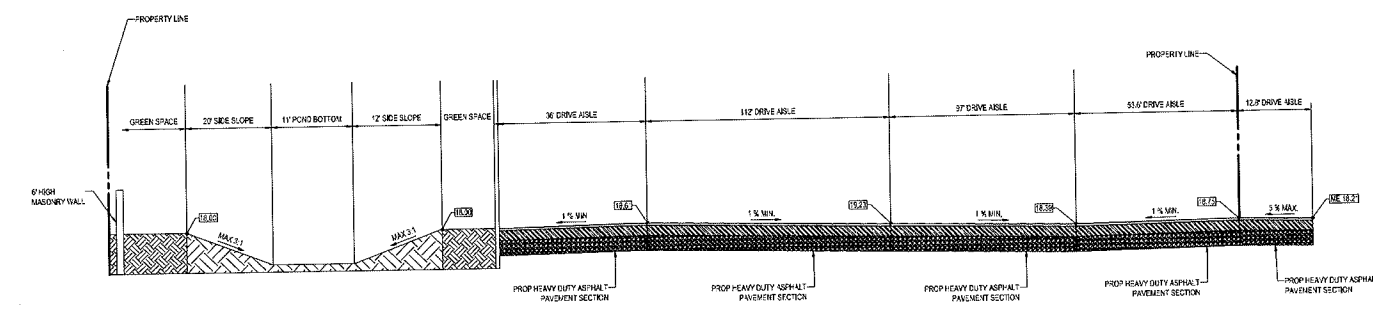


SHEET TITLE
VEHICULAR MOVEMENT PLAN

SHEET NUMBER
C-12



SECTION A-A
SCALE: H. 1" = 10', V. 1" = 4'



SECTION B-B
SCALE: H. 1" = 12', V. 1" = 2'

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LANDSCAPE ARCHITECTURE TRANSPORTATION SERVICES
LANDSCAPE DESIGN PERMITTING SERVICES

2255 GLADES ROAD, SUITE 308E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CERT. OF ARCH. ENG. 20100
LANDSCAPE ARCHITECTURE BUSINESS LIC. 9411200001

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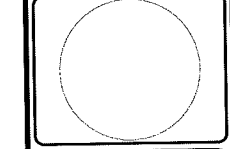
PROJECT No: FLE17000
DRAWN BY: CL
CHECKED BY: CR
DATE: 08/18/17
SCALE: AS NOTED
CADD: HB

CONSTRUCTION
PLANS
FOR
ALDI, INC

LOCATION OF SITE:
NWC OF S JOG ROAD
& CHICKASAW ROAD
PALM BEACH COUNTY
GREENACRES, FLORIDA

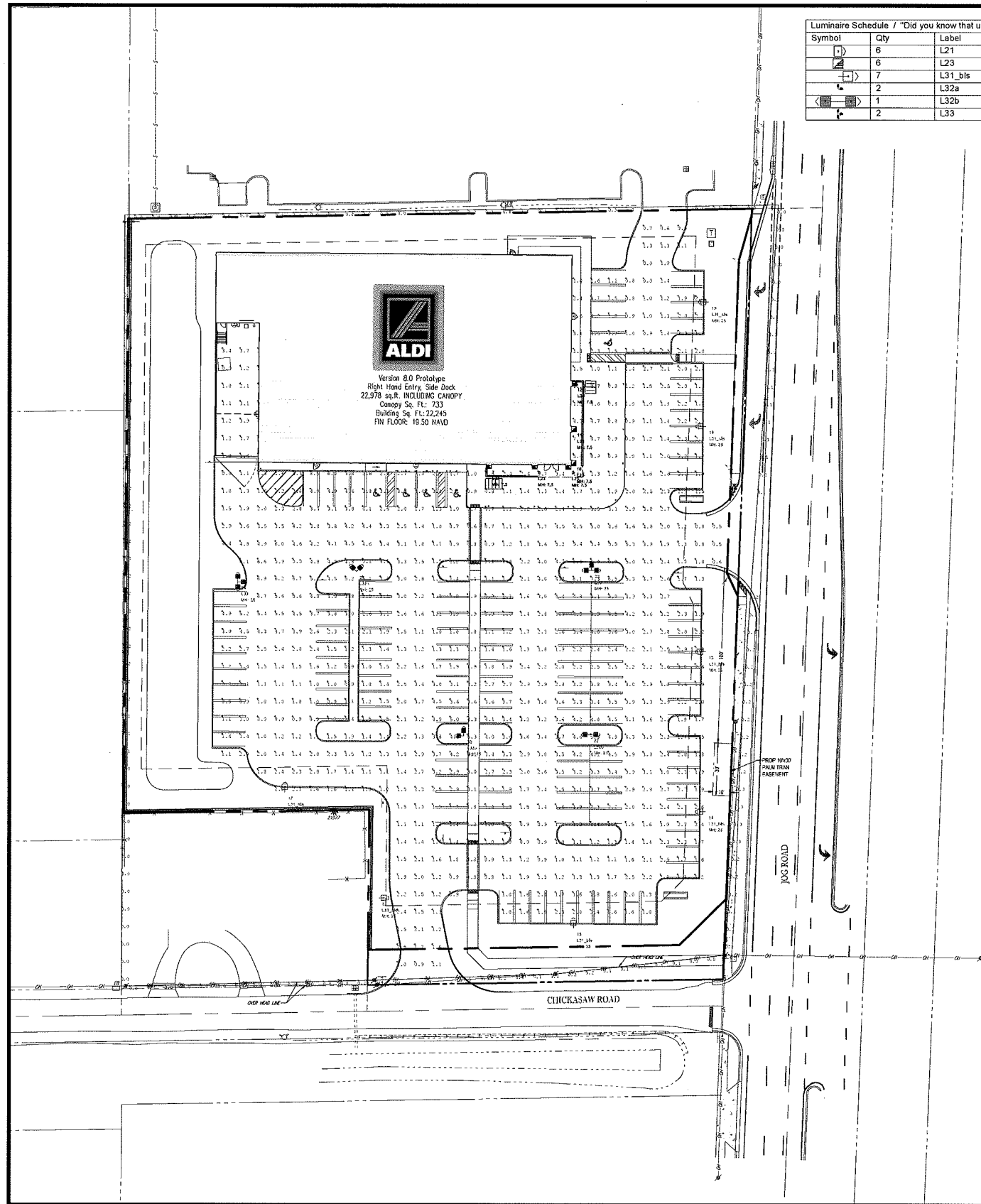
BOHLER ENGINEERING

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BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CERT. OF ARCH. ENG. 20100
LANDSCAPE ARCHITECTURE BUSINESS LIC. 9411200001



SHEET TITLE
CROSS SECTIONS

SHEET NUMBER
C-13



Luminaire Schedule / "Did you know that utility rebates can cover 25% or more of a products cost? Email rebates@cree.com to get help on your project!"

Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Description
[Symbol]	6	L21	SINGLE	4109	1.000	42	XSPWA03MC-UCSP
[Symbol]	6	L23	SINGLE	N.A.	1.000	42	AL-42WLED-UD-CG-120
[Symbol]	7	L31_bis	SINGLE	8950	1.000	86	OSQ-A-NM-4ME-B-57K-UL-CS
[Symbol]	2	L32a	2 @ 90°	11648	1.000	86	OSQ-A-NM-4ME-B-57K-UL-CS
[Symbol]	1	L32b	BACK-BACK	11648	1.000	86	OSQ-A-NM-4ME-B-57K-UL-CS
[Symbol]	2	L33	3 @ 90°	11648	1.000	86	OSQ-A-NM-4ME-B-57K-UL-CS

Calculation Summary, LMF = 1.00

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	2.44	16.1	0.5	4.88	32.20
Property Line	Fc	0.10	0.5	0.0	N.A.	N.A.

EQUIPMENT SCHEDULE:
 (19) OSQ-DACS DIRECT ARM MOUNT
 (7) OSQ-BLSMF BACKLIGHT SHIELD ACCESSORY
 POLES PROVIDED BY OTHERS

NATIONAL ACCT PRICING, PLEASE CONTACT MIKE KREINER AT CREE LIGHTING
 224-250-1561 OR MKREINER@CREE.COM

TABLE 16-1335(15)(b): LIGHTING STANDARDS; NON-RESIDENTIAL USES

CONDITION	EXTRACT	MINIMUM LUMINAIRE HEIGHTS	MINIMUM AVERAGE ILLUMINANCE IN FOOTCANDLES (OPEN-CLOSED)	MAXIMUM AVERAGE ILLUMINANCE IN FOOTCANDLES	MAXIMUM TO MINIMUM RATIO IN PARKING AREA	SPL. ON TO PRIVATE LOCAL AND COLLECTOR ROADS	SPL. ON TO MAJOR ROADS & NON-RESIDENTIAL	SPL. AT ALL RESIDENTIAL PROPERTY LINES
REQUIRED	ON	25 FEET	2.0/5.5	5.0	1/1	NOT TO EXCEED 0.2 FOOT CANDLES @ EDGE OF PAVEMENT	NOT TO EXCEED 1.0 FOOTCANDLES @ EDGE OF PAVEMENT	NOT TO EXCEED 0.3 FOOT CANDLES
PROHIBED	ON	25 FEET	4.0/20	2.4/10	1/2.3/1	0.2	0.3	0.2

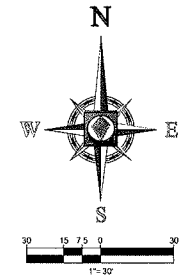


1200 92nd Street - Sturtevant, WI 53177
 www.cree.com - (800) 236-6800

Project Name: ALDI CHICKASAW - GREENACRES FL SR No. 24757
 Date: 10/30/2017 Scale: 1"=40' Footcandles calculated at grade
 Filename: ALD-170712GRFLJEER2.AGI Layout by: JACOB EDLER

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

NOTE:
 LIGHT POLES MUST BE CONCRETE AND MUST MEET WIND LOAD REQUIREMENTS



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PLANNING & ENGINEERING

BOHLER ENGINEERING
 SUITE 305 2285 GLADES ROAD BOCA RATON, FL 33431
 LAND SURVEYING, CIVIL ENGINEERING, ELECTRICAL ENGINEERING, MECHANICAL ENGINEERING, PLUMBING ENGINEERING, PEST MANAGEMENT, PROGRAM MANAGEMENT, TRANSPORTATION SERVICES, SUSTAINABLE DESIGN, PERMITTING SERVICES, LANDSCAPE ARCHITECTURE, TRANSPORTATION SERVICES
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REV	DATE	COMMENT	BY
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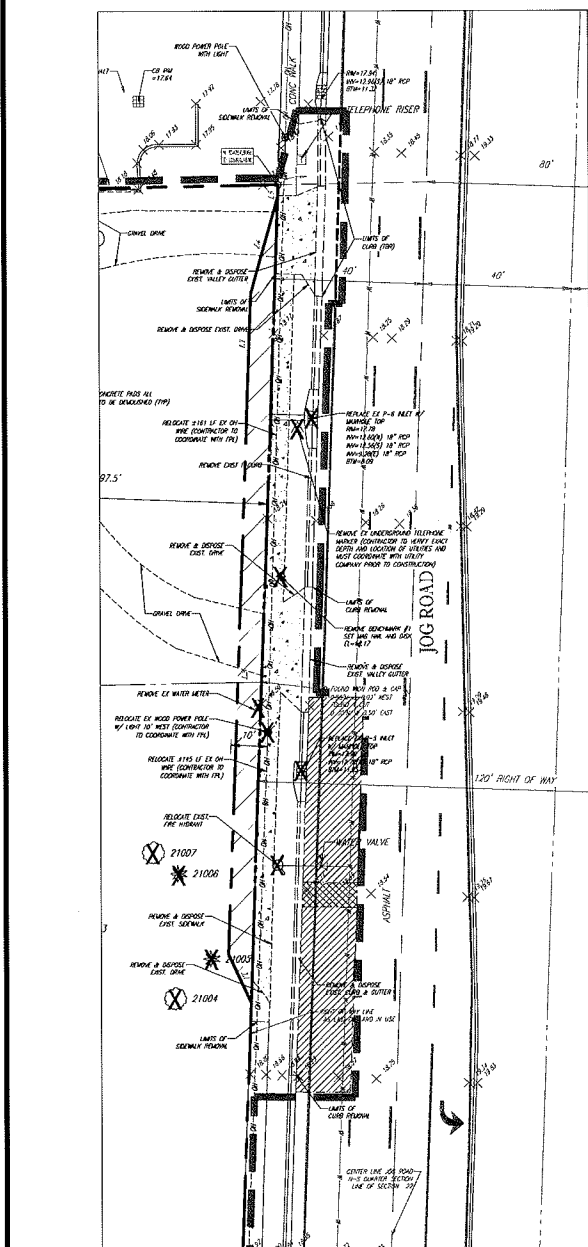
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 PROJECT No: FLB170020
 DRAWN BY: CR
 CHECKED BY: CR
 DATE: 09/19/17
 SCALE: AS NOTED
 CAD ID: IP

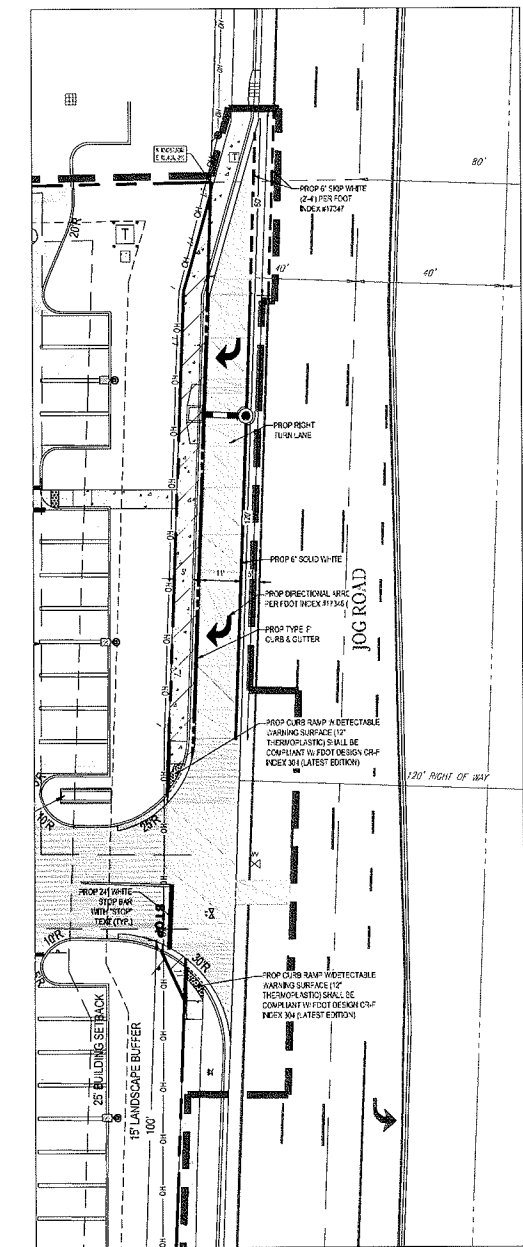
CONSTRUCTION PLANS
 FOR
 ALDI, INC
 LOCATION OF SITE
 NWC OF S JOG ROAD & CHICKASAW ROAD
 PALM BEACH COUNTY
 GREENACRES, FLORIDA

BOHLER ENGINEERING
 2285 GLADES ROAD, SUITE 305E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0280
 Fax: (561) 571-0281
 FLORIDA BUSINESS CERT. OF NUM. NO. 2016
 LANDSCAPE ARCHITECT BUREAU LICENSE NO. 20000011

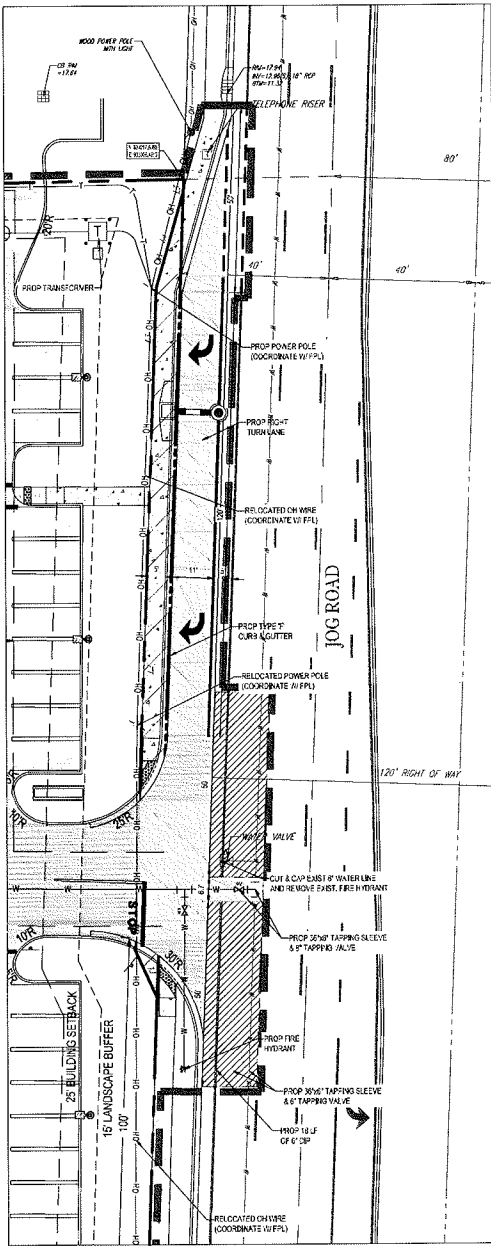
SHEET TITLE
PHOTOMETRIC PLAN
 SHEET NUMBER
C-14



DEMOLITION & PHASE I EROSION & SEDIMENTATION CONTROL PLAN



PAVEMENT MARKING & SIGNAGE PLAN

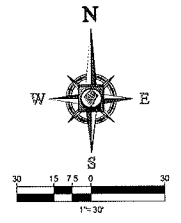
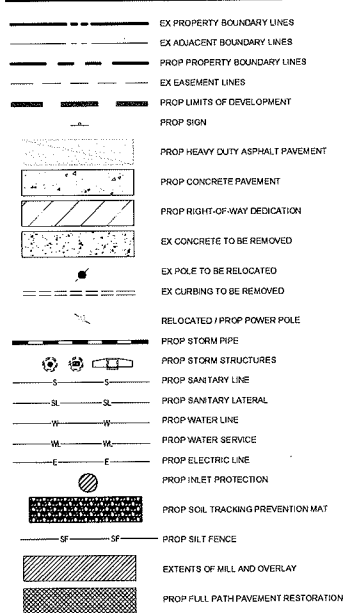


PAVING, GRADING, UTILITY, & PHASE II EROSION & SEDIMENTATION CONTROL PLAN

PAVING AND GRADING NOTES:

- GENERAL:
 - A. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYOR'S BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDWORK.
 - B. ALL GRADERS SHOWN REFERENCE PROPOSED ELEVATIONS AT EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED "1\"/>
- MATERIALS:
 - A. BASE COURSE SHALL BE ABC-3 PER F.D.O.T. SPECIFICATIONS OR EQUIVALENT.
 - B. ASPHALT SURFACES SHALL BE TYPE II ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLAN, AND SHALL BE A MINIMUM OF 1 1/2\"/>
 - C. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3000 PSI AND SHALL BE REINFORCED WITH A #2 x NO. 6 GAUGE WIRE MESH.
- INSTALLATION:
 - A. SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 96% OF THE MAXIMUM DENSITY (ASHFTO T-100) TO A MIN. 12\"/>
 - B. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 6\"/>
 - C. BASE COURSE SHALL BE COMPACTED TO 96% OF THE MAXIMUM DENSITY AS PER ASHTO T-100.
 - D. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE III ASPHALTIC CONCRETE OR THE LATEST REVISION.
- TESTING:
 - A. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4\"/>
 - B. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
 - C. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
 - D. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
 - E. DENSITY TESTS AND "AS-BUILT" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

LEGEND:



DEMOLITION NOTES:

- BOHLER ENGINEERING, FL, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR OMISSIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO BOHLER ENGINEERING, FL, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE WORK.
- BEFORE STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
 - A. THE CONTRACTOR SHALL OBTAIN A SUBSISTE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION (NUMBER 1 800 487 4778).
 - B. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - D. LOCATE AND CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
 - E. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - F. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - G. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - H. COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY OF ALL BUILDINGS AND STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL, ENVIRONMENTAL REGULATIONS. ANNUAL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESUME THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DESIGN OR OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EMPLOYEES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE OBTAINED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTE AND DEBRIS (SOIL WASTE) SHALL BE EXPOSED OR IN ACCORDANCE WITH ALL TOWNSHIP, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL ENSURE PROPER EROSION CONTROL IS PROVIDED THROUGHOUT THE ENTIRE DURATION OF THE PROJECT.

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3001 W. PALM BEACH BLVD., SUITE 200, BOCA RATON, FL 33431
TEL: (561) 571-0281 FAX: (561) 571-0282
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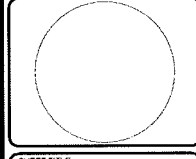
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DRAWN BY:	CL
CHECKED BY:	CR
DATE:	08/09/17
SCALE:	AS NOTED
CADD ID:	SPC

CONSTRUCTION PLANS

FOR
ALDI, INC

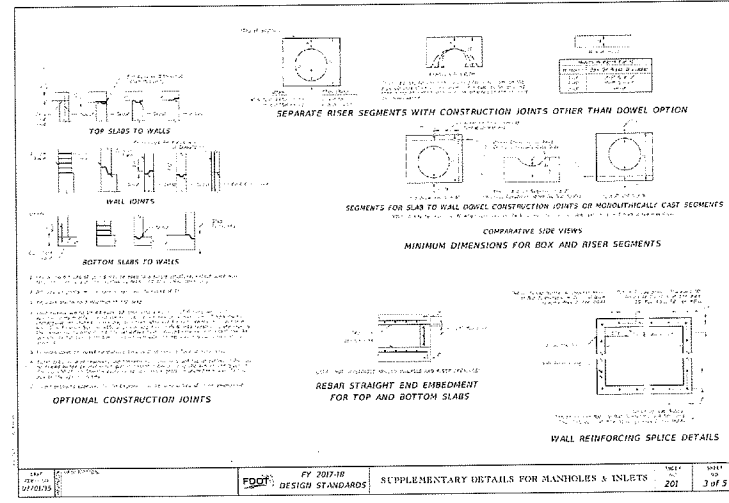
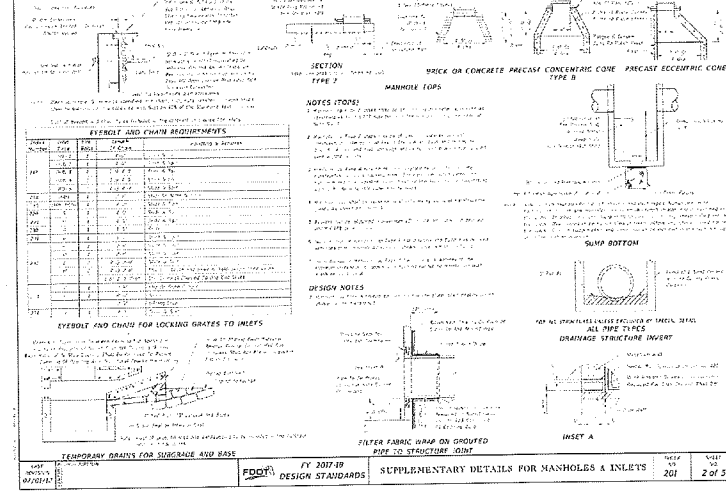
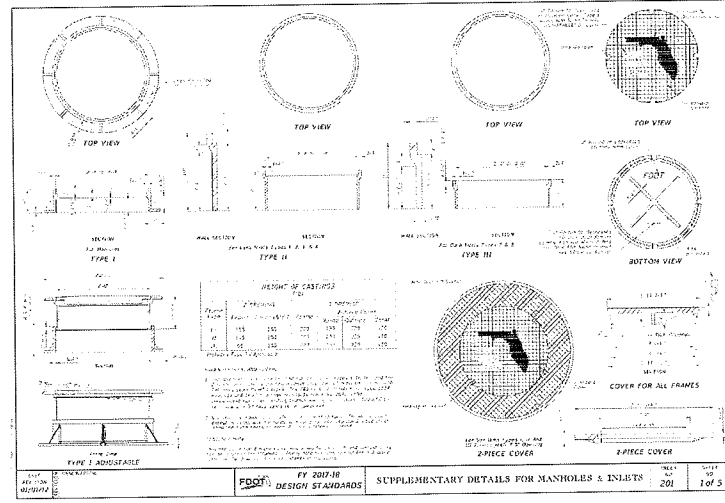
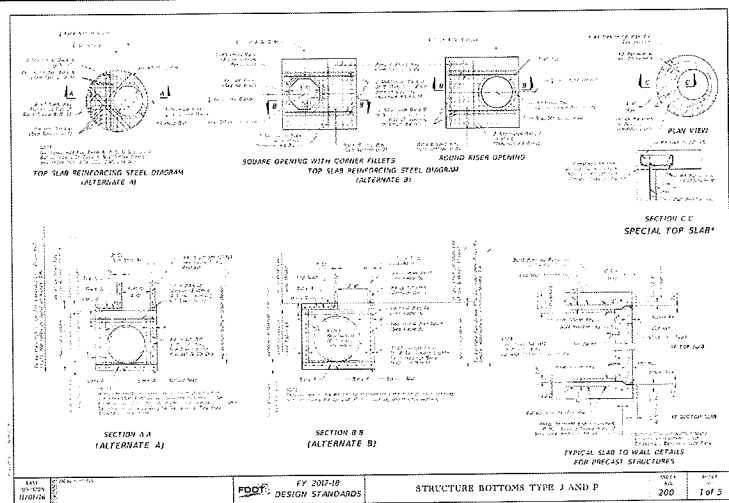
LOCATION OF SITE
NWC OF S JOG ROAD
& CHICKASAW ROAD
PALM BEACH COUNTY
GREENACRES, FLORIDA

BOHLER ENGINEERING
2255 GLADES ROAD, SUITE 305E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0281
Fax: (561) 571-0282
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OFF-SITE PLAN

SHEET NUMBER
OS-1



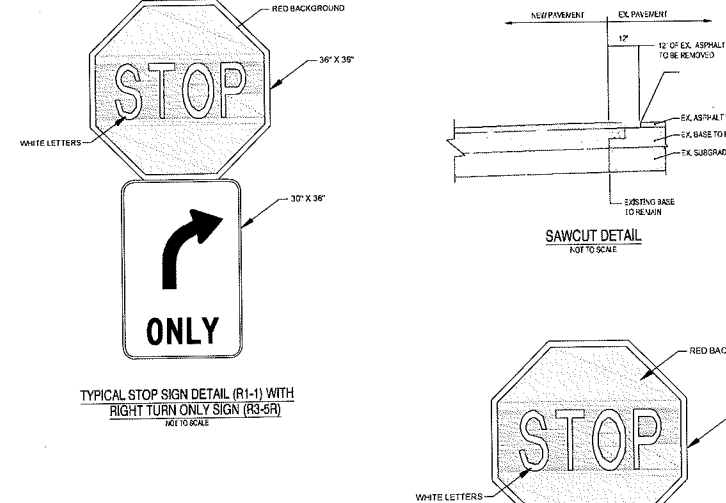
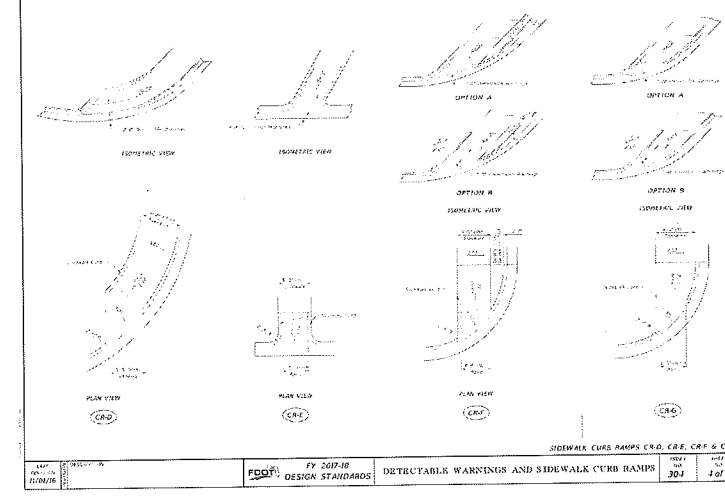
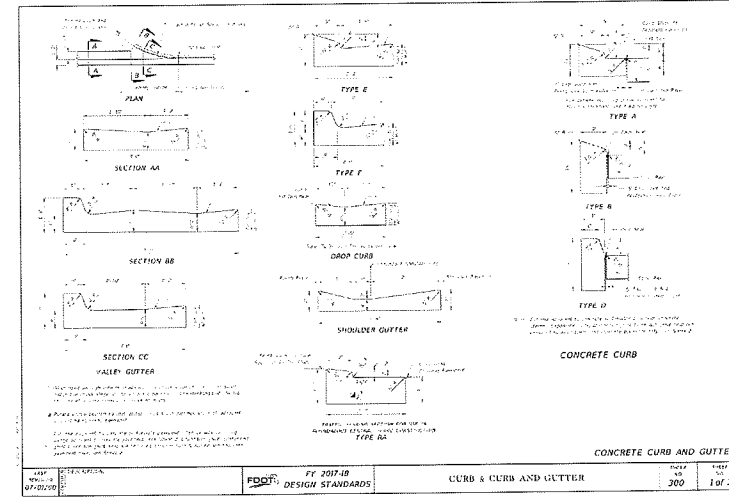
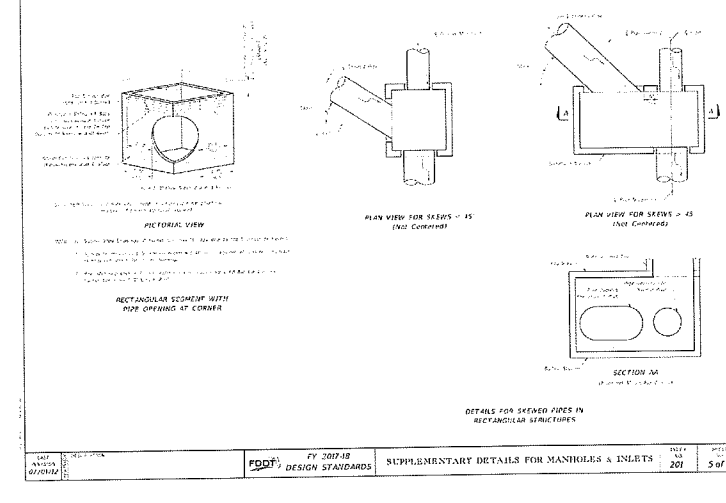
EXAMPLE TABLE OF EQUIPMENT STEEL AREA

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1	2	3	4	5	6	7	8	9	10

NOTES FOR PRECAST OPTIONS AND EQUIPMENT REINFORCEMENT SUBSTITUTION

GENERAL NOTES:
 1. THE TABLE IS FOR INFORMATION ONLY. THE DESIGNER SHALL VERIFY THE EQUIPMENT STEEL AREA FOR EACH PROJECT.
 2. THE EQUIPMENT STEEL AREA IS BASED ON THE ASSUMPTIONS LISTED IN THE NOTES.
 3. THE EQUIPMENT STEEL AREA IS BASED ON THE ASSUMPTIONS LISTED IN THE NOTES.
 4. THE EQUIPMENT STEEL AREA IS BASED ON THE ASSUMPTIONS LISTED IN THE NOTES.
 5. THE EQUIPMENT STEEL AREA IS BASED ON THE ASSUMPTIONS LISTED IN THE NOTES.

FDOT FY 2017-18 DESIGN STANDARDS SUPPLEMENTARY DETAILS FOR MANHOLES & INLETS 201 4 of 5



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 LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
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 Phone: (561) 571-0281 Fax: (561) 571-0281
 FLORIDA BUSINESS CERT. OF AUTH. NO. 2098
 LANDSCAPE ARCHITECT REGISTRATION NO. 140000001

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 DRAWN BY: CL
 CHECKED BY: CR
 DATE: 06/15/17
 SCALE: AS NOTED
 CAD/D: SPB

CONSTRUCTION PLANS
 FOR
ALDI, INC

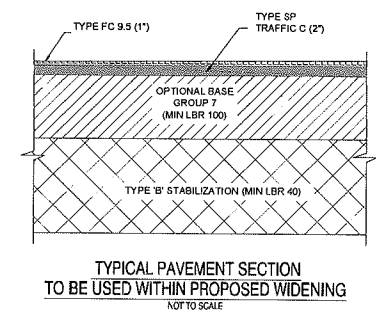
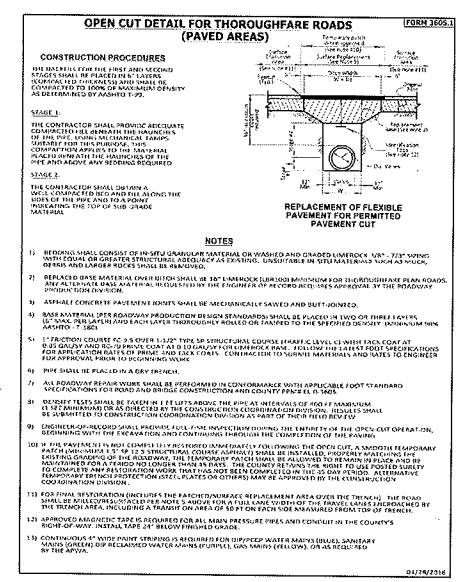
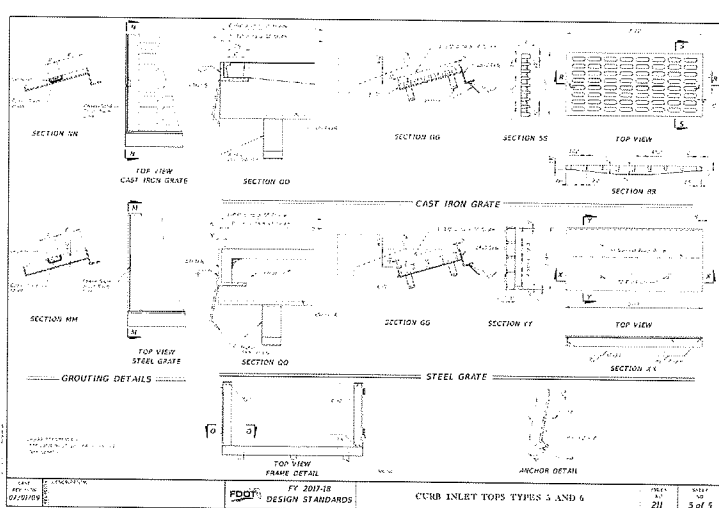
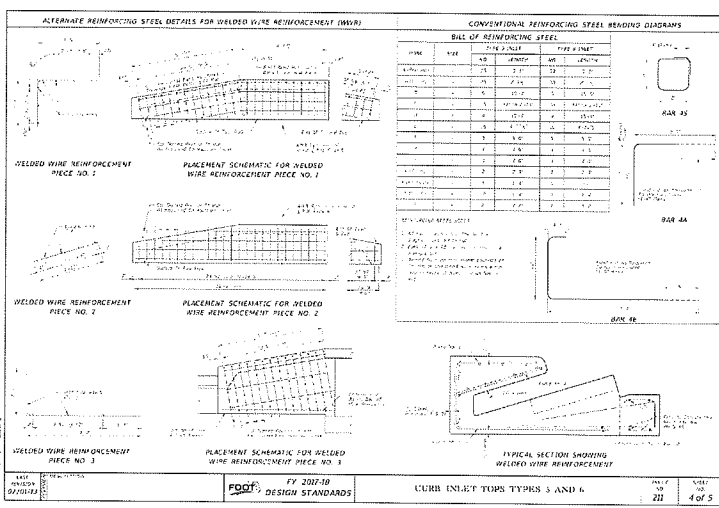
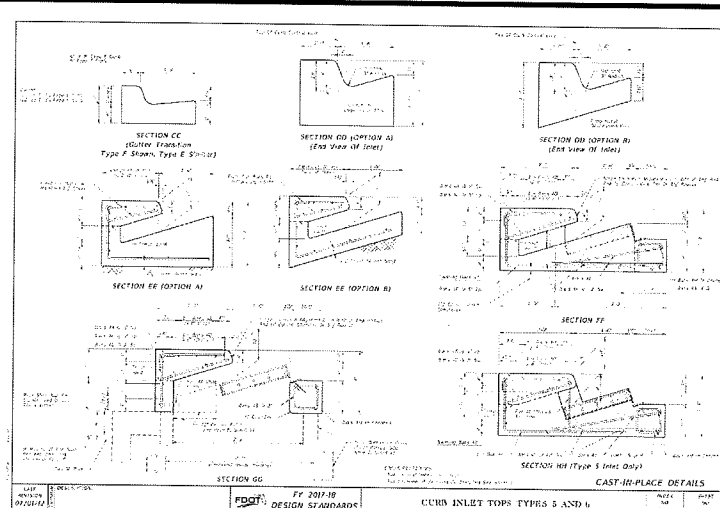
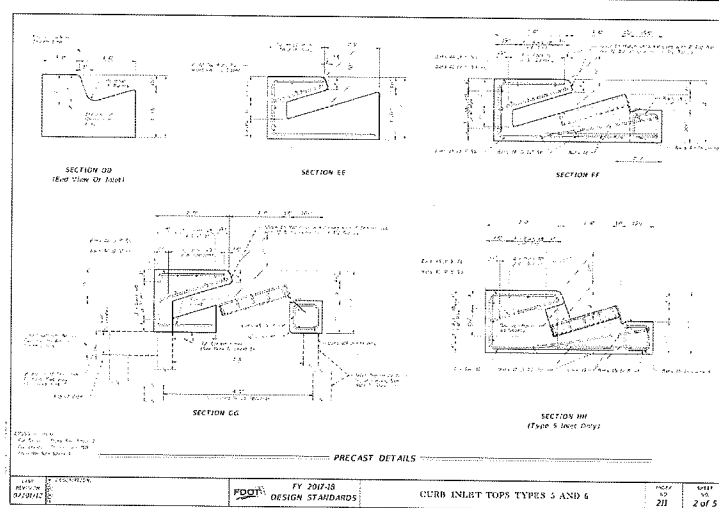
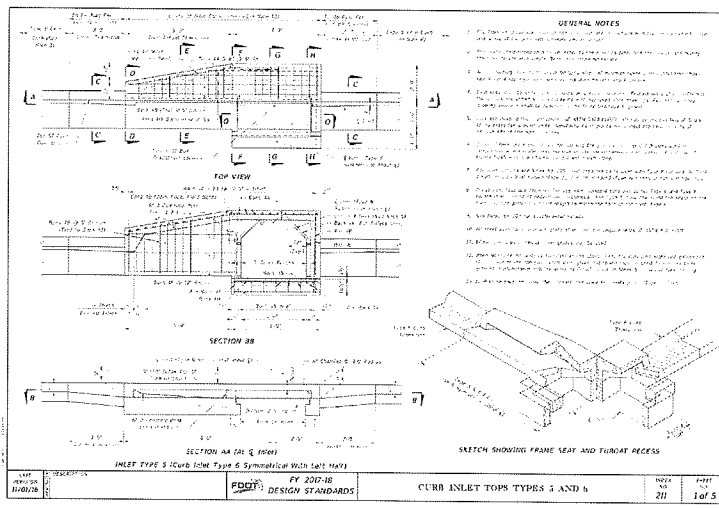
LOCATION OF SITE
 NWC OF S JOG ROAD & CHICKSAW ROAD
 PALM BEACH COUNTY
 GREENACRES, FLORIDA

BOHLER ENGINEERING
 2265 GLADES ROAD, SUITE 305E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0281
 Fax: (561) 571-0281
 FLORIDA BUSINESS CERT. OF AUTH. NO. 2098
 LANDSCAPE ARCHITECT REGISTRATION NO. 140000001

SHEET TITLE
OFF-SITE DETAILS

SHEET NUMBER
OS-2

OCT 31 2017



TYPICAL PAVEMENT SECTION
TO BE USED WITHIN PROPOSED WIDENING
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 ● DENVER, CO
 ● HOUSTON, TX
 ● LOS ANGELES, CA
 ● MIAMI, FL
 ● NEW YORK, NY
 ● PHILADELPHIA, PA
 ● RICHMOND, VA
 ● TAMPA, FL
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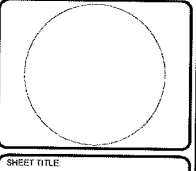
NOT APPROVED FOR CONSTRUCTION

PROJECT No. FLB17020
DRAWN BY: CL
CHECKED BY: CR
DATE: 09/15/17
SCALE: AS NOTED
SHEET: 3 OF 5

CONSTRUCTION PLANS
FOR
ALDI, INC

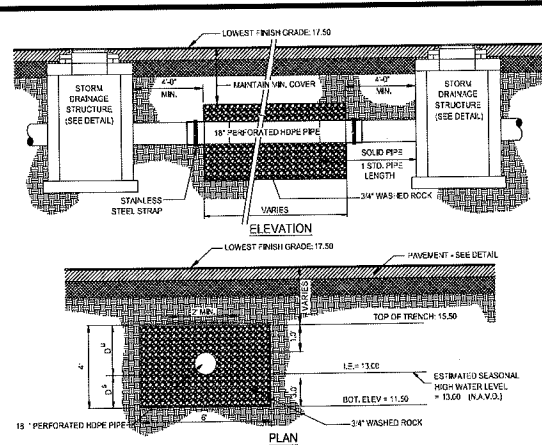
LOCATION OF SITE
NWC OF S JOG ROAD
& CHICKSAW ROAD
PALM BEACH COUNTY
GREENACRES, FLORIDA

BOHLER ENGINEERING
2255 GLADES ROAD, SUITE 305E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CERT. OF AUTH. NO. SC16
LICENSE NO. 00000000000000000000000000000000



SHEET TITLE
OFF-SITE DETAILS

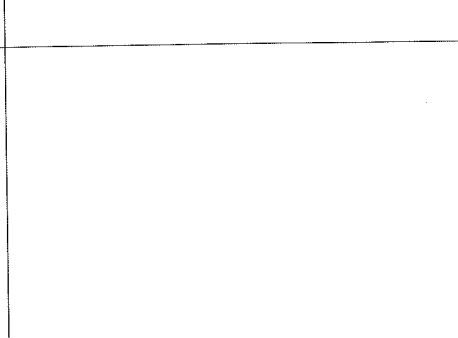
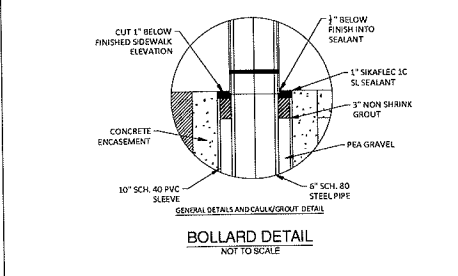
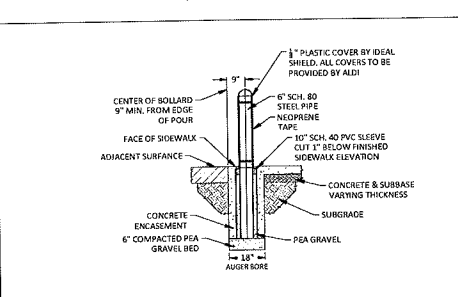
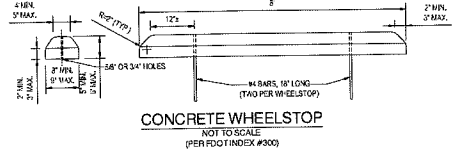
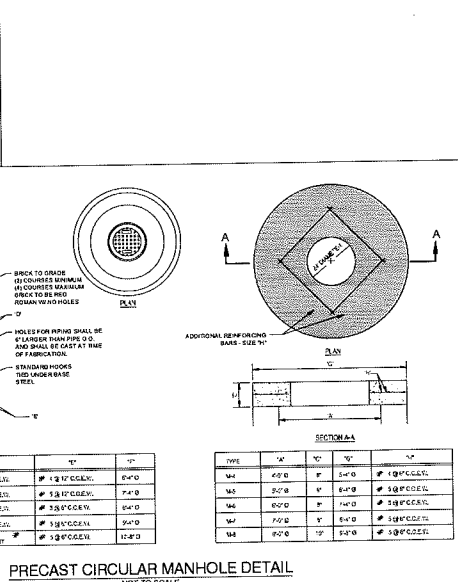
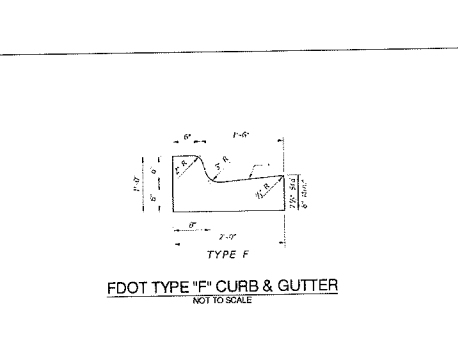
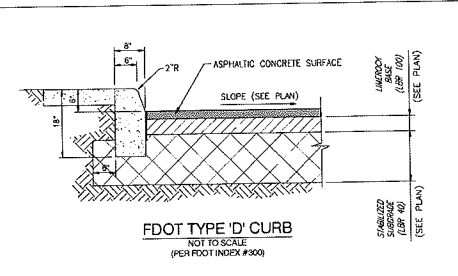
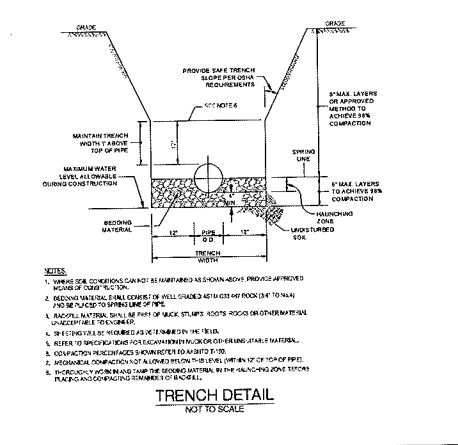
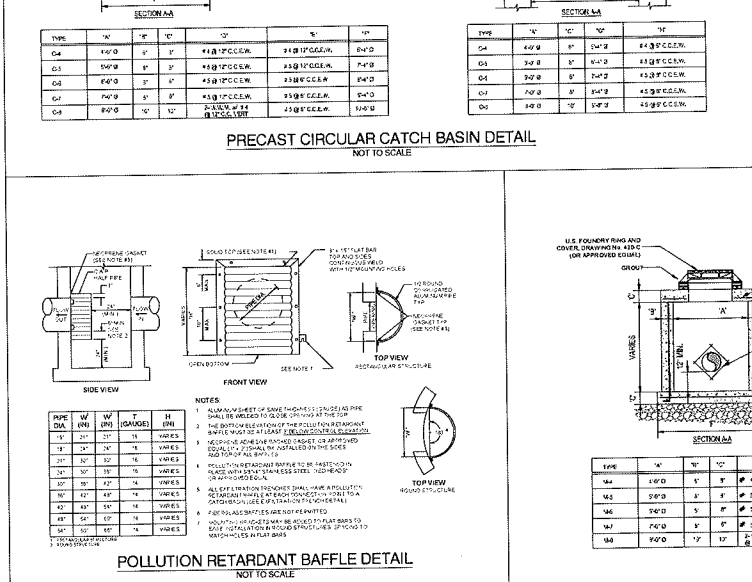
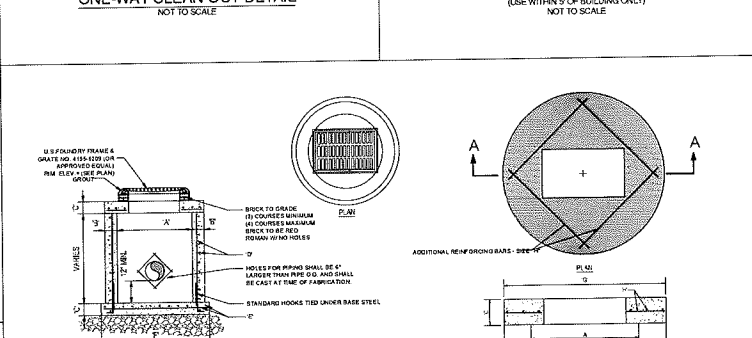
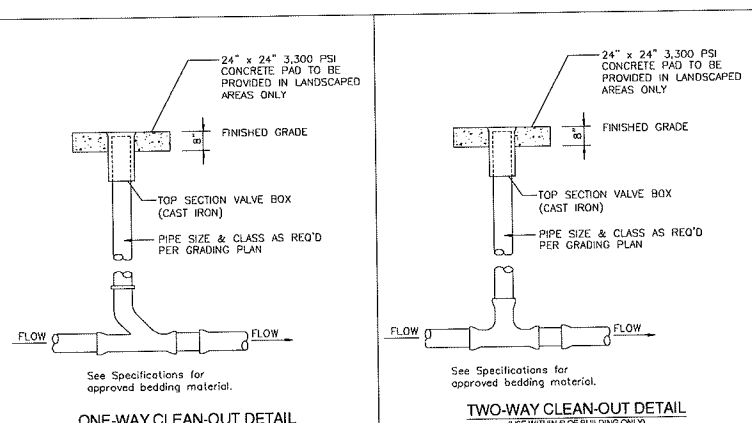
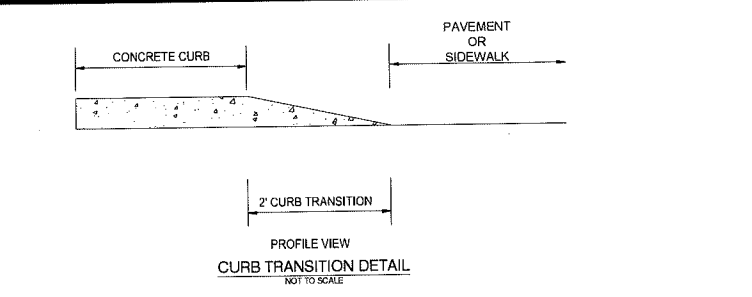
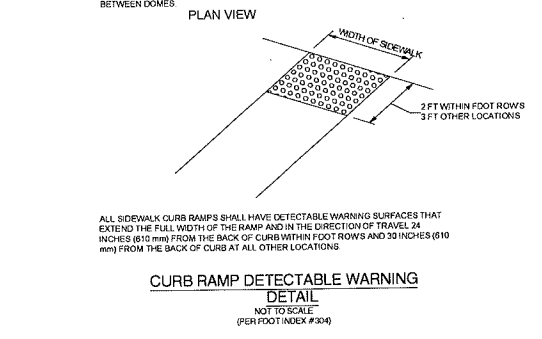
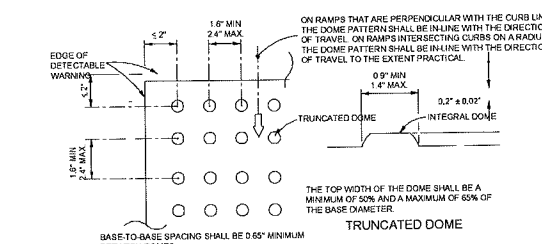
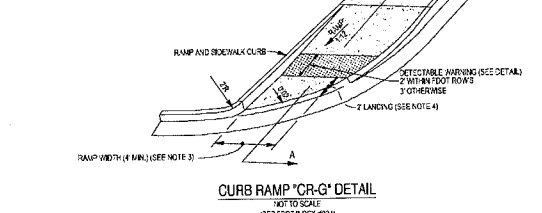
SHEET NUMBER
OS-3



EXFILTRATION TRENCH
NOT TO SCALE

NOTES:
1. PIPES SHALL CONNECT TO ADDITIONAL CATCH BASINS AS REQUIRED.
2. BALLAST ROCK SHALL CONSIST OF 3/4" WASHED ROCK AND BE FROM FRESH WATER WASHED FREE OF OLETERIOUS MATTER.
3. TRENCH TO BE LINED WITH AMOCO PROPEX 454S OR APPROVED EQUIVALENT TYPE FILTER FABRIC. OVERLAP TRENCH LINING MATERIAL A MINIMUM OF 2" AT TOP OF TRENCH. CLOSE ENDS AND STRAP AROUND PIPE.
4. IN AREAS OVER TRENCH WHERE THE FULL ROADWAY SECTION CANNOT BE CONSTRUCTED, THE AREA ABOVE THE TRENCH SHALL CONSIST ENTIRELY OF LIMESTONE BASE (6.5R100).

NOTES:
1. SURFACE BELOW SIDEWALK SHALL BE COMPACTED TO 95% OF MAX. DENSITY PER AASHTO T-99.
2. HANDCAP RAMP TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ADA GUIDELINES.
3. RAMP WIDTHS FOR CURB RAMP MAY BE REDUCED TO 2' MIN. IN RESTRICTED CONDITIONS WHEN APPROVED BY THE ENGINEER.
4. LOWER LANDING NOT REQUIRED AT DRIVEWAYS, PARKING LOTS, OR OTHER AREAS WITH PAVEMENT CROSS-SLOPES GREATER THAN 2% (3:05).



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DATUM NOTES:

- BEARINGS SHOWN HEREON ARE RELATIVE TO THE THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83, 1980 ADJUSTED.
- SUBJECT PROPERTY FALLS WITHIN ZONE "B" ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) IDENTIFIED AS COMMUNITY PANEL NUMBER 120100100A, EFFECTIVE DATE 02/01/1979.
- ELEVATIONS SHOWN HEREON ARE NATIONAL AMERICAN VERTICAL DATUM (NAVD83) "SILK OAK" 118.57 PER PALM BEACH COUNTY ENGINEERING DEPT. IS THE PARENT BENCHMARK.
- BEARING BASE LINE BETWEEN PALM BEACH COUNTY GPS CONTROL POINTS "LW-12" AND "RW-12" IS ASSUMED TO BEAR NORTH 80°30' EAST AND ALL BEARINGS SHOWN ON MAP ARE RELATIVE THERE TO.

BOHLER ENGINEERING

SUB-CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGER
REGISTERED PROFESSIONAL ENGINEER
REGISTERED PROFESSIONAL SURVEYOR

LEONARD W. BOHLER, P.E.
BOHLER ENGINEERING, INC.
2285 GLADES ROAD, SUITE 305E
BOCA RATON, FLORIDA 33431
PHONE: (561) 571-0280
FAX: (561) 571-0281
WWW.BE-INC.COM

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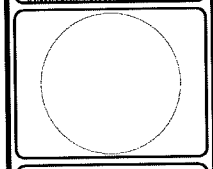
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DRAWN BY: CL
CHECKED BY: CR
DATE: 08/19/17
SCALE: AS NOTED
CADD: SD

CONSTRUCTION PLANS
FOR
ALDI, INC

LOCATION OF SITE
NWC OF S JOG ROAD & CHICKASAW ROAD
PALM BEACH COUNTY
GREENACRES, FLORIDA

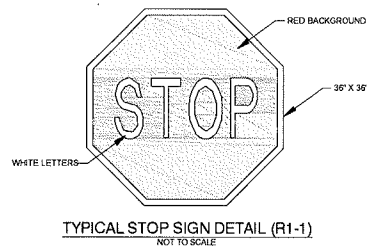
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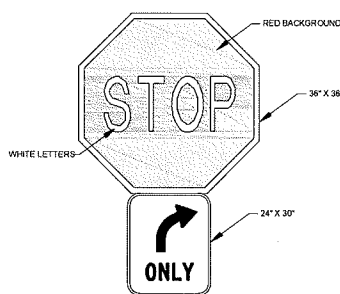


CONSTRUCTION DETAILS

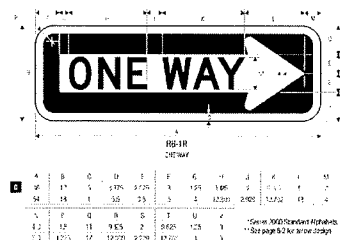
SHEET NUMBER
D-1



TYPICAL STOP SIGN DETAIL (R1-1)
NOT TO SCALE



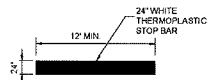
TYPICAL STOP SIGN DETAIL (R1-1) WITH
RIGHT TURN ONLY SIGN (R3-5R)
NOT TO SCALE



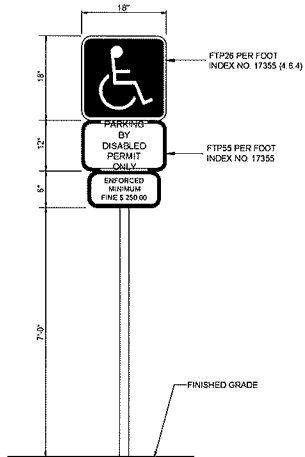
ONE WAY SIGN (R6-1R)
NOT TO SCALE



TYPICAL NO PARKING LOADING
ZONE SIGN DETAIL (R7-6)
NOT TO SCALE



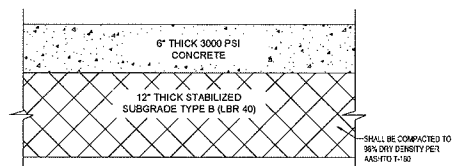
STOP BAR DETAIL
NOT TO SCALE



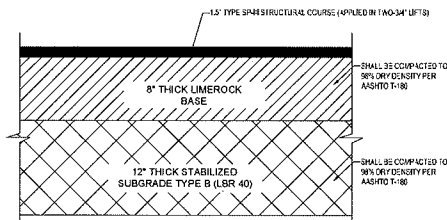
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

NOTES

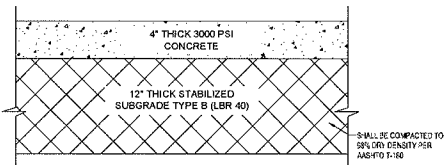
1. HANDICAPPED SIGN WILL BE OF A D.O.T. (BLUE) COLOR PAVEMENT BORDER LINES ONE ON EACH SIDE OF THE HANDICAPPED SPACE WILL BE OF A BLUE COLOR OF A QUALITY EQUIVALENT TO SUPER STRIP E TRAFFIC PAINT SOLD BY FOX VALLEY SYSTEMS INC. OF CARY ILLINOIS, PHONE 1-800-327-4770 SHALL BE STRIPPED ON THE WEARING SURFACE OF EACH SPACE DESIGNED FOR THE HANDICAPPED SPACE.



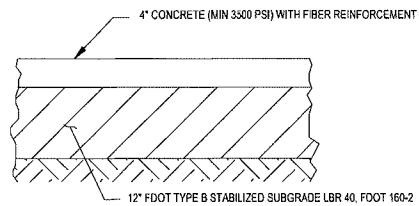
TYPICAL CONCRETE PAVEMENT SECTION
(VEHICULAR)
NOT TO SCALE



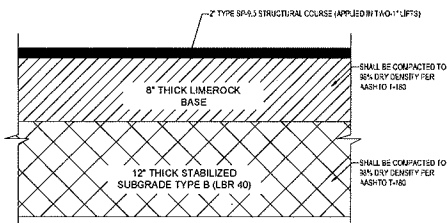
STANDARD ASPHALT PAVEMENT SECTION
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TYPICAL CONCRETE PAVEMENT SECTION
(NON-VEHICULAR)
NOT TO SCALE



NOTE: TO BE CONSTRUCTED PER FDOT SPECIFICATIONS
(SECTIONS 350) AND GEOTECHNICAL ENGINEERING REPORT
CONCRETE SIDEWALK TYPICAL CROSS SECTION
NOT TO SCALE



HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

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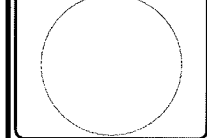
PROJECT No: FL170020
DRAWN BY: CL
CHECKED BY: CR
DATE: 08/19/17
SCALE: AS NOTED
CADD: SCB

CONSTRUCTION PLANS
FOR
ALDI, INC

LOCATION OF SITE
NWC OF S JOGG ROAD
& CHICKASAW ROAD
PALM BEACH COUNTY
GREENACRES, FLORIDA

BOHLER ENGINEERING

2255 GLADES ROAD, SUITE 305E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CERT. OF AUTH. NO. 30180
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SHEET TITLE
CONSTRUCTION DETAILS

SHEET NUMBER
D-2

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Revision table with columns: DATE, BY, CHECKED, GENERAL REVISION, REVISION #, RELEASED

STD DETAILS SHEET NUMBER 1 OF 4 SEAL

DESIGNED BY: WUD

DRAWN BY: WUD CADD

CHECKED BY: A. GALICKI

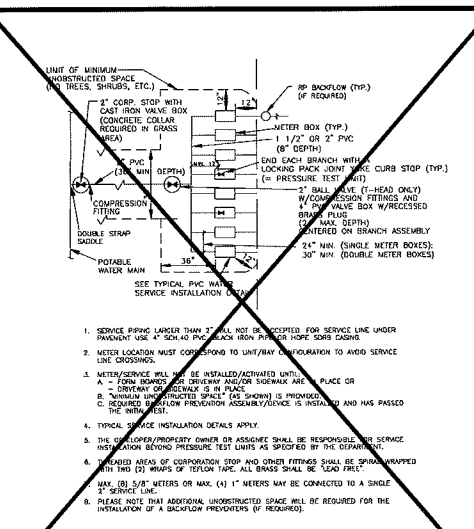
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Palm Beach County Water Utilities Department P.O. Box 18097 West Palm Beach, FL 33418-6097

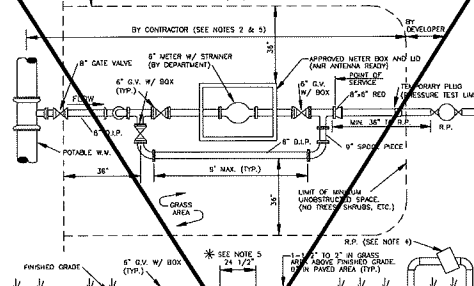
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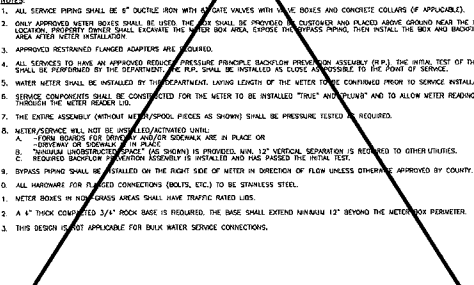
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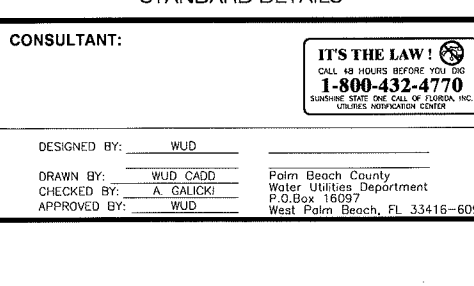
POTABLE WATER TYPICAL CONNECTION FOR MULTIPLE SERVICES



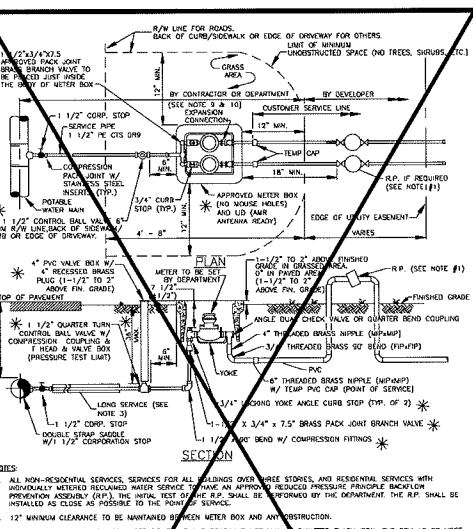
POTABLE WATER SINGLE 5/8" x 3/4" & 1" METER INSTALLATION DETAIL (PVC)



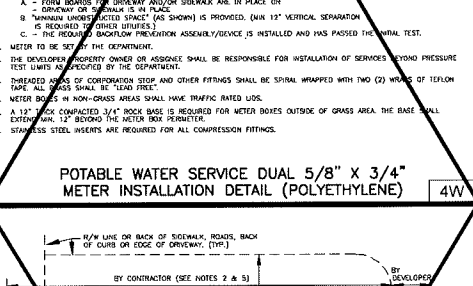
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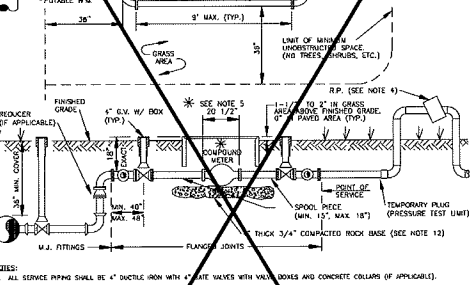
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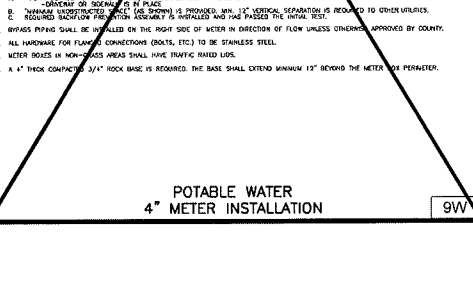
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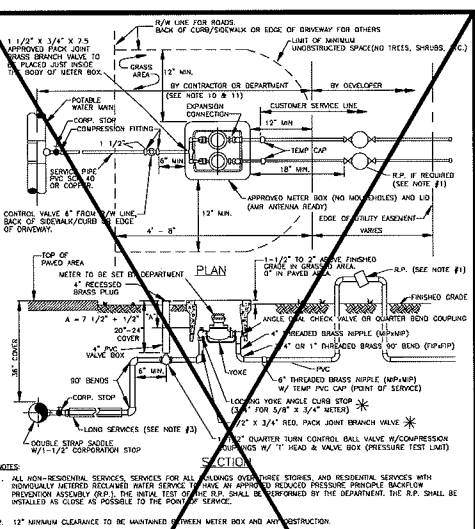
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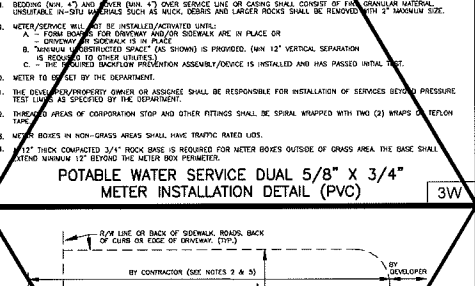
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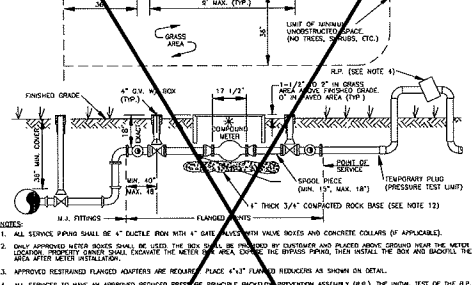
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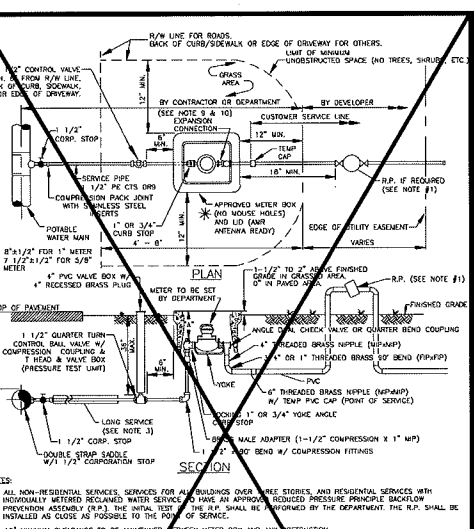
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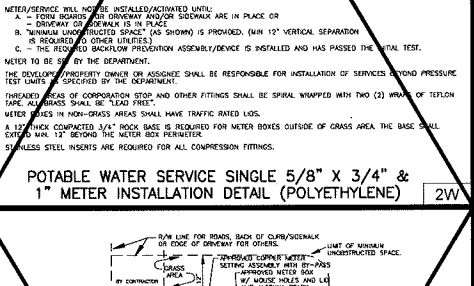
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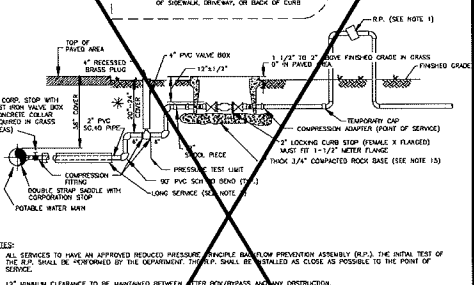
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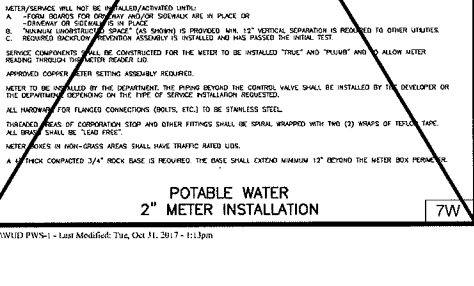
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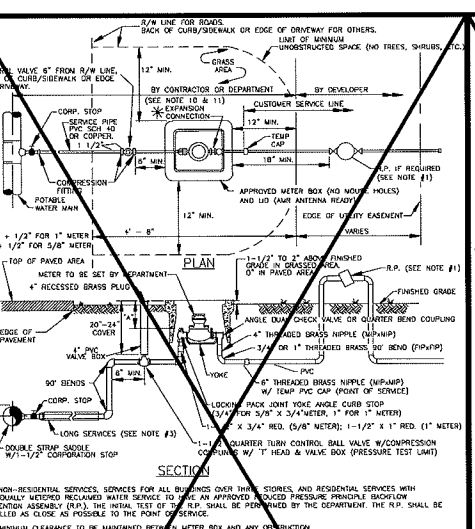
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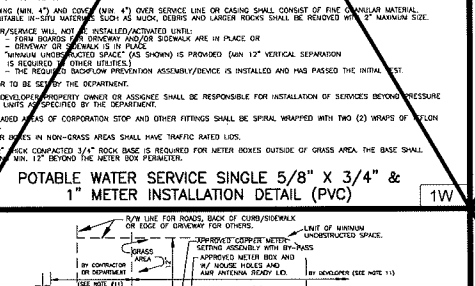
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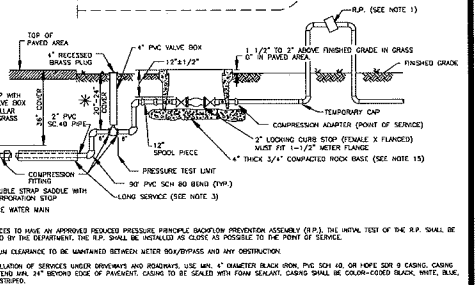
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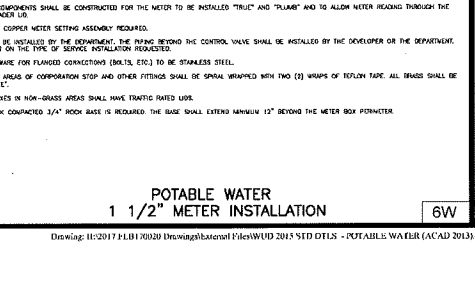
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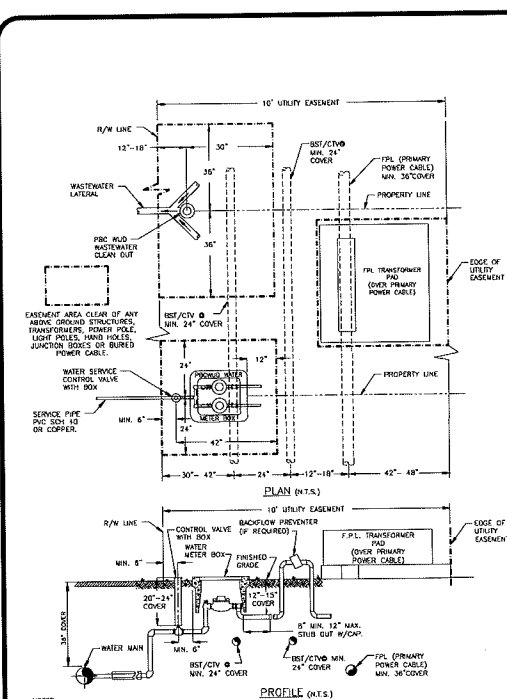
POTABLE WATER 2" METER INSTALLATION



POTABLE WATER 3" METER INSTALLATION

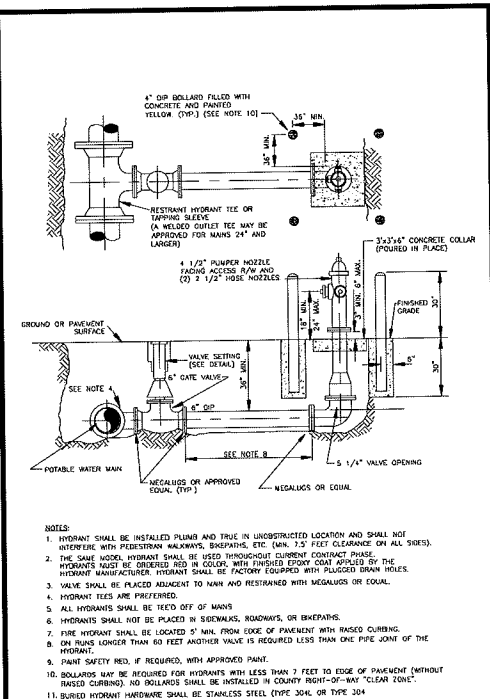


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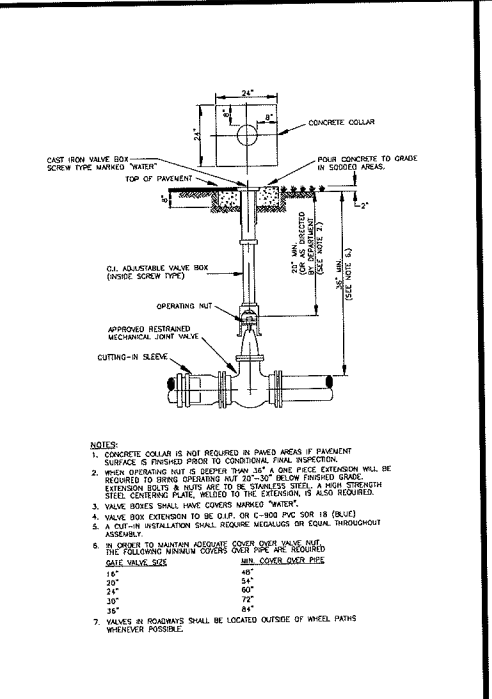
1. THE DETAIL WAS DEVELOPED IN COLLABORATION WITH UTILITY COMPANIES SUPPLYING VARIOUS UTILITY SERVICES TO P.B.C.U.D. CUSTOMERS. 2. THE DIMENSIONS SHOWN SHALL SERVE AS A GENERAL GUIDELINE TO INSTALL UTILITIES WITHIN A 10' WIDE UTILITY EASEMENT PARALLEL TO A RIGHT-OF-WAY. 3. THE PARTICIPATING UTILITIES PLEASE TO OBSERVE, FOLLOW, AND ENFORCE THE INSTALLATION PARAMETERS SHOWN ON THIS DETAIL.

TYPICAL UTILITY INSTALLATION DETAIL IN A 10' UTILITY EASEMENT ADJACENT TO R/W 11W



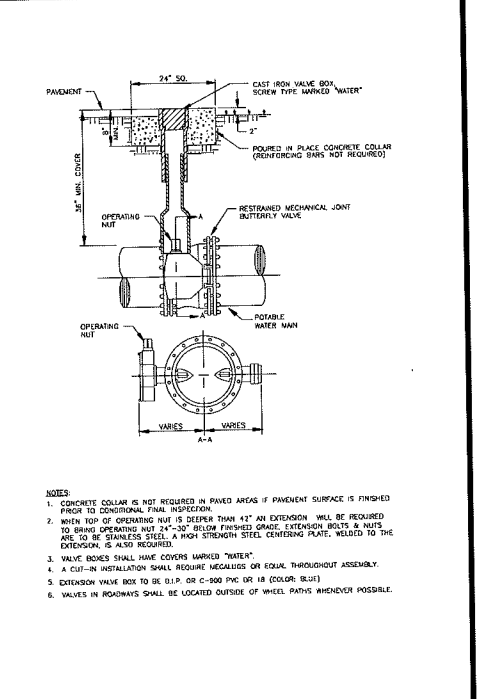
NOTES: 1. HYDRANT SHALL BE INSTALLED PLUMB AND TRUE IN UNRESTRICTED LOCATION AND SHALL NOT INTERFERE WITH PEDESTRIAN WALKWAYS, DRIVEWAYS, ETC. (MIN. 3" FEET CLEARANCE ON ALL SIDES). 2. THE SAME HOOD HYDRANT SHALL BE USED THROUGHOUT CURRENT CONTRACT PHASE. HYDRANTS MUST BE ORDERED IN COLOR WITH FINISHED EPOXY COAT APPLIED BY THE HYDRANT MANUFACTURER. HYDRANT SHALL BE FACTORY EQUIPPED WITH PLUGGED BRASS HEAD. 3. VALVE SHALL BE PLACED ADJACENT TO MAIN AND RESTRAINED WITH METALUS OR EQUAL. 4. HYDRANT FEES ARE INCLUDED. 5. ALL HYDRANTS SHALL BE TESTED OFF OF MAINS. 6. HYDRANTS SHALL NOT BE PLACED IN SIDEWALKS, ROADWAYS, OR DRIVEWAYS. 7. FIRE HYDRANT SHALL BE LOCATED 5' MIN. FROM EDGE OF PAVEMENT WITH RASSED CURBING. ON R/W LONGER THAN 80 FEET ANOTHER VALVE IS REQUIRED LESS THAN ONE PIPE JOINT OF THE HYDRANT. 8. PAINT SAFETY RING, IF REQUIRED, WITH APPROVED PAINT. 9. BOLLARDS MAY BE REQUIRED FOR HYDRANTS WITH LESS THAN 7 FEET TO EDGE OF PAVEMENT (WITHOUT RASSED CURBING). NO INLANDS SHALL BE INSTALLED IN COUNTRY RIGHT-OF-WAY "CLEAR ZONE". 10. BURIED HYDRANT HARDWARE SHALL BE STAINLESS STEEL (TYPE 304L OR TYPE 304 MULTITYPE, SEE NOTE 1). 11. NO CONNECTION (EET, TAP) IS ALLOWED BETWEEN THE HYDRANT CONTROL VALVE AND THE FIRE HYDRANT. 12. APPROVED CONNECTION CAPS WITH CHAINS ARE REQUIRED FOR ALL HYDRANTS.

TYPICAL FIRE HYDRANT INSTALLATION WITH BOLLARD DETAIL 12W



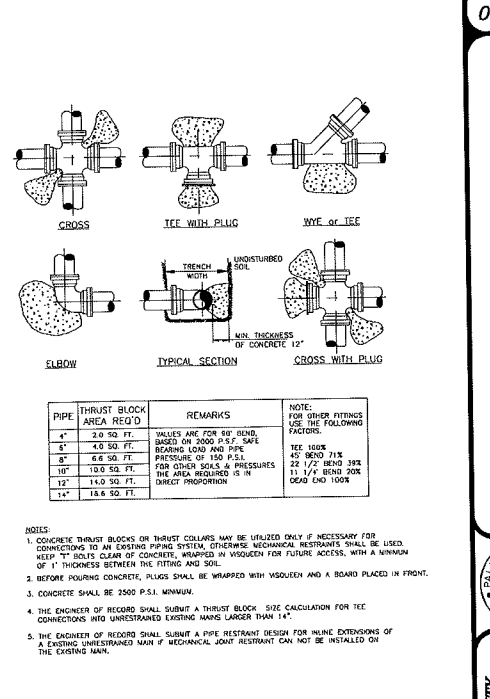
NOTES: 1. CONCRETE COLLAR IS NOT REQUIRED IN PAVED AREAS IF PAVEMENT SURFACE IS FINISHED PRIOR TO CONDITIONAL FINAL INSPECTION. 2. WHEN OPERATING NUT IS DEEPER THAN 3/4" A ONE PIECE EXTENSION WILL BE REQUIRED TO BRING OPERATING NUT 20"-30" BELOW FINISHED GRADE. EXTENSION BOLTS MUST BE STAINLESS STEEL. A HIGH STRENGTH STEEL CENTERING PLATE, WELDED TO THE EXTENSION, IS ALSO REQUIRED. 3. VALVE SIDES SHALL HAVE COVER MARKED "WATER". 4. VALVE BOX EXTENSION TO BE 0.1P OR C-800 PVC OR 18 (BLU). 5. A CUT-IN INSTALLATION SHALL REQUIRE METALUS OR EQUAL THROUGHOUT ASSEMBLY. 6. IN ORDER TO MAINTAIN ADEQUATE COVER OVER NUT AND NUT W/ OPERATING NUT, THE FOLLOWING MINIMUM COVER IS REQUIRED: GATE VALVE SIZE MIN. COVER OVER NUT 18" 20" 24" 30" 36" 42" 48" 54" 60" 72" 78" 84" 90" 7. VALVES IN ROADWAYS SHALL BE LOCATED OUTSIDE OF WHEEL PATHS WHENEVER POSSIBLE.

POTABLE WATER MAIN TYPICAL GATE VALVE SETTING AND MAIN CUT-IN DETAIL 13W



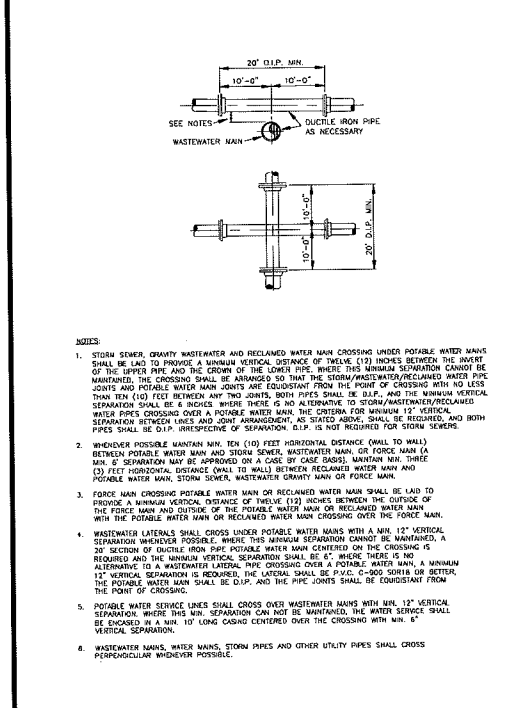
NOTES: 1. CONCRETE COLLAR IS NOT REQUIRED IN PAVED AREAS IF PAVEMENT SURFACE IS FINISHED PRIOR TO CONDITIONAL FINAL INSPECTION. 2. WHEN TOP OF OPERATING NUT IS DEEPER THAN 4" AN EXTENSION WILL BE REQUIRED TO BRING OPERATING NUT 24"-30" BELOW FINISHED GRADE. EXTENSION BOLTS & NUTS TO BE STAINLESS STEEL. A HIGH STRENGTH STEEL CENTERING PLATE, WELDED TO THE EXTENSION, IS ALSO REQUIRED. 3. VALVE SIDES SHALL HAVE COVER MARKED "WATER". 4. A CUT-IN INSTALLATION SHALL REQUIRE METALUS OR EQUAL THROUGHOUT ASSEMBLY. 5. EXTENSION VALVE BOX TO BE 0.1P OR C-800 PVC OR 18 (COLOR BLU). 6. VALVES IN ROADWAYS SHALL BE LOCATED OUTSIDE OF WHEEL PATHS WHENEVER POSSIBLE.

POTABLE WATER MAIN TYPICAL BUTTERFLY VALVE SETTING 14W



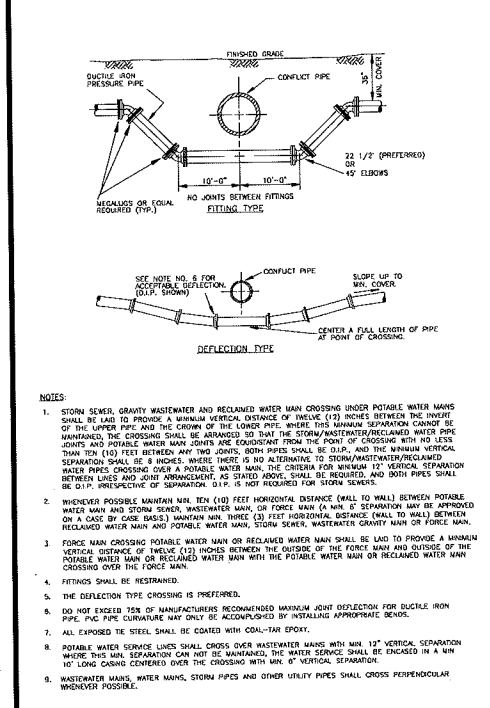
NOTES: 1. CONCRETE THRUST BLOCKS OR THRUST COLLARS MAY BE UTILIZED ONLY IF NECESSARY FOR CONNECTIONS TO AN EXISTING PIPING SYSTEM. OTHERWISE MECHANICAL RESTRAINTS SHALL BE USED. KEEP 1" GAPS CLEAR OF CONCRETE. WRAPPED IN VULCANIZED RUBBER. ACCESS WITH A MINIMUM OF 1" THICKNESS BETWEEN THE FITTING AND SOIL. 2. BEFORE POURING CONCRETE, PLUGS SHALL BE WRAPPED WITH VULCANIZED RUBBER AND A BOARD PLACED IN FRONT. 3. CONCRETE SHALL BE 2500 P.S.I. MINIMUM. 4. THE ENGINEER OF RECORD SHALL SUBMIT A THRUST BLOCK SIZE CALCULATION FOR THE CONNECTIONS INTO UNRESTRAINED EXISTING MAINS LARGER THAN 14". 5. THE ENGINEER OF RECORD SHALL SUBMIT A PIPE RESTRAINT DESIGN FOR MISC. EXTENSIONS OF AN EXISTING UNRESTRAINED MAIN IF MECHANICAL JOINT RESTRAINT CAN NOT BE INSTALLED ON THE EXISTING MAIN.

TYPICAL THRUST BLOCKS FOR PRESSURE PIPE 20W



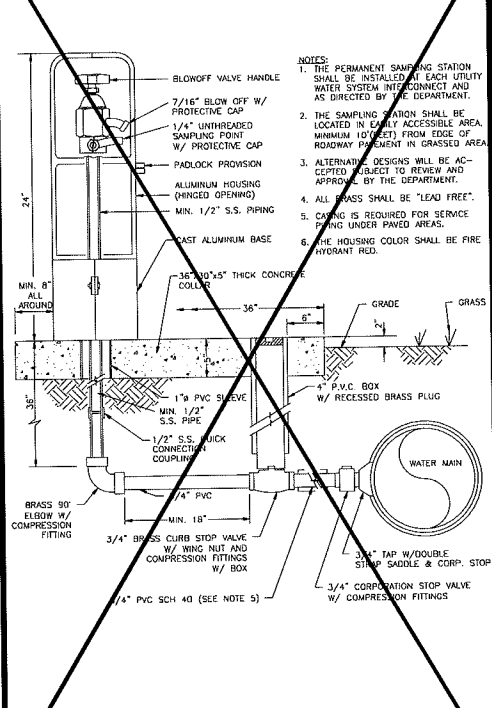
NOTES: 1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE HOUSING OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE SUCH THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN THE JOINTS. 2. WHENEVER POSSIBLE MAINTAIN MIN. TEN (10) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN (A MIN. 6" SEPARATION MAY BE APPROVED ON A CASE BY CASE BASIS). MAINTAIN MIN. THREE (3) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN RECLAIMED WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER MAIN OR FORCE MAIN. 3. FORCE MAIN CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND OUTSIDE OF THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN. WITH THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN CROSSING OVER THE FORCE MAIN. 4. WASTEWATER LATERALS SHALL CROSS UNDER POTABLE WATER MAINS WITH A MIN. 12" VERTICAL SEPARATION. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, A 20" SECTION OF DUCTILE IRON PIPE POTABLE WATER MAIN CENTERED ON THE CROSSING IS REQUIRED AND THE MINIMUM VERTICAL SEPARATION SHALL BE 6". WHERE THERE IS NO ALTERNATIVE TO A WASTEWATER LATERAL CROSSING OVER A POTABLE WATER MAIN, A MINIMUM 12" VERTICAL SEPARATION IS REQUIRED. THE LATERAL SHALL BE P.V.C. C-800 SDR18 OR BETTER. THE POTABLE WATER MAIN SHALL BE D.I.P. AND THE PIPE JOINTS SHALL BE EQUIDISTANT FROM THE POINT OF CROSSING. 5. POTABLE WATER SERVICE LINES SHALL CROSS OVER WASTEWATER MAINS WITH MIN. 12" VERTICAL SEPARATION. WHERE THIS MIN. SEPARATION CANNOT BE MAINTAINED, THE WATER SERVICE SHALL BE ENCASED IN A MIN. 10" LONG CURB CENTERED OVER THE CROSSING WITH MIN. 6" VERTICAL SEPARATION. 6. WASTEWATER MAIN, WATER MAINS, STORM PIPES AND OTHER UTILITY PIPES SHALL CROSS PERPENDICULAR WHENEVER POSSIBLE.

POTABLE WATER, WASTEWATER MAIN AND STORM SEWER CONFLICT 18W



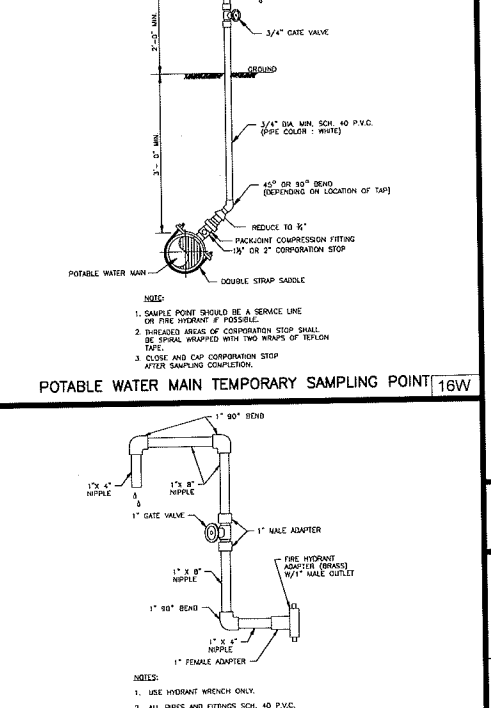
NOTES: 1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE HOUSING OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE SUCH THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY TWO JOINTS. BOTH PIPES SHALL BE D.I.P. AND THE MINIMUM VERTICAL SEPARATION SHALL BE 6" INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM 12" VERTICAL SEPARATION BETWEEN LINES AND JOINT APPROXIMATION, AS STATED ABOVE, SHALL BE REQUIRED, AND BOTH PIPES SHALL BE D.I.P. UNLESS SPECIFICALLY NOTED. D.I.P. IS NOT REQUIRED FOR STORM SEWERS. 2. WHENEVER POSSIBLE MAINTAIN MIN. TEN (10) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN (A MIN. 6" SEPARATION MAY BE APPROVED ON A CASE BY CASE BASIS). MAINTAIN MIN. THREE (3) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN RECLAIMED WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER MAIN OR FORCE MAIN. 3. FORCE MAIN CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND OUTSIDE OF THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN CROSSING OVER THE FORCE MAIN. 4. FITTINGS SHALL BE RESTRAINED. 5. THE SELECTION TYPE CROSSING IS PREFERRED. 6. DO NOT EXCEED 10% OF MANUFACTURER'S RECOMMENDED MAXIMUM JOINT DEFLECTION FOR DUCTILE IRON PIPE. P.V.C. PIPE CURVATURE MAY ONLY BE ACKNOWLEDGED BY INSTALLING APPROPRIATE BENDS. 7. ALL EXPOSED STEEL SHALL BE COATED WITH COAL-TAR EPOXY. 8. POTABLE WATER SERVICE LINES SHALL CROSS OVER WASTEWATER MAINS WITH MIN. 12" VERTICAL SEPARATION. WHERE THIS MIN. SEPARATION CANNOT BE MAINTAINED, THE WATER SERVICE SHALL BE ENCASED IN A MIN. 10" LONG CURB CENTERED OVER THE CROSSING WITH MIN. 6" VERTICAL SEPARATION. 9. WASTEWATER MAINS, WATER MAINS, STORM PIPES AND OTHER UTILITY PIPES SHALL CROSS PERPENDICULAR WHENEVER POSSIBLE.

POTABLE WATER MAIN / FORCE MAIN PRESSURE PIPE CONFLICT DETAIL 19W



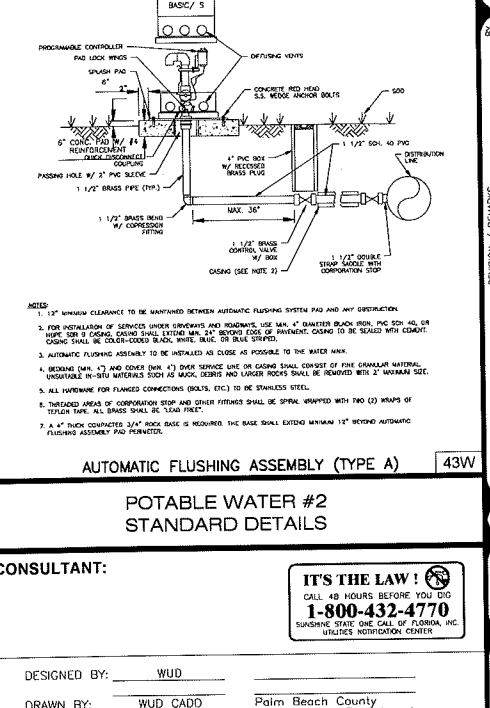
NOTES: 1. THE PERMANENT SAMPLING STATION SHALL BE INSTALLED AT EACH UTILITY WATER SYSTEM INTERCONNECT AND AS DIRECTED BY THE DEPARTMENT. 2. THE SAMPLING STATION SHALL BE LOCATED IN AN ACCESSIBLE AREA, MINIMUM 10' (3.05M) FROM EDGE OF ROADWAY PAVEMENT IN GRASSY AREA. 3. ALTERNATE DESIGNS WILL BE ACCEPTED SUBJECT TO REVIEW AND APPROVAL BY THE DEPARTMENT. 4. ALL BRASS SHALL BE "LEAD FREE". 5. CAPING IS REQUIRED FOR SERVICE LINES UNDER PAVED AREAS. 6. THE HOUSING COLOR SHALL BE FIRE HYDRANT RED.

PERMANENT SAMPLING POINT 15W



NOTES: 1. SAMPLE POINT SHOULD BE A SERVICE LINE OR FIRE HYDRANT IF POSSIBLE. 2. BURIED AREAS OF COMPRESSION STOP SHALL BE SPRAY WRAPPED WITH TWO WELPS OF TEFLON TAP. 3. CLOSE AND CAP COMPRESSION STOP AFTER SAMPLING COMPLETION. 4. DOUBLE STRAP SADDLE.

POTABLE WATER MAIN TEMPORARY SAMPLING POINT 16W



NOTES: 1. 12" MINIMUM CLEARANCE TO BE MAINTAINED BETWEEN AUTOMATIC FLUSHING SYSTEM PAD AND ANY OBSTRUCTION. 2. FOR INSTALLATION OF SERVICES UNDER DRIVEWAYS AND ROADWAYS, USE MIN. 4" QUARTER BRASS PIPING, PVC 20# ALL OR PIPE FOR 2" CHAINS. CHAINS SHALL EXTEND MIN. 24" BEYOND EDGE OF PAVEMENT. CHAINS TO BE SECURED WITH EGG-ROCK. CHAINS SHALL BE COLOR-CODED: BLACK, WHITE, OR BLUE. 3. AUTOMATIC FLUSHING ASSEMBLY TO BE INSTALLED AS CLOSE AS POSSIBLE TO THE WATER MAIN. 4. BRASS (SIL. 7) AND COVER (SIL. 7) BODY SERVICE LINE OR CHAIN SHALL CONSIST OF FIRE RESISTANT MATERIAL. UNRESTRAINED BRASS SHALL BE BLACK, GREEN AND LARGER SIZES SHALL BE REQUIRED WITH 25% WORKMAN SILE. 5. ALL HYDRANT FOR FLANGED CONNECTIONS (SADDLES, ETC.) TO BE STAINLESS STEEL. 6. BURIED AREAS OF COMPRESSION STOP AND OTHER FITTINGS SHALL BE SPRAY WRAPPED WITH TWO (2) WELPS OF TEFLON TAP. ALL BRASS SHALL BE 1200 PSI. 7. A 4" THICK CONCRETE 3/4" ROCK BASE IS REQUIRED. THE BASE SHALL EXTEND MINIMUM 12" BEYOND AUTOMATIC FLUSHING ASSEMBLY PAD PERMITS.

AUTOMATIC FLUSHING ASSEMBLY (TYPE A) 43W

POTABLE WATER #2 STANDARD DETAILS CONSULTANT: WUD DESIGNED BY: WUD DRAWN BY: WUD CADD CHECKED BY: A. GALICKI APPROVED BY: WUD IT'S THE LAW! CALL 48 HOURS BEFORE YOU DO 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC. UTILITY NOTIFICATION CENTER PALM BEACH COUNTY Water Utilities Department P.O. Box 16097 West Palm Beach, FL 33416-6097

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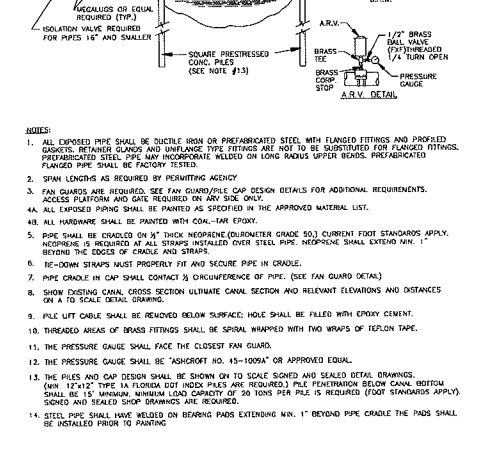
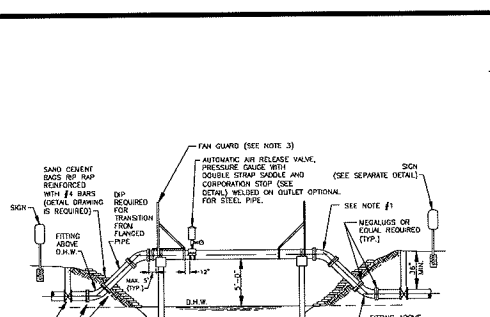
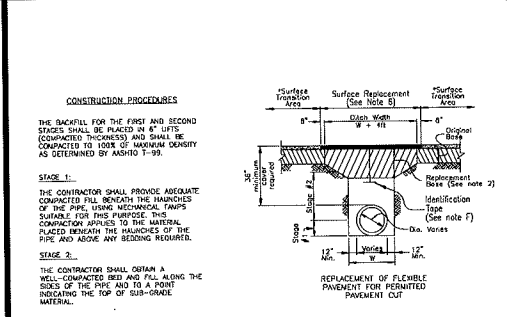


Table with columns for DATE, REVISION, and REMARKS. Includes a revision history table with dates from 2015 to 2017.

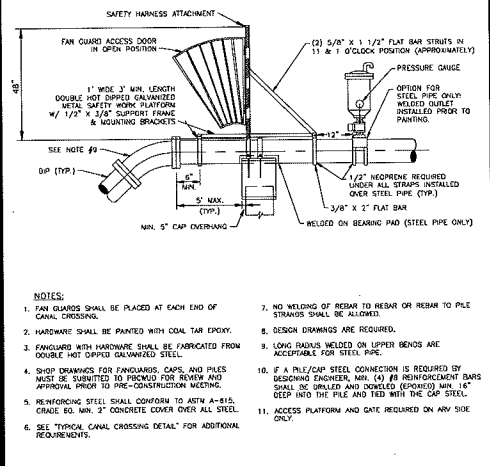
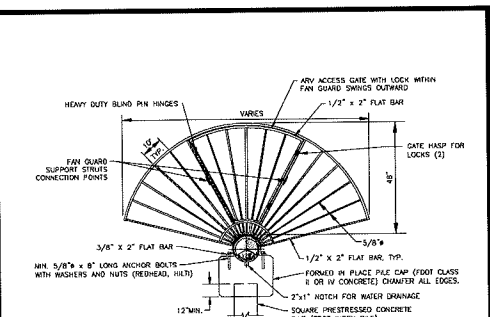
STD DETAILS SHEET NUMBER 3 OF 4 SEAL

RECEIVED by CITY OF GREENACRES

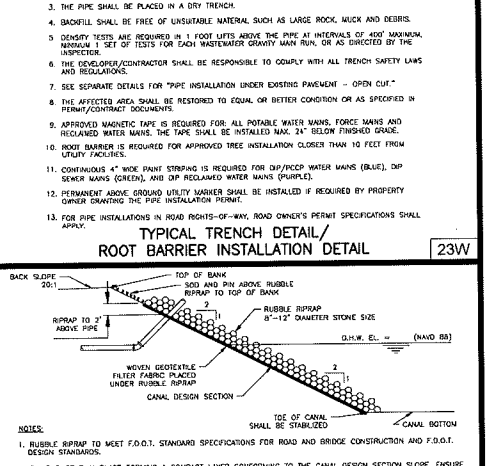
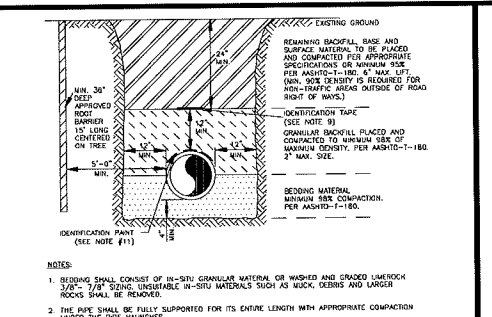
OCT 31 2017



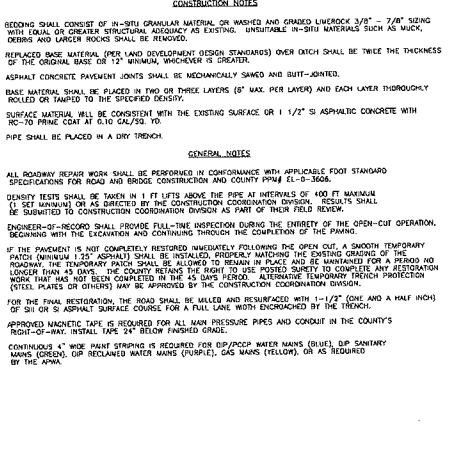
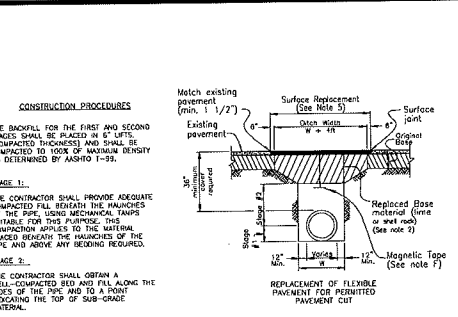
POTABLE WATER MAIN UNDERGROUND AIR RELEASE VALVE AND VAULT IN NON-TRAFFIC AREAS OUTSIDE OF ROAD R/W 28W



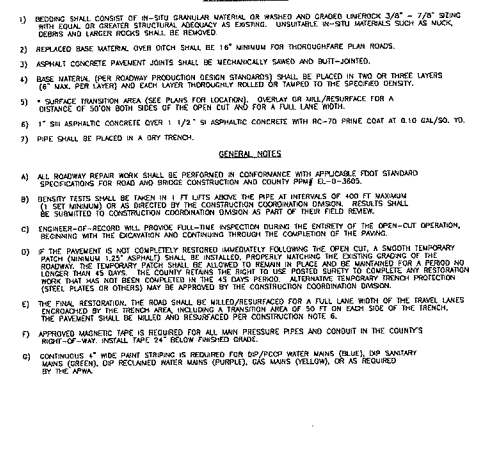
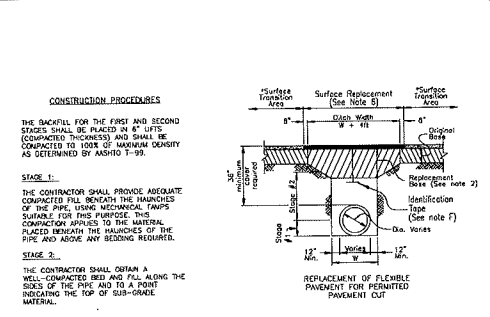
POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



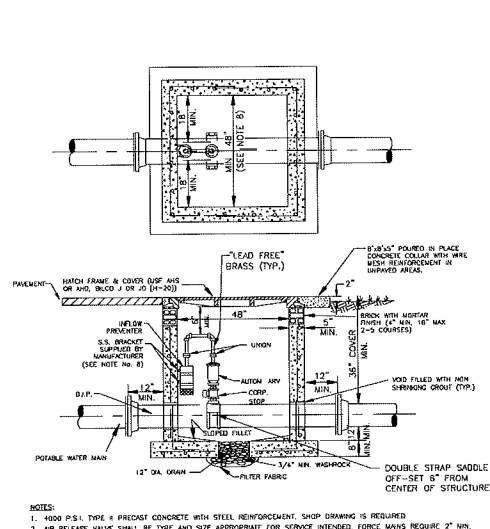
POTABLE WATER MAIN OFF-SET UNDERGROUND AIR RELEASE VALVE 30W



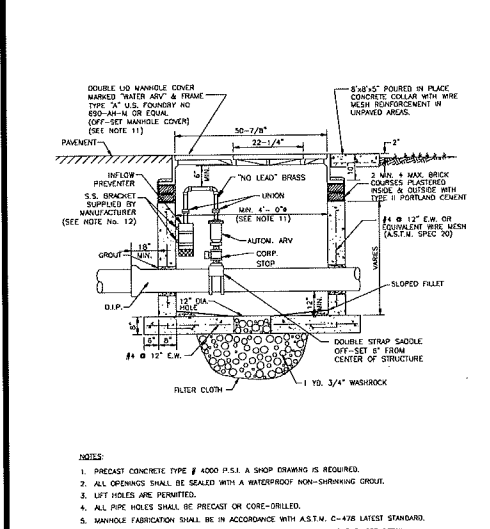
POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



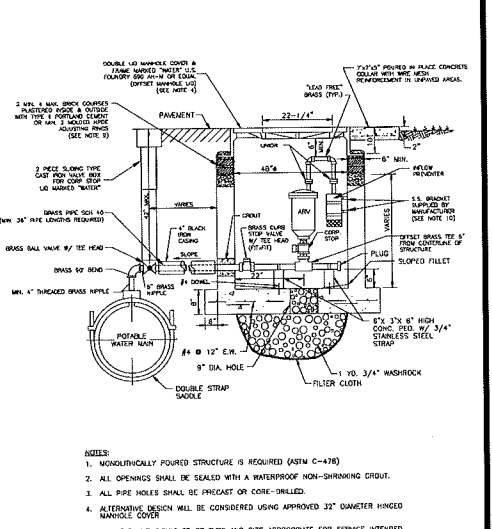
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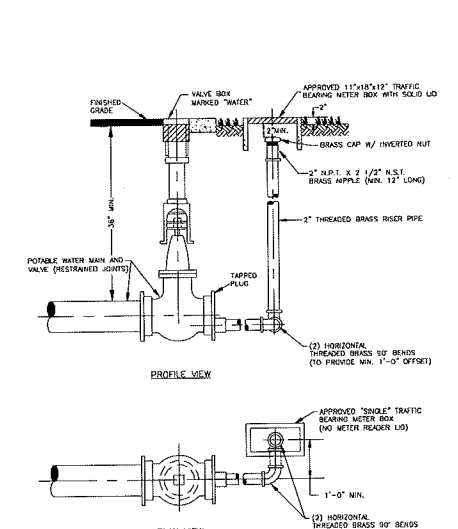
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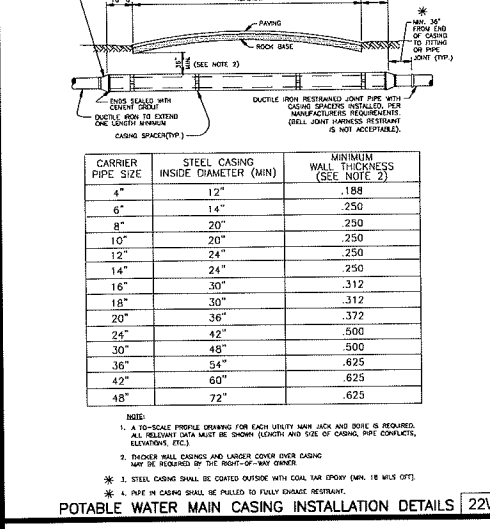
POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



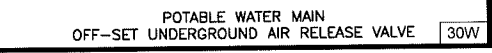
POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W

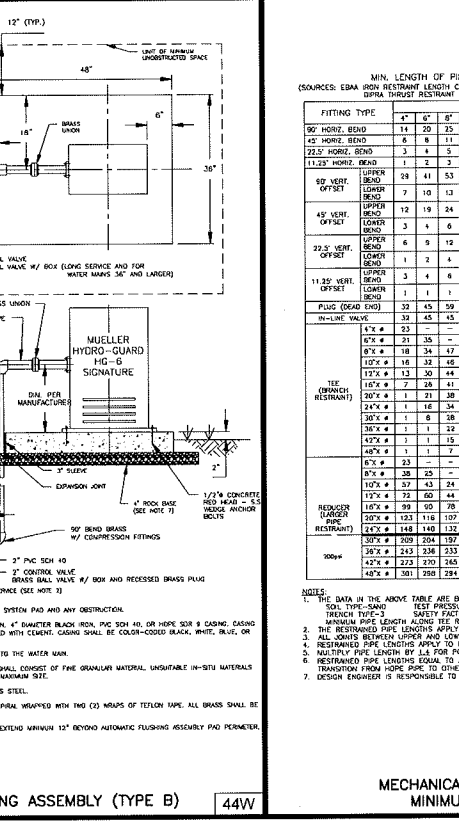
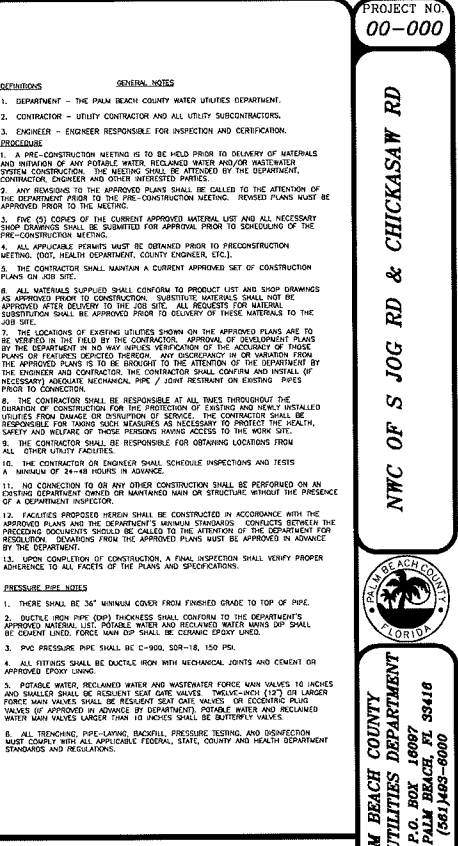
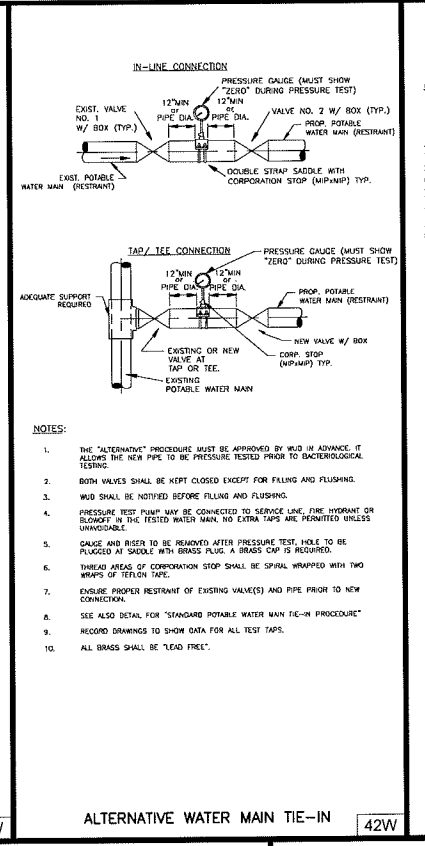
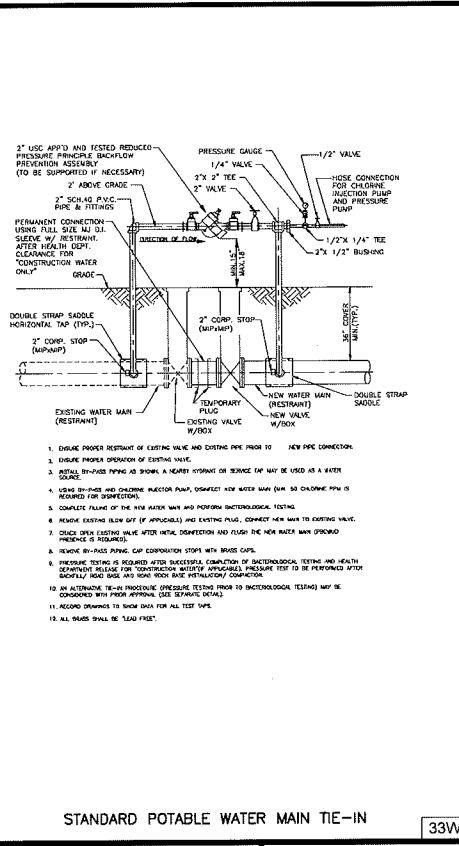
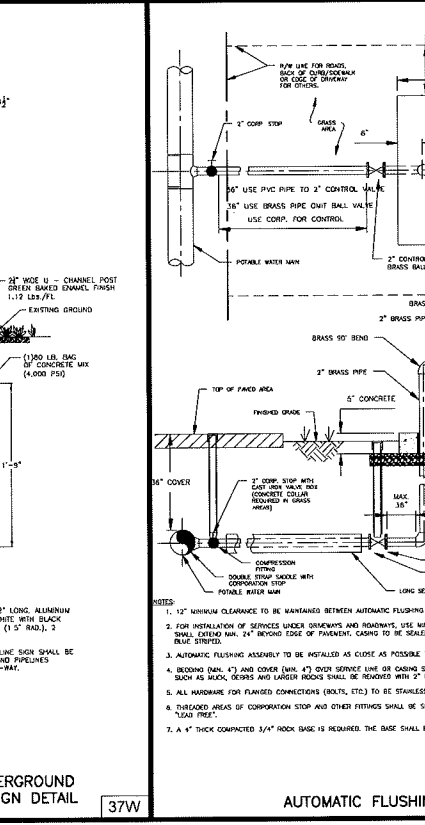
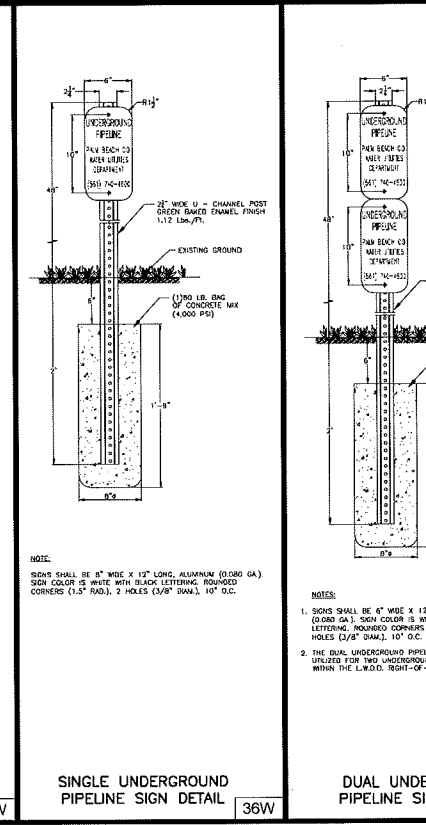
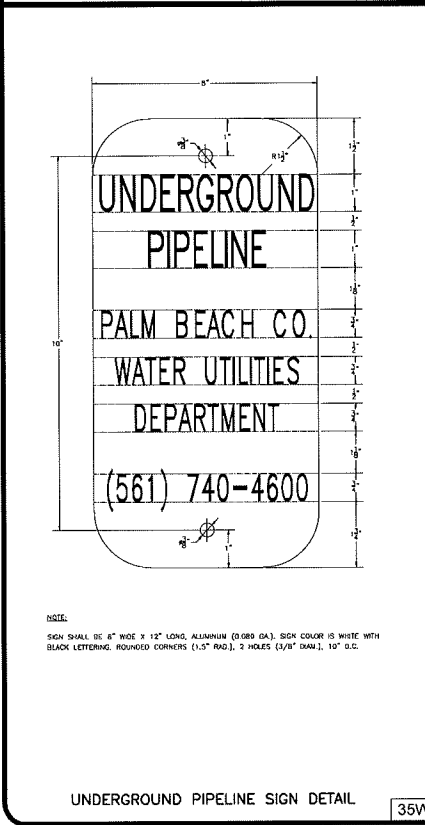
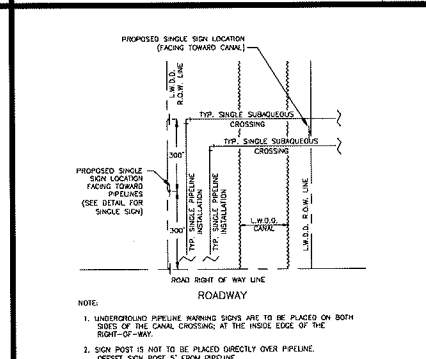
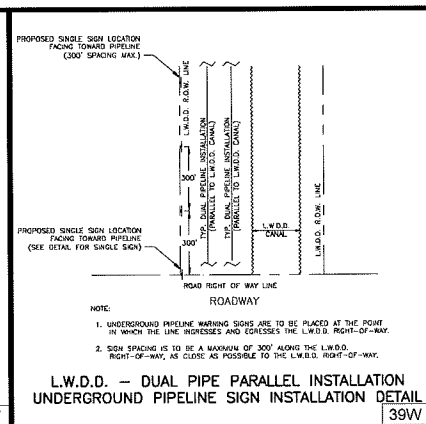
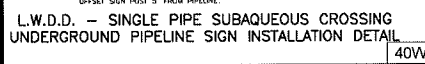
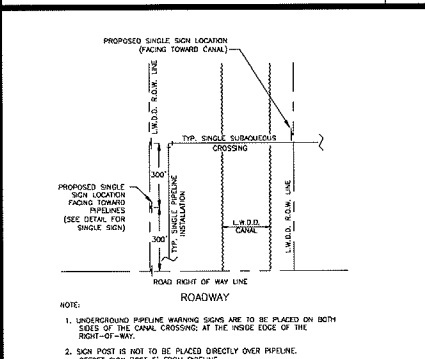
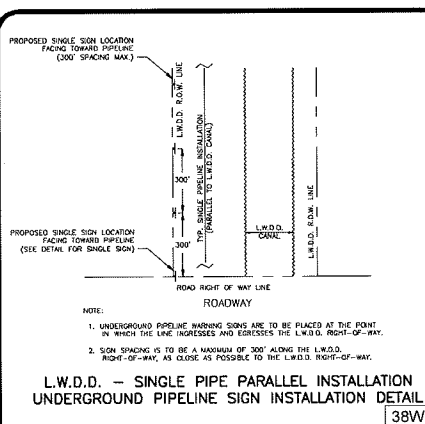


NO.	DATE	REVISION / REMARKS
1	FEB. 2015	GENERAL REVISION
2	DEC. 2015	GENERAL REVISION
3	NOV. 2015	REVISION

NO.	SHEET NUMBER
4	4
4	4

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CITY OF GREENACRES

Oct 31, 2017



MIN. LENGTH OF PIPE (FEET) TO BE RESTRAINED

FITTING TYPE	PIPE SIZE															
	4"	6"	8"	10"	12"	14"	16"	18"	20"	24"	30"	36"	42"	48"		
90° HORZ. BEND	11	20	25	30	35	40	45	50	55	60	65	70	75	80		
45° HORZ. BEND	6	8	11	13	15	18	21	24	27	30	33	36	39	42		
22.5° HORZ. BEND	3	4	5	6	7	8	9	10	11	12	13	14	15	16		
11.25° HORZ. BEND	2	3	3	4	4	4	5	5	6	6	7	7	8	8		
90° VERT. OFFSET	28	41	53	64	74	85	95	105	115	124	134	143	152	161		
45° VERT. OFFSET	12	19	24	29	34	38	43	48	53	58	63	68	73	78		
22.5° VERT. OFFSET	6	9	12	14	17	19	22	25	27	31	35	39	43	47		
90° VERT. OFFSET	3	4	6	7	9	11	13	15	17	20	22	24	27	30		
11.25° VERT. OFFSET	1	1	1	1	2	2	3	3	4	4	5	5	6	6		
FLUG (DEAD END)	33	45	56	67	77	87	97	107	117	127	137	147	157	167		
IN-LINE VALVE	33	45	56	67	77	87	97	107	117	127	137	147	157	167		

MAXIMUM QUANTITY OF WATER (GALLONS PER HOUR) THAT MAY BE SUPPLIED TO MAINLINE PRESSURE WITHIN 3 P.S.I. OF THE SPECIFIED TEST PRESSURE

AVG. TEST PRESSURE	PIPE DIAMETER (INCHES)															
	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"	20"	24"	30"	36"	42"	48"
150	0.16	0.14	0.18	0.27	0.37	0.46	0.55	0.64	0.73	0.82	0.92	1.01	1.38	1.83	2.30	
200	0.16	0.15	0.21	0.31	0.42	0.53	0.63	0.74	0.84	0.95	1.05	1.27	1.59	2.11	2.74	

FORMULA BASE: $L = (63 \times D) \times (D/P)^{1/2} \times 1/2$

L = MAXIMUM QUANTITY OF WATER TO BE ADDED (GALLONS PER HOUR)
D = DIAMETER OF PIPE (INCHES)
P = TEST PRESSURE (P.S.I.)

NOTES:

- TO OBTAIN THE MAXIMUM QUANTITY OF WATER FOR PIPE WITH 20 FT. NOMINAL LENGTHS, MULTIPLY THE QUANTITY CALCULATED FROM THE TABLE BY 0.19.
- THE MAXIMUM QUANTITY OF ADDED WATER FOR A PIPELINE IS CALCULATED BY MULTIPLYING THE QUANTITY FOR EACH PIPE SIZE OBTAINED FROM THE ABOVE TABLE BY THE QUANTITY OF THE TEST IN HOURS AND BY THE TOTAL LENGTH OF THE LINE BEING TESTED DIVIDED BY 1,000. IF THE LINE UNDER TEST CONTAINS SECTIONS OF VARIOUS DIAMETERS, THE MAXIMUM QUANTITY ADDED WILL BE THE SUM OF THE COMPUTED QUANTITIES FOR EACH SIZE.
- MAXIMUM TEST LENGTH = 2,500 FEET PER SECTION.
- THIS STANDARD SHALL REFLECT ANY REVISION OF A.W.W.A. C-800. HOWEVER, THE MAXIMUM QUANTITY OF WATER ADDED SHALL NOT EXCEED 50% OF THE RECOMMENDED RATE PER APPLICABLE A.W.W.A. C-800 STANDARD.
- STANDARD TEST PRESSURE = 150 P.S.I.; 200 P.S.I. FOR MAINS LARGER THAN 24"
- PRESSURE TEST DURATION TO BE MIN. 2 HOURS.



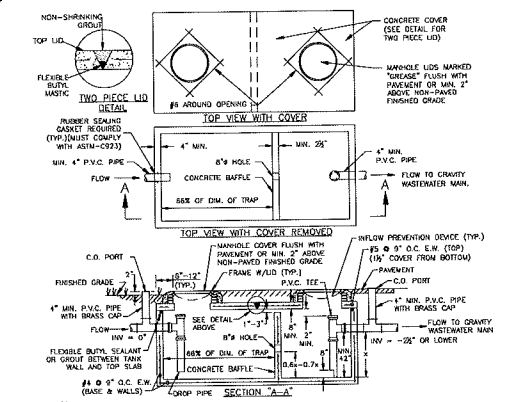
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STD DETAILS

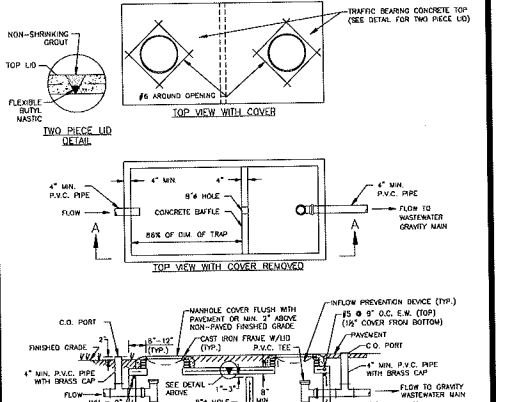
SHEET NUMBER 1 OF 2 SEAL

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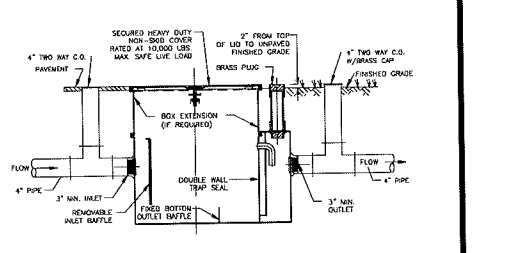
OCT 31 2017



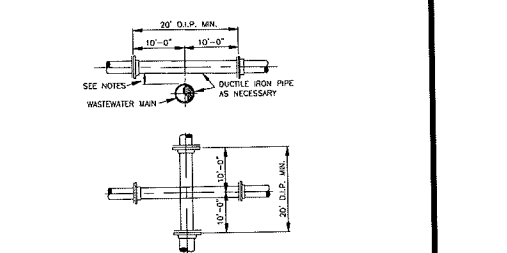
- NOTES: 1. GREASE INTERCEPTORS SHALL BE WATER-TIGHT AND SHALL BE BUILT OF PRECAST CONCRETE WHICH HAS A DESIGN COMPRESSIVE STRENGTH OF MINIMUM 3000 PSI AFTER 28 DAYS CURE. THE DESIGN, SIZING AND CONSTRUCTION MUST CONFORM TO THIS STANDARD AND TO ALL APPLICABLE BUILDING CODE AND HEALTH DEPARTMENT REQUIREMENTS AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THE FLORIDA ADMINISTRATIVE CODE, RULES AND LOCAL ORDINANCES WHICH ARE APPLICABLE TO THIS STANDARD.



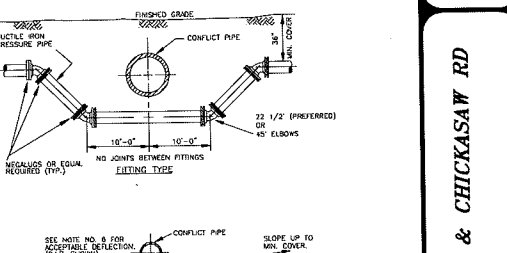
- NOTES: 1. SAND/OIL INTERCEPTORS SHALL BE WATER-TIGHT AND SHALL BE BUILT OF PRECAST CONCRETE WHICH HAS A DESIGN COMPRESSIVE STRENGTH OF MINIMUM 3000 PSI AFTER 28 DAYS CURE. THE DESIGN, SIZING AND CONSTRUCTION MUST CONFORM TO THIS STANDARD AND TO ALL APPLICABLE BUILDING CODE AND HEALTH DEPARTMENT REQUIREMENTS AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THE FLORIDA ADMINISTRATIVE CODE, RULES AND LOCAL ORDINANCES WHICH ARE APPLICABLE TO THIS STANDARD.



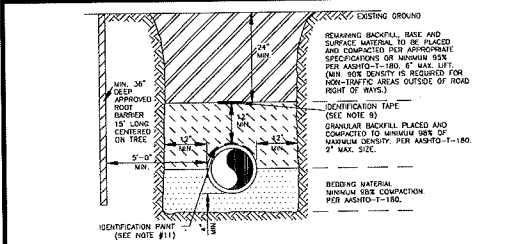
- NOTES: 1. THE GREASE TRAP SHALL BE WATER-TIGHT AND GAS TIGHT AND SHALL BE FABRICATED FROM STEEL, AND RESISTANT COATED INTERIOR AND EXTERIOR. 2. THE GREASE TRAP SHALL BE CERTIFIED AND TAGGED BY THE SEAL OF THE PLUMBING AND DRAINAGE INSTITUTE (PDI), AND PDI RATED AT 50 GPM FLOW RATE AND 100 LBS. GREASE CAPACITY. THE GREASE TRAP SIZE, DESIGN AND INSTALLATION MUST COMPLY OR EXCEED THE APPLICABLE BUILDING CODES AND REGULATIONS.



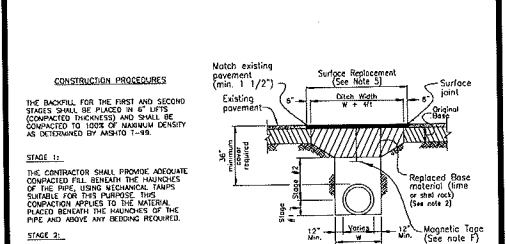
- NOTES: 1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF TWELVE (12) INCHES BETWEEN THE INVERT OF THE LOWER PIPE AND THE CROWN OF THE UPPER PIPE. UNLESS THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE IS ABOVE THE POTABLE WATER MAIN.



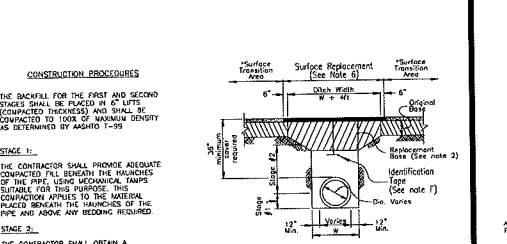
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- NOTES: 1. BEDDING SHALL CONSIST OF 30-50% GRANULAR MATERIAL OR WASHED AND GRADED LIME/SOIL 3/8" - 7/8" SAND WITH EQUAL OR GREATER STRUCTURAL RESISTANCE AS EXISTING. UNDESIRABLE IN-SITU MATERIALS SUCH AS WICK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.



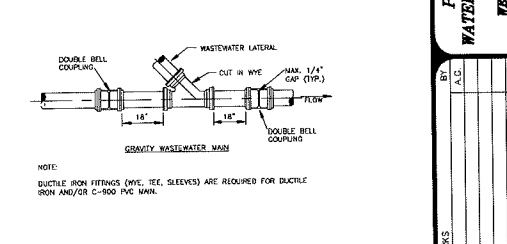
- CONSTRUCTION PROCEDURES: 1. THE BACKFILL FOR THE FIRST AND SECOND STAGE SHALL BE PLACED IN 6" LIFTS. THE BACKFILL SHALL BE WELL COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.



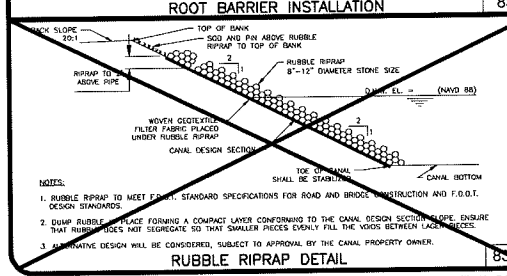
- CONSTRUCTION PROCEDURES: 1. THE BACKFILL FOR THE FIRST AND SECOND STAGE SHALL BE PLACED IN 6" LIFTS. THE BACKFILL SHALL BE WELL COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.

Table with columns for PIPE DIAMETER (INCHES) and rows for PRESSURE TEST CRITERIA. Includes a formula: Q = 150 x D^2.5 x L^0.5 x P^0.5 / 14.7.

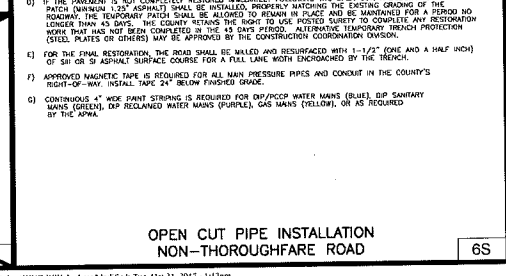
- NOTES: 1. TO OBTAIN THE MAXIMUM QUANTITY OF WATER FOR PIPE WITH 20 FT. NOMINAL LENGTHS, MULTIPLY THE QUANTITY CALCULATED FROM THE TABLE BY 0.9.



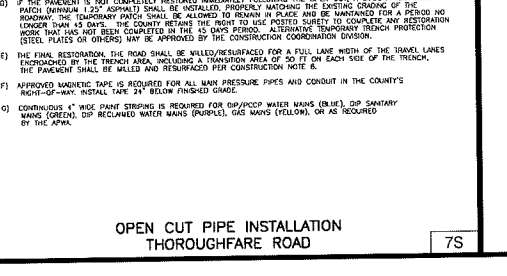
- NOTES: 1. TO OBTAIN THE MAXIMUM QUANTITY OF WATER FOR PIPE WITH 20 FT. NOMINAL LENGTHS, MULTIPLY THE QUANTITY CALCULATED FROM THE TABLE BY 0.9.



- NOTES: 1. RUBBLE RIPRAP TO MEET EXISTING STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND F.O.D.T. DESIGN STANDARDS.



- CONSTRUCTION PROCEDURES: 1. THE BACKFILL FOR THE FIRST AND SECOND STAGE SHALL BE PLACED IN 6" LIFTS. THE BACKFILL SHALL BE WELL COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.



- CONSTRUCTION PROCEDURES: 1. THE BACKFILL FOR THE FIRST AND SECOND STAGE SHALL BE PLACED IN 6" LIFTS. THE BACKFILL SHALL BE WELL COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.

Table with columns for PIPE DIAMETER (INCHES) and rows for PRESSURE TEST CRITERIA. Includes a formula: Q = 150 x D^2.5 x L^0.5 x P^0.5 / 14.7.

- NOTES: 1. TO OBTAIN THE MAXIMUM QUANTITY OF WATER FOR PIPE WITH 20 FT. NOMINAL LENGTHS, MULTIPLY THE QUANTITY CALCULATED FROM THE TABLE BY 0.9.

Consultant information: DESIGNED BY: WUD; DRAWN BY: WUD_CADD; CHECKED BY: A. GULICKI; APPROVED BY: WUD. Includes 'IT'S THE LAW!' logo and contact info for WUD.



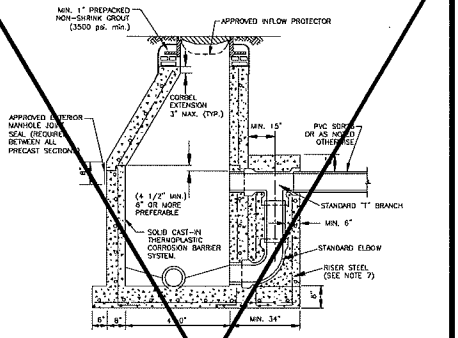
Table with columns for DATE, REVISION, and REMARKS. Includes a revision history table.

STD DETAILS
SHEET NUMBER
2 OF 2
SEAL

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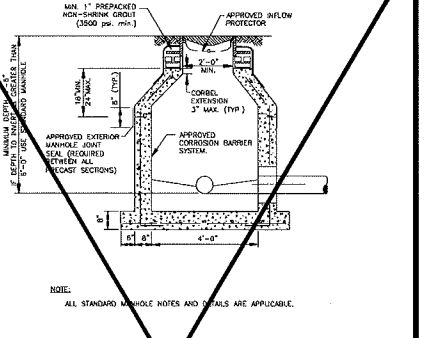
OCT 31 2017

- DEFINITIONS: DEPARTMENT - THE PALM BEACH COUNTY WATER UTILITIES DEPARTMENT. CONTRACTOR - UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS. ENGINEER - ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION. PROCEDURE: 1. ALL PRECONSTRUCTION MEETINGS... 2. ANY REMOVALS TO THE APPROVED PLANS... 3. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION PLANS ON JOB SITE. 4. ALL APPLICABLE PERMITS... 5. ALL MATERIALS SUPPLIED... 6. THE LOCATIONS OF EXISTING UTILITIES... 7. THE CONTRACTOR SHALL BE RESPONSIBLE... 8. MANHOLES OF 24" OR SMALLER... 9. NO CONNECTION TO OR ANY OTHER CONSTRUCTION... 10. THE CONTRACTOR OR ENGINEER... 11. FACILITIES PROPOSED... 12. ALL TRENCHING... 13. UPON COMPLETION OF CONSTRUCTION... 14. MANHOLES AND OTHER CASTINGS... 15. ALL OPENINGS IN PRECAST MANHOLES... 16. ALL MANHOLES SHALL BE SET FLUSH... 17. PVC WASTEWATER GRAVITY PIPE... 18. ALL FITTINGS... 19. THE COMPLETED GRAVITY WASTEWATER SYSTEM...



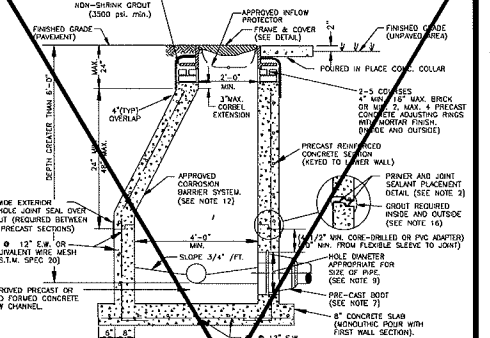
- NOTES: 1. ALL DETAILS AND SPECIFICATIONS... 2. BRICK CONDUITS SHALL BE REINFORCED... 3. MANHOLES SHALL BE SET FLUSH... 4. ALL FITTINGS SHALL BE DUCTILE IRON... 5. POTABLE WATER, RECLAIMED WATER... 6. ALL TRENCHING... 7. UPON COMPLETION OF CONSTRUCTION... 8. MANHOLES AND OTHER CASTINGS... 9. ALL OPENINGS IN PRECAST MANHOLES... 10. ALL MANHOLES SHALL BE SET FLUSH... 11. PVC WASTEWATER GRAVITY PIPE... 12. ALL FITTINGS... 13. THE COMPLETED GRAVITY WASTEWATER SYSTEM...

DROP CONNECTION PRECAST MANHOLE 15S



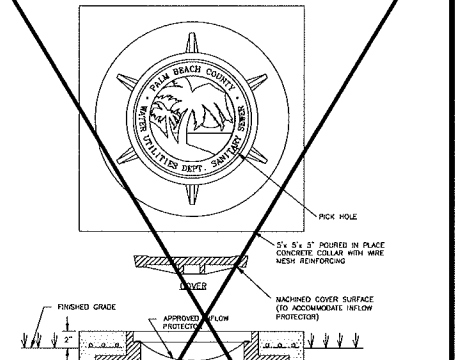
- NOTES: 1. ALL STANDARD MANHOLE NOTES AND DETAILS ARE APPLICABLE.

SHALLOW MANHOLE 14S



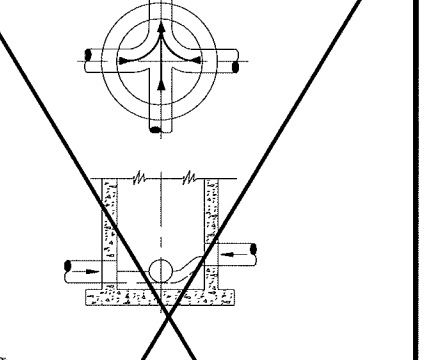
- NOTES: 1. PRECAST CONCRETE TYPE 8 4000 P.S.I. CALICIOUS AGGREGATE REQUIRED... 2. INSTALL APPROVED JOINT SEALANT... 3. ALL OPENINGS SHALL BE SEALED... 4. FLOW CHANNELS SHALL BE PRECAST... 5. LIFT HOLES ARE PERMITTED... 6. ALL PIPE HOLES SHALL BE PRECAST... 7. A. FOR PVC PIPE ENTERING MANHOLE... B. CONNECTION TO A MANHOLE... C. THE INSIDE AND OUTSIDE SPACE... 8. 8" DIAMETER PIPE 15' HOLE IN PVC... 9. MANHOLE FABRICATION SHALL BE... 10. MINIMUM 5 FEET IS REQUIRED... 11. MANHOLES TO BE CONCRETE... 12. APPROVED INFLOW PROTECTORS... 13. APPROVED INFLOW PROTECTORS ARE REQUIRED... 14. MANHOLES IN PROXIMITY... 15. SPECIAL PRECAST CONCRETE GROUP IS REQUIRED...

STANDARD MANHOLE 13S



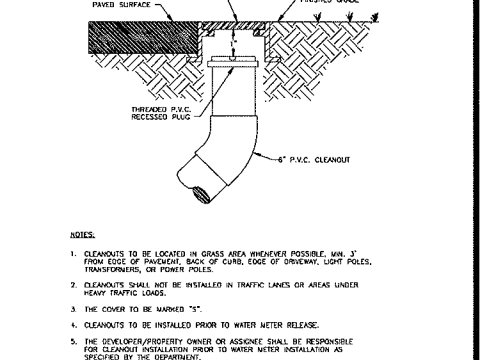
- NOTES: 1. PRECAST MANHOLE FRAME AND COVER SHALL BE CONSTRUCTED... 2. SERVICE LATERALS SHALL NOT ENTER MANHOLES... 3. APPROVED PRECAST FRAME OR FRAME REINFORCED... 4. DIMENSIONS OF FLOW CHANNELS... 5. NO INLET DROP UNDER... 6. THE FIELD APPROVED CONCRETE BARRIER SYSTEM...

GRAVITY SEWER MANHOLE FRAME & COVER 17S



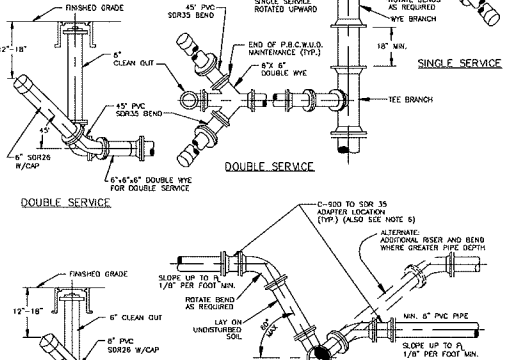
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INVERT FLOW CHANNELS 16S



- NOTES: 1. CLEANOUTS TO BE LOCATED IN GRASS AREA... 2. CLEANOUTS SHALL NOT BE INSTALLED... 3. THE COVER TO BE MARKED... 4. CLEANOUTS TO BE INSTALLED... 5. THE DEVELOPER/PROPERTY OWNER... 6. A CONCRETE COLLAR... 7. ALONG STREETS WITH ADJACENT NON-EXCLUSIVE UTILITY CASING...

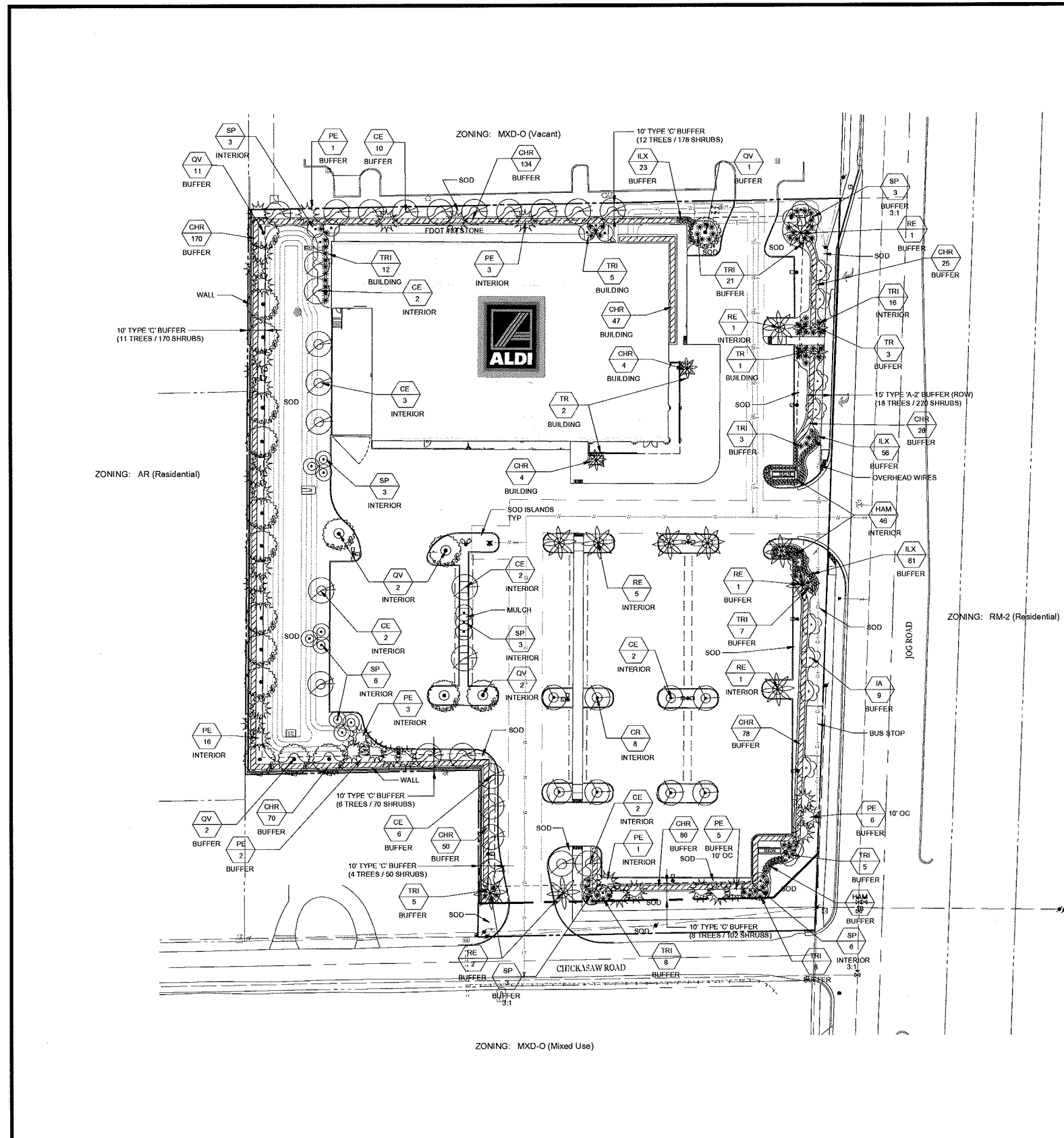
TYPICAL CLEANOUT INSTALLATION 11S



- NOTES: 1. MIN. 3" AND 5' MAX. DEPTH IS REQUIRED... 2. CLEAN OUT IS TO BE INSTALLED... 3. WASTEWATER MAIN WYE BRANCH... 4. CLEAN OUTS DESIGNATING... 5. THE DEVELOPER/PROPERTY OWNER... 6. SEE MINIMUM SEPARATION STATEMENT... 7. ALONG STREETS WITH ADJACENT NON-EXCLUSIVE UTILITY EASEMENT... 8. MIN. 3" HORIZONTAL SEPARATION...

TYPICAL WASTEWATER SERVICE CONNECTION 12S

THIS SPACE INTENTIONALLY LEFT BLANK



SITE DATA:

ZONING: CN - COMMERCIAL NEIGHBORHOOD
 SITE AREA: 146,184 SF
 BUILDING AREA: 22,245 SF
 PARKING AREA: 64,021 SF

GENERAL LANDSCAPE NOTES

- SEE DRAWING L-2.1 FOR LANDSCAPE SPECIFICATIONS AND PLANTING DETAILS
- ALL PLANTING BEDS TO BE MULCHED WITH 3" CHOCOLATE DESIGNER MULCH. INSTALL A DOUBLE LAYER OF WEED FABRIC UNDER ALL MULCH INSTALLATIONS
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
- DIGGING IN UTILITY EASEMENTS SHALL BE BY HAND ONLY

LANDSCAPE CALCULATIONS:

BUFFERS:
 NORTH - 10' TYPE 'C'
 PLANTINGS REQUIRED = 1 TREE / 30 LF (255) + CONTINUOUS HEDGE
 PLANTINGS PROVIDED = 12 TREES + 178 SHRUB HEDGE
 WEST - 10' TYPE 'C'
 PLANTINGS REQUIRED = 1 TREE / 30 LF (337 + 100') + CONTINUOUS HEDGE
 PLANTINGS PROVIDED = 15 (11 + 4 TREES) + 220 (170 + 50 SHRUB HEDGE)
 EAST (JOG ROW) - 15' TYPE 'A-2'
 PLANTINGS REQUIRED = 1 TREE / 25 LF (440) + CONTINUOUS HEDGE + 2' BERM
 PLANTINGS PROVIDED = 18 TREES + 279 SHRUB HEDGE ON 2' BERM
 SOUTH (ROW) - 10' TYPE 'B'
 PLANTINGS REQUIRED = 1 TREE / 25 LF (140' + 203') + CONTINUOUS HEDGE
 PLANTINGS PROVIDED = 14 (6 + 8 TREES) + 180 (70 + 102 SHRUBS)
INTERIOR LOT:
 REQUIRED = LANDSCAPE 10% OF PARKING AREA (64,021 SF) = 6,402 SF (1 TREE / 100 SF)
 PROPOSED = 84 TREES + 62 SHRUBS
BUILDING FOUNDATION PLANTINGS:
 REQUIRED = MIN. 5% OF PARKING AREA LANDSCAPE (6,402) AS BUILDING LANDSCAPE
 PROPOSED = 614 SF, 1 TREE (3 PALMS @ 3-1), 72 SHRUBS

PLANT SCHEDULE

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES				
IA*	9	Ilex x attenuata 'East Palatka'	East Palatka Holly	12' Ht x 5' Spr x 2" Cal, 5' CT
CE*	29	Conocarpus erectus 'Sericeus'	Silver Buttonwood	12' Ht x 5' Spr x 2" Cal, 5' CT
QV*	18	Quercus virginiana	Live Oak	12' Ht x 5' Spr x 2" Cal, 5' CT
PE*	37	Pinus elliotii var. Densa	Slash Pine	12' Ht x 5' Spr x 2" Cal, 5' CT
CR*	8	Clusia rosea	Pitch Apple	12' Ht x 5' Spr x 2" Cal, 5' CT
PALMS				
RE*	11	Roystonea elata	Florida Royal Palm	12' Grey Wood (1:1)
SP*	27	Sabal Palmetto	Sabal Palm	Relocated (3:1)
TR*	6	Thrinax radiata	Florida Thatch Palm	8' Ht (3:1)
SHRUBS				
TRI*	90	Tripsacum dactyloides	Fakahalchee Grass	3G, 24"x24", Space as shown
CHR*	696	Chrysobalanus icaco 'Red Tip'	Red Tip Coccolum	3G, 24" x 18", 24" On Center, Hedge
HAM*	62	Hamelia patens var. glabra	Dwarf Firebush	3G, 18" x 18", 24" On Center
ILX*	140	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	3G, 12" x 12", 24" On Center
SOD				
SOD	**	Stenolaphrum secundatum	St. Augustine	Tight closed joints, no overlap

* NATIVE SPECIES
 ** CONTRACTOR TO VERIFY SQUARE FOOTAGE
 M = MITIGATED TREE

IRRIGATION PERFORMANCE NOTES:

- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED, THAT WILL PROVIDE 100 PERCENT COVERAGE WITH 50 PERCENT OVERLAP FOR ALL LANDSCAPE. THE WATER SOURCE WILL BE THE BUILDING'S POTABLE WATER SERVICE LINE. THE SYSTEM WILL INCLUDE THE INSTALLATION OF A BACKFLOW PREVENTER AND RAIN SENSOR, AND WILL OPERATE FROM 5 PM TO 8 AM.
- THE IRRIGATION SYSTEM WILL BE DESIGNED WITH HYDRO-ZONES, BASED ON PLANT WATERING NEEDS. TURF, SHRUBS, AND TREES WILL BE WATERED BY SEPARATE ZONES, AND ALL TREES WILL HAVE BUBBLER HEADS.



SCOTT BARBER DESIGNS P.A.
 LANDSCAPE ARCHITECTURE & PLANNING
 1551 WYNDLETT DRIVE
 WILMINGTON, DE 19804
 (302) 406-7863

REVISIONS			
REV	DATE	COMMENT	BY

REVISIONS			
REV	DATE	COMMENT	BY



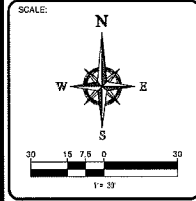
NOT APPROVED FOR CONSTRUCTION

PROJECT NO.:	17-010.04
DESIGNED BY:	SB
CHECKED BY:	SB
DATE:	10/30/17
SCALE:	1" = 30'
DRAWN BY:	L-1 DWG

CONSTRUCTION PLANS FOR

ALDI, INC

LOCATION OF SITE:
 NW CORNER OF S JOG ROAD & CHICKSAW ROAD
 PALM BEACH COUNTY
 GREEN ACRES, FL

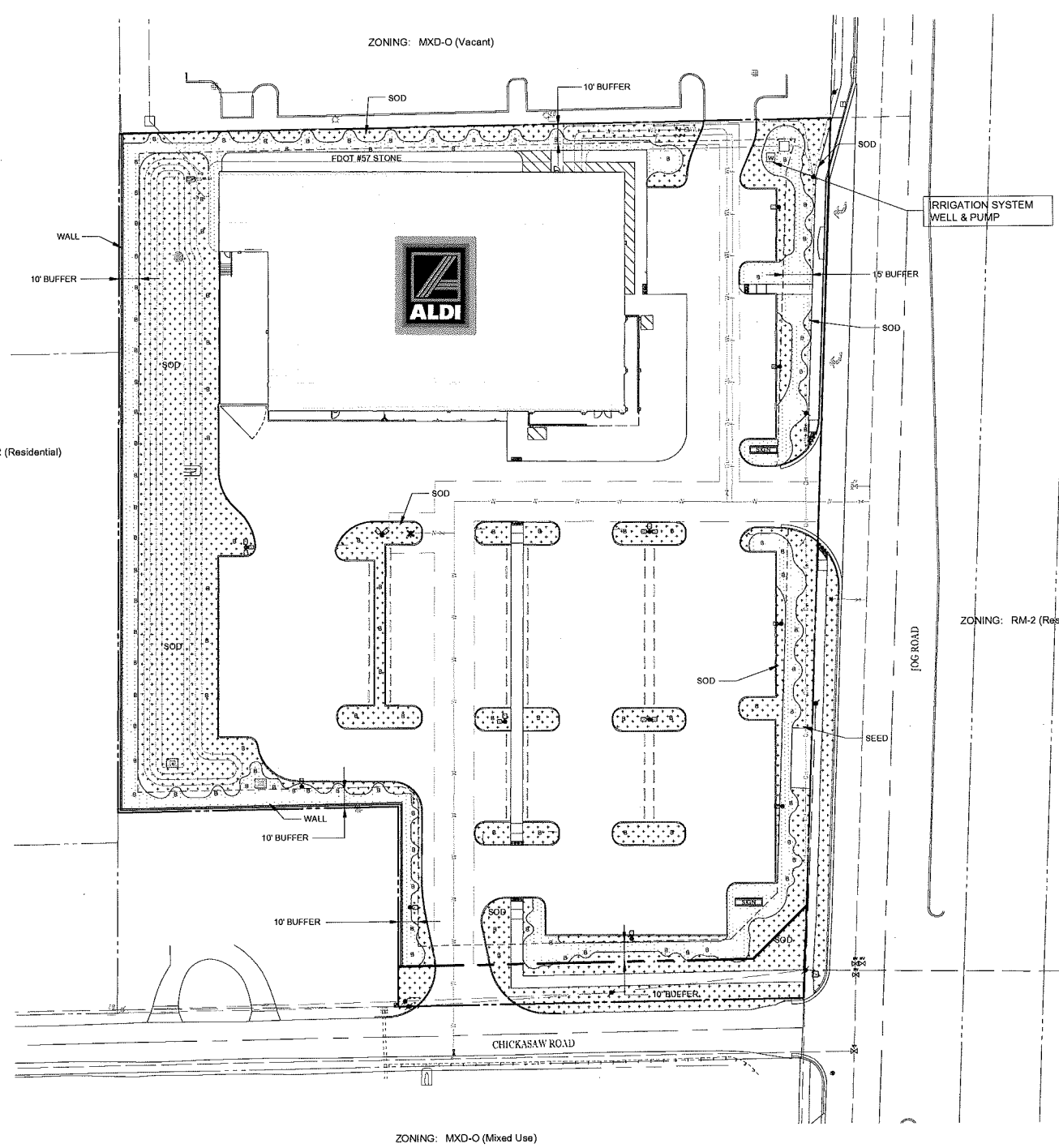


LANDSCAPE PLAN

SHEET NUMBER
L-1.0

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IRRIGATION LEGEND:

- DRIPLINE IRRIGATION (SHRUB BEDS)
- CONVENTIONAL POP-UP SPRAY (SHRUB BEDS)
- CONVENTIONAL POP-UP & ROTOR SPRAY (LAWN GRASS)
- FLOOD BUBBLERS (TREES)
- IRRIGATION WELL AND PUMP STATION

IRRIGATION SYSTEM PERFORMANCE NOTES:

1. AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED, THAT WILL PROVIDE 100 PERCENT COVERAGE WITH 90 PERCENT OVERLAP FOR ALL LANDSCAPE. THE WATER SOURCE WILL BE A WELL, IN THE LOCATION SHOWN ON THIS PLAN. THE SYSTEM WILL INCLUDE THE INSTALLATION OF A RAIN SENSOR, AND WILL OPERATE FROM 5 PM TO 8 AM.
2. THE IRRIGATION SYSTEM WILL BE DESIGNED WITH HYDRO-ZONES, BASED ON PLANT WATERING NEEDS. TURF, SHRUBS, AND TREES WILL BE WATERED BY SEPARATE ZONES, AND ALL TREES WILL HAVE BUBBLER HEADS.

IRRIGATION INSTALLATION NOTES:

1. The Contractor must comply with the current Florida Building Code.
2. No product substitutions or changes will be allowed without the written approval of the Owner and Irrigation Designer.
3. No dedicated irrigation water meter is permitted or needed as part of this project.
4. Over-spray onto buildings, signs or pavement is prohibited.
5. The Contractor is responsible for locating utilities prior to digging.
6. No rocks or other extraneous materials to be used in backfilling of pipe trenches.
7. All pipe to be installed as per manufacturer's specifications.
8. All threaded joints to be coated with Teflon tape or liquid Teflon.
9. All pipes to be thoroughly flushed before installation of heads.
10. All low voltage electrical connections made in the field to be installed in valve boxes with waterproof connectors.
11. The Contractor shall be responsible for proper coverage of all landscape areas.
12. The Contractor to supply to the Owner with operation manuals and two (2) wrenches for adjusting each valve and head type.
13. All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
14. All control wires shall be minimum #14 AWG. Run two (2) spare control wires and identify them in the valve box.
15. All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valve boxes with covers. All shall be marked indicating station numbers.
16. 120 VAC electrical power source at pump station shall be provided. See electrical design drawings. The electrical contractor shall make the final connection from the electrical source to the pump station.
17. The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
18. Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered during design. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
19. All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
20. The irrigation contractor shall install check valves on all irrigation heads as needed to prevent low head drainage where possible post valve shut-off draining will occur.
21. Installer is required to conduct final testing and adjustment to achieve design specification prior to completion of the system and acceptance by the owner or owner's representative.
22. Contractor to provide owner with post construction documentation, including as-built drawings, recommended maintenance schedules and activities, operational schedule, design precipitation rates, system adjusting methods for decreasing water once landscape is established, water source and shutoff method and all operational guides for controller.

IRRIGATION SYSTEM TESTING & MAINTENANCE:

TESTING:
Upon completion of main line and prior to backfill, pressure test the entire water-filled main line (with valves and backflow closed) at (150) pounds per square inch for 30 minutes using a pump and pressure gauge. Repair any systems which exceed (5) pounds per square inch drop in 30 minutes of testing, until the standard can be achieved and verified.

IRRIGATION SESSIONS:
Before scheduling run times, the site should be "walked" and planted areas inspected to observe plant stress and health. Soil moisture levels should be inspected throughout planted areas, and appropriate adjustments made to the irrigation schedule. Each irrigation session should be scheduled to encourage deep roots through deep watering and minimal runoff. This can be achieved through use of multiple short repeat cycles when necessary, especially on slopes and sites with compacted soils. Watering times should deliver enough water to soak the ground to a depth of 12 inches. Run times should be adjusted accordingly to soil type and plant water requirements. Less water is needed to soak a sandy soil compared to a clay soil. Soils should be allowed to dry to a 50% moisture depletion level between irrigations to avoid root rot and allow adequate air to be present in the soil. Run times shall be adjusted seasonally.

IRRIGATION MAINTENANCE:
Every month the irrigation system shall be inspected to ensure that the various components and functions of the irrigation system are functioning properly. The scope of work includes, but is not limited to, well and pump station, piping system, electrical system, sprinkler heads, nozzles, drip components, valves, controller and weather/soil sensors.

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PLANNING & ENGINEERING

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LANDSCAPE ARCHITECTURE & PLANNING
1511 WYNDLETT DRIVE
PALM BEACH, FL 33411-3801

REVISIONS

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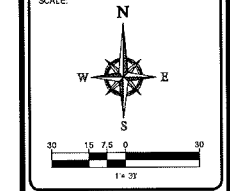
NOT APPROVED FOR CONSTRUCTION

PROJECT NO:	17-01004
DESIGNED BY:	SB
CHECKED BY:	SB
DATE:	10/30/17
SCALE:	1" = 30'
CADW:	L-2 DWG

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CONSTRUCTION PLANS
FOR
ALDI, INC

LOCATION OF SITE:
NW CORNER OF S. JOG ROAD
& CHICKASAW ROAD
PALM BEACH COUNTY
GREEN ACRES, FL



SHEET TITLE:
IRRIGATION CONCEPT PLAN

SHEET NUMBER:
L-2.01

GENERAL LANDSCAPE NOTES:

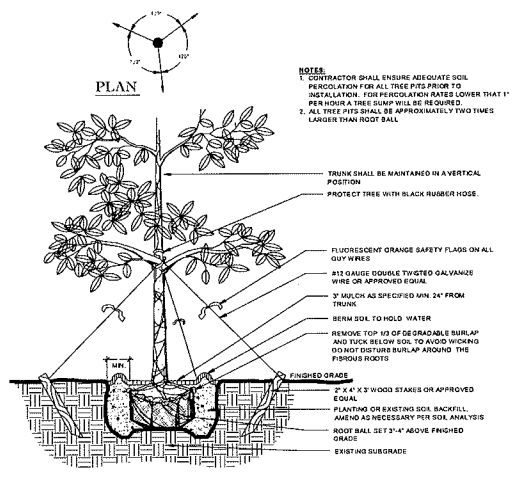
- NO REFERENCE TO ENGINEERING SHOULD BE MADE FROM THIS SHEET. SHEET(S) ARE FOR LANDSCAPE REFERENCE ONLY.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND WRITTEN SPECIFICATIONS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL BY THE OWNER'S REP.
- THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH EXISTING CODES AND APPLICABLE DEED RESTRICTIONS OR REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT MATERIAL QUANTITIES PRIOR TO BIDDING. NOTIFY OWNER'S REP OF ANY QUANTITY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ANY DEVIATION FROM PLANT QUANTITY, SIZE OR GRADE MAY JEOPARDIZE THE CERTIFICATE OF OCCUPANCY.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. OWNER'S REP SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE PLANS.
- CONTRACTOR TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA, INC AT 800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
- THE HEALTHY, NEAT, AND ORDERLY APPEARANCE OF ALL REQUIRED LANDSCAPING MATERIALS IS THE CONTINUAL RESPONSIBILITY OF THE PROPERTY OWNER AFTER FINAL ACCEPTANCE.

GENERAL PLANTING NOTES:

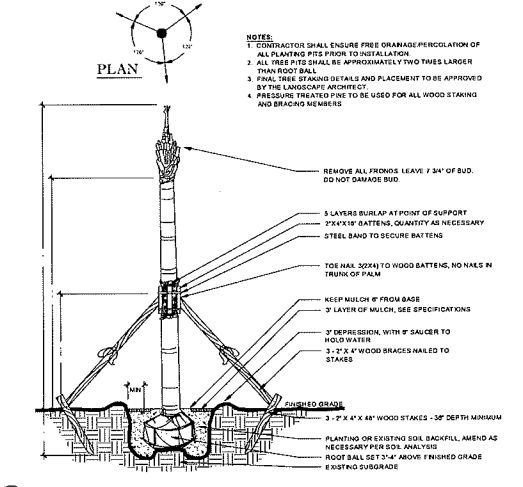
- NUISANCE EXISTING PLANT SPECIES REMOVAL SHALL BE COMPLETED IN ACCORDANCE WITH SECTIONS OF THE MUNICIPAL REGULATIONS, ORDINANCES AND STANDARDS.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER, AS SET FORTH BY THE LATEST EDITION OF FLORIDA GRADES AND STANDARDS.
- PLANT MATERIAL SHALL BE LOCAL FLORIDA NURSERY STOCK.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANT MATERIAL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY IMPROPER SOIL CONDITIONS (WEEDS, MUCK, DEBRIS, ETC.) PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL AMENDMENTS AND/OR FERTILIZER REQUIRED TO PROMOTE HEALTHY, VIGOROUS PLANT GROWTH.
- ALL PLANT MATERIAL HOLES SHALL BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES OR PROJECT IMPROVEMENTS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTINGS UNTIL FINAL ACCEPTANCE BY THE OWNER'S REP. THIS MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO KEEPING BEDS FREE OF DEBRIS AND WEEDS, MANAGING ALL DISEASE OR INFESTATION, AND WATERING OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER'S REP.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND STAKE ALL UTILITIES. A MINIMUM OF TEN FEET SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREE PLANTINGS. IN ADDITION, ALL TREES SHALL BE LOCATED AT LEAST SIX FEET AWAY FROM THE FLOW LINE OF SWALES AND PROPOSED OR EXISTING STORMWATER INLETS.
- NEW PLANT MATERIAL TO BE INSTALLED WILL BE FIELD ADJUSTED TO ACCOMMODATE EXISTING PLANT MATERIAL, SUCH AS OVERHEAD CANOPY TREES, LIAISON TREES AND SHRUBS OR GROUND COVER. THIS WILL ENSURE EXISTING PLANT MATERIAL TO REMAIN IN ITS NATURAL STATE. THEREFORE, NO EXISTING PLANT MATERIAL WILL BE ALTERED BY REMOVING, CUTTING, TRIMMING OR DESTROYING IN ORDER TO INSTALL NEW PLANT MATERIAL.
- ALL PLANT MATERIALS TO BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED. BMO GROWN PLANTS ARE NOT ACCEPTABLE.
- THE TOPSOIL USED IN THE PLANTING OPERATION SHALL BE A NATURAL, FRIABLE, FINE LOAM SOIL. IT SHALL BE CERTIFIED TO BE FREE OF WEED SEEDS AND PATHOGENS. IT SHALL ALSO BE FREE OF LITTER, SOD, CLAY, STONES, ROOTS AND STUMPS. IT SHALL HAVE A pH OF 6.5 TO 7.5.
- BED PREPARATION: LOOSEN SOIL TO A MINIMUM DEPTH OF TWELVE INCHES AND REMOVE ALL DEBRIS. RE-GRADE THE BED TO ITS PRE-PLANTING SUBGRADE. DIG PLANTING PITS AT 1.5 TIMES THE DIAMETER OF THE POT. FILL PLANT PIT WITH SPECIFIED PLANTING MIX AND COMPACT SO THAT THE TOP OF ROOT BALL WILL SETTLE 1/8" DEPTH OF THE ROOT BALL ABOVE FINISH GRADE. SET PLANT AND FILL REMAINDER OF HOLE WITH PLANTING MIX. FERTILIZE EACH PLANT WITH THE RECOMMENDED RATE BASED ON SOIL ANALYSIS AND RECOMMENDATION FOR ORNAMENTAL PLANTING. WATER IN THOROUGHLY. RESET ANY PLANTS THAT SETTLE TOO DEEP. REMOVE SPOIL SOIL AND RAKE THE BED TO ITS FINISH GRADE. COVER ALL BED AREAS WITH A 3" DEPTH OF APPROVED ORGANIC MULCH. ENSURE MULCH OVER ROOT BALLS DOES NOT EXCEED A DEPTH OF ONE INCH. REMOVE ALL DEBRIS FROM THE MULCH. WATER BED THOROUGHLY.
- ALL PROPOSED PLANTING AREAS SHALL RECEIVE A THREE INCH LAYER OF MULCH. ALL TREES NOT LOCATED WITHIN A PLANTING BED SHALL RECEIVE A FOUR FEET DIAMETER MULCH RING. SEE PLANT SCHEDULE FOR MULCH SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HOLDING THE FINE GRADING OF PLANTING AREAS TO ENSURE AT LEAST THREE PERCENT POSITIVE DRAINAGE AWAY FROM BUILDINGS AND INTO TURF AREAS, PONDS, STREETS OR OTHER DRAINAGEWAYS. IN ADDITION, THE FINISH MULCH ELEVATION AT THE BUILDING SHALL BE AT LEAST SIX INCHES BELOW FINISH FLOOR OF THE ADJACENT BUILDING. PARKING LOT ISLANDS SHALL SLOPE AT THREE PERCENT FROM CENTER. TURF AND PLANTING BEDS SHALL MEET SIDEWALKS AND FLATWORK AT TWO INCHES BELOW THE FLATWORK.
- SLOPES GREATER THAN 4:1 SHALL REQUIRE SODDING FOR STABILIZATION.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL WITHIN A REASONABLE TIME FRAME, GETTER SOIL. SODDING, PLOUGHING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE AND MAYBE UTILIZED AT THE OWNER'S DISCRETION.
- IF ALTERNATIVE VEGETATION IS UTILIZED (I.E. MATCHING AND/OR EXTENDING EXISTING SHRUB BED), THE INSTALLED MATERIAL MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASES. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. MATERIAL IN SOME INSTANCES SHALL EXCEED NO. 1 GRADE, IN ORDER TO MEET THE MINIMUM REQUIREMENTS OF THIS PROJECT.
- SOD TO BE INSTALLED IN ALL DISTURBED AREAS THAT ARE NOT LANDSCAPED OR HARDCAPED. CONTRACTOR SHALL VERIFY SOD QUANTITY.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR AND/OR REPLACE ADJACENT LAND AREA DISTURBED BY CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL REPAIR, RELOCATE AND/OR REPLACE ANY DAMAGED OR REMOVED LANDSCAPE AFFECTED BY CONSTRUCTION AND NOT DELINEATED ON THE DEMOLITION PLANS. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO ANY REMEDIATION LANDSCAPE EFFORTS.
- ALL LANDSCAPED AREAS TO BE IRRIGATED WITH A FULLY AUTOMATED IRRIGATION SYSTEM. SEE IRRIGATION PLANS AND/OR NOTES PRIOR TO CONSTRUCTION.

TREE PLANTING NOTES:

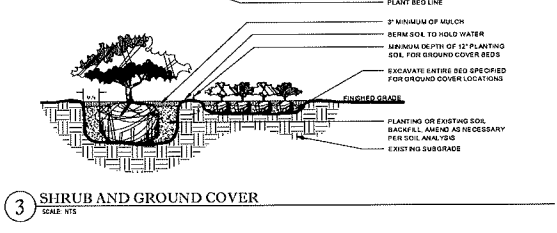
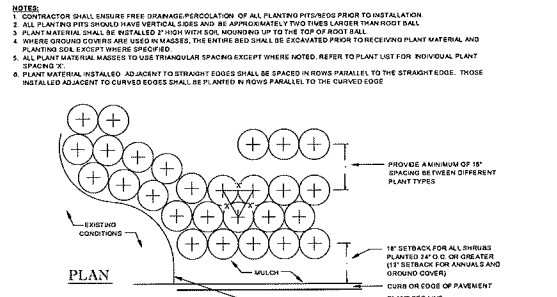
- ALL TREES MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASES. ALL TREES SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. TREES IN SOME INSTANCES SHALL EXCEED NO. 1 GRADE, IN ORDER TO MEET THE MINIMUM REQUIREMENTS OF THIS PROJECT. ALL PALMS TO BE SUN GROWN.
- ALL TREES SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF MUNICIPALITY ACCEPTANCE.
- EACH TREE SHALL RECEIVE SIX "AGRIFORM" 21 GRAM TABLETS PER MANUFACTURER'S DIRECTIONS.
- APPLY A THREE INCH LAYER OF MULCH LAYER TO ALL PROPOSED TREE, SHRUB, GROUND COVER, AND VINE PLANTINGS. TREES NOT LOCATED WITHIN A SHRUB BED SHALL RECEIVE A FOUR FEET DIAMETER MULCH RING. SEE PLANT SCHEDULE FOR MULCH SPECIFICATION.
- FLEXIBILITY SHALL BE GIVEN TO THE PLACEMENT OF STREET TREES TO ACCOMMODATE IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, LIGHTING, ETC.
- ALL STREET TREE SHALL HAVE A MINIMUM CLEARANCE OF 15' FROM STREET LIGHTS. SHALL NOT BE INSTALLED WITHIN 10 FT. OF ANY ABOVE GROUND UTILITIES OR WITHIN 30 FT. OF THE FACE OF A STOP SIGN.
- ALL STREET TREE PLANTINGS IN "COMMON AREAS" TO BE INSTALLED PRIOR TO AS-BUILT INSPECTION.
- ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI) A-300 PRUNING STANDARDS.



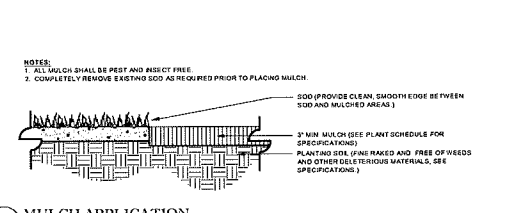
1 CANOPY TREE
SCALE: NTS



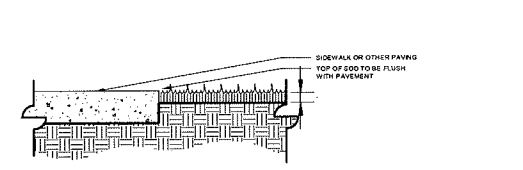
2 SABAL PALM TREE



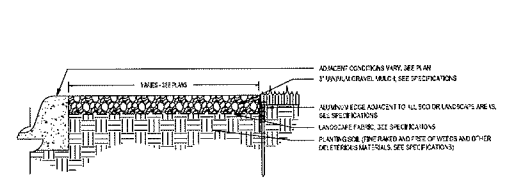
3 SHRUB AND GROUND COVER
SCALE: NTS



4 MULCH APPLICATION
SCALE: NTS



5 SOD APPLICATION
SCALE: NTS



6 GRAVEL APPLICATION
SCALE: NTS

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CHECKED BY:	SB
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CAD/DWG:	L-S-DWG

CONSTRUCTION PLANS FOR
ALDI, INC

LOCATION OF SITE:
NW CORNER OF S. JOG ROAD & CHICKSAW ROAD
PALM BEACH COUNTY
GREEN ACRES, FL

SCALE:

1" = 30'

SHEET TITLE:
LANDSCAPE DETAILS & NOTES

SHEET NUMBER:
L-5.01

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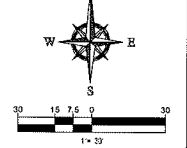
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 DRAWN BY: SB
 CHECKED BY: SB
 DATE: 10/30/17
 SCALE: 1" = 30'
 GRID: L-4 DWG

PROJECT:
CONSTRUCTION PLANS

FOR
ALDI, INC

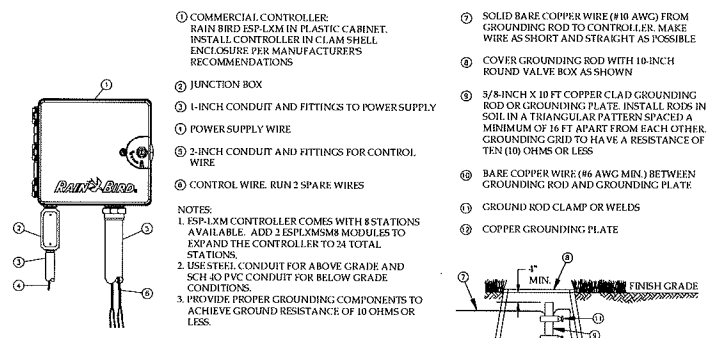
LOCATION OF SITE:
 NW CORNER OF S. JOG ROAD
 & CHICKASAW ROAD
 PALM BEACH COUNTY
 GREEN ACRES, FL

SCALE:



SHEET TITLE:
IRRIGATION DETAILS & NOTES

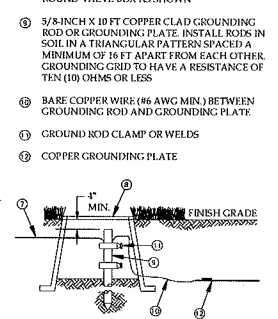
SHEET NUMBER:
L-5.02



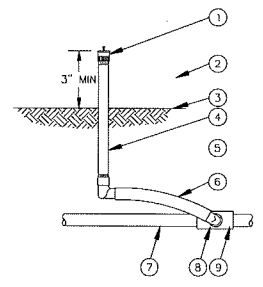
CONTROLLER DETAIL

- ① COMMERCIAL CONTROLLER: RAIN BIRD ESP-LXM IN PLASTIC CABINET. INSTALL CONTROLLER IN CLAM SHELL ENCLOSURE PER MANUFACTURERS RECOMMENDATIONS
- ② JUNCTION BOX
- ③ 1-INCH CONDUIT AND FITTINGS TO POWER SUPPLY
- ④ POWER SUPPLY WIRE
- ⑤ 2-INCH CONDUIT AND FITTINGS FOR CONTROL WIRE
- ⑥ CONTROL WIRE, RUN 2 SPARE WIRES
- ⑦ SOLID BARE COPPER WIRE (#10 AWG) FROM GROUNDING ROD TO CONTROLLER. MAKE WIRE AS SHORT AND STRAIGHT AS POSSIBLE
- ⑧ COVER GROUNDING ROD WITH 10-INCH ROUND VALVE BOX AS SHOWN
- ⑨ 3/8-INCH X 10 FT COPPER CLAD GROUNDING ROD OR GROUNDING PLATE. INSTALL RODS IN SOIL IN A TRIANGULAR PATTERN SPACED A MINIMUM OF 10 FT APART FROM EACH OTHER. GROUNDING GRID TO HAVE A RESISTANCE OF TEN (10) OHMS OR LESS
- ⑩ BARE COPPER WIRE (#6 AWG MIN.) BETWEEN GROUNDING ROD AND GROUNDING PLATE
- ⑪ GROUND ROD CLAMP OR WELDS
- ⑫ COPPER GROUNDING PLATE

NOTES:
 1. ESP-LXM CONTROLLER COMES WITH 8 STATIONS AVAILABLE. ADD 2 ESP-LXM588 MODULES TO EXPAND THE CONTROLLER TO 24 TOTAL STATIONS.
 2. USE STEEL CONDUIT FOR ABOVE GRADE AND SCH 40 PVC CONDUIT FOR BELOW GRADE CONDITIONS.
 3. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.



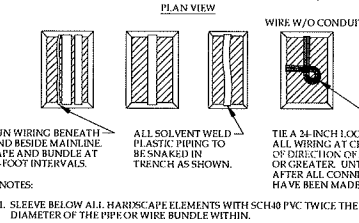
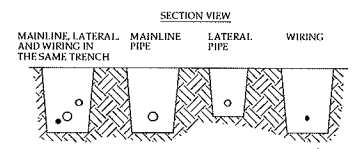
RAIN SENSOR DETAIL



FULL CIRCLE BUBBLER DETAIL

- ① ADJUSTABLE FULL CIRCLE BUBBLER HEAD ASSEMBLY
- ② PLAIN MAINLINE
- ③ FINISH GRADE/TOP OF MULCH
- ④ 3/4" BUBBLER HEAD ASSEMBLY (LENGTH AS REQUIRED)
- ⑤ 1/2" NCHT MALE NPT x 6" SWAGE SORBEL BLOW-TAIN BIRD MODEL SBE-450
- ⑥ SWING PIP, 1/2" NCHT LENGTH: RAIN BIRD MODEL SBE-450
- ⑦ PVC LATERAL PIPE
- ⑧ 1/2" NCHT MALE NPT x 6" SWAGE SORBEL BLOW-TAIN BIRD MODEL SBE-450
- ⑨ SCH 40 TEE OR ELL

NOTES:
 1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH 40 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
 2. FOR PIPE AND WIRE BURIAL DEPTHS SEE SPECIFICATIONS.



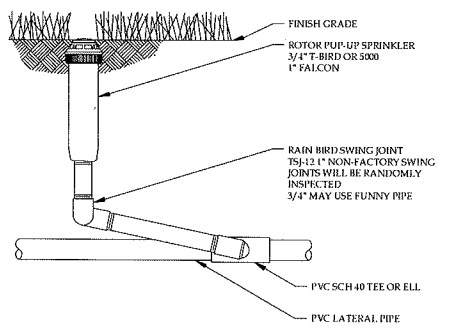
PIPE & WIRE TRENCHING DETAIL

DEPTH OF COVERAGE PER FLORIDA BUILDING CODE (Appendix F)

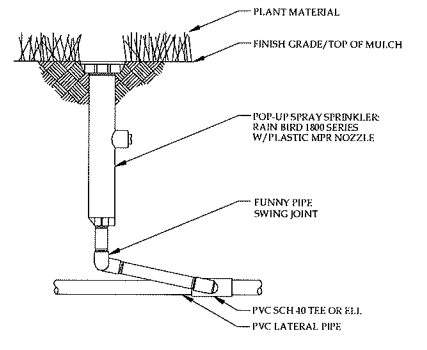
Pipe Diameter	Minimum depth of Cover
1/2" through 1 1/2"	6" - 12" **
1 1/2" through 2"	12" - 18" **
2 1/2" through 3"	18" - 24"
6" and larger	24" - 36"

Pipe Diameter	Minimum depth of Cover
1/2" through 2 1/2"	18" - 24"
3" through 5"	24" - 30"
6" and larger	30" - 36"

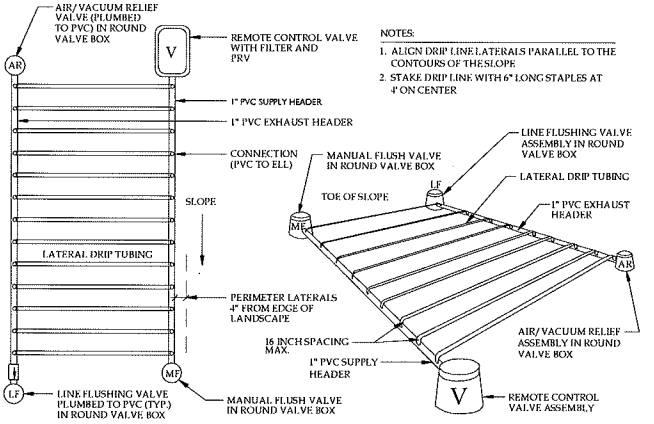
** Costco Design Guidelines Requires 12" min.
 *** Costco Design Guidelines Requires 15" min.



POP-UP ROTOR DETAIL

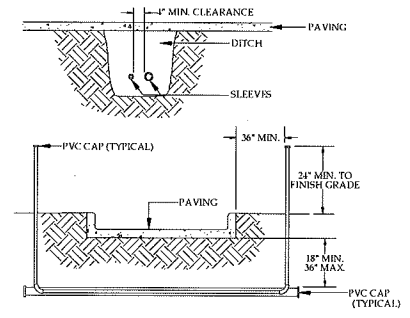


POP-UP SPRAY DETAIL



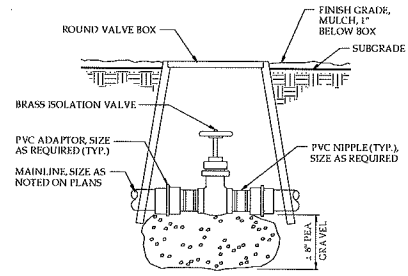
DRIP LINE DETAIL

- NOTES:
 1. ALIGN DRIP LINE/LATERALS PARALLEL TO THE CONTOURS OF THE SLOPE.
 2. STAKE DRIP LINE WITH 6" LONG STAPLES AT 4' ON CENTER

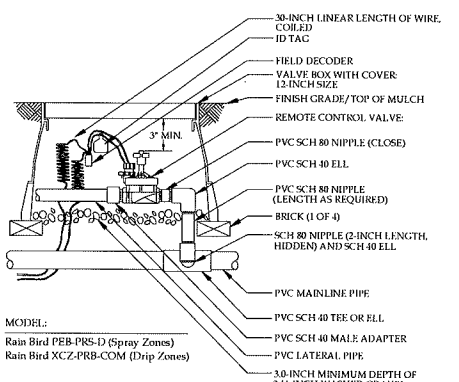


PIPE AND WIRE SLEEVE DETAIL

- NOTES:
 1. ALL PVC IRRIGATION SLEEVES TO BE SCH 40 PIPE.
 2. ALL JOINTS TO BE SOLVENT WELDED AND WATER TIGHT.
 3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
 4. MECHANICALLY TAMP TO 95% PROCTOR.



ISOLATION VALVE DETAIL



REMOTE CONTROL VALVE

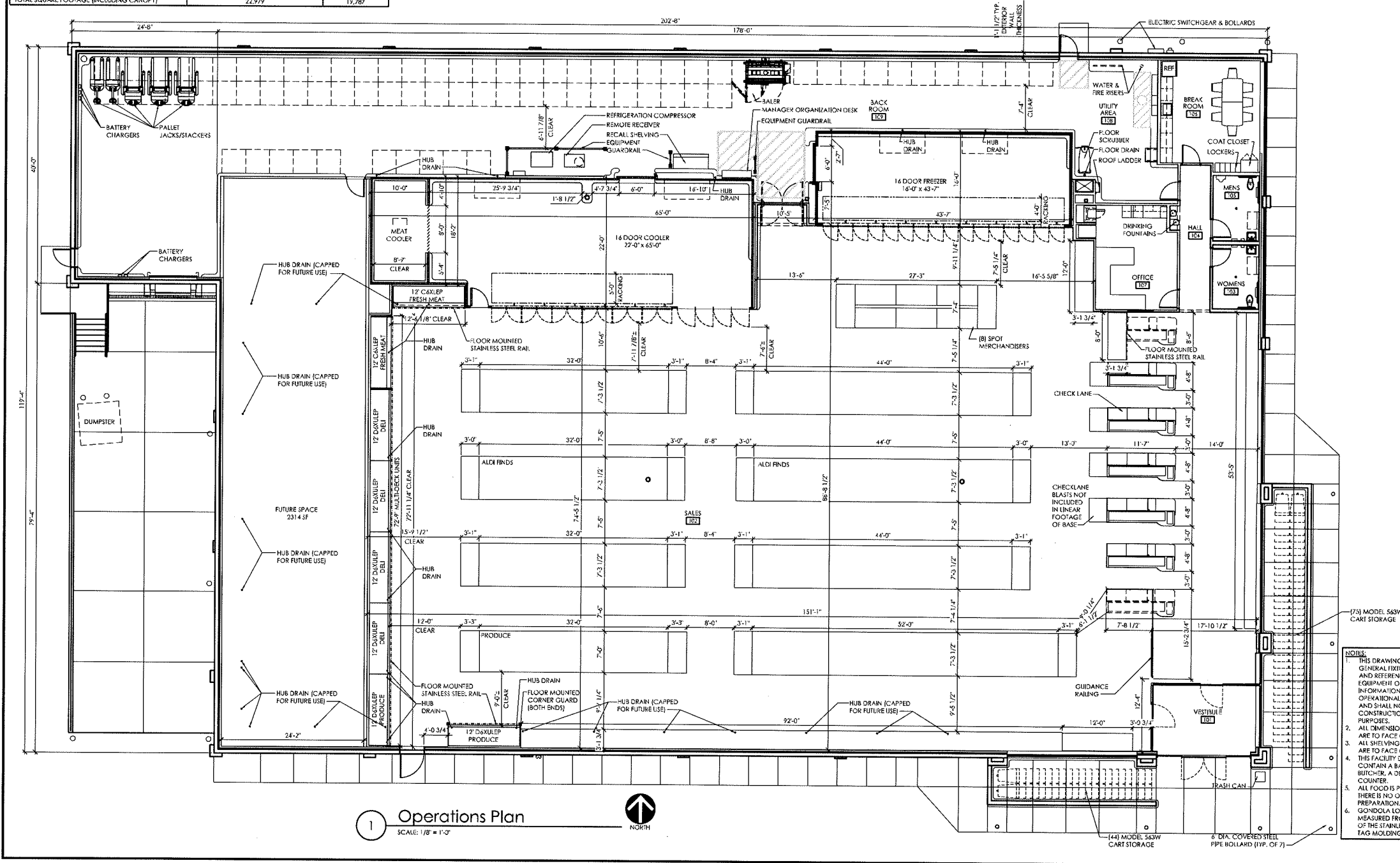
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OCT 31 2017

V8.0 PROTOTYPE - NOT FOR CONSTRUCTION

SIDE DOCK AREA SUMMARY			
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE	V7.0 PROTOTYPE
MECHANICAL	SALES / VESTIBULE	12,106	12,106
	MEN'S ROOM	85	85
	WOMEN'S ROOM	83	83
	HALL	133	145
SUBTOTAL (MECHANICAL)		12,407	12,419
BUSINESS	OFFICE	252	252
	BREAK ROOM	304	304
SUBTOTAL (BUSINESS)		556	556
STORAGE / STOCK	BACKROOM	3,913	3,159
	COOLER	1,317	1,317
	FREEZER	648	648
	FUTURE SPACE	2314	
SUBTOTAL (STORAGE / STOCK)		8,192	5,124
SUBTOTAL (OCCUPANCIES)		21,155	18,099
EXTERIOR INTERIOR WALLS / UNOCCUPIED SPACE		1,122	955
BUILDING SQUARE FOOTAGE		22,277	19,054
EXTERIOR CANOPY		707	753
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		22,979	19,787

SIDE DOCK OPERATIONS DATA		
ITEM	V8.0 PROTOTYPE	V7.0 PROTOTYPE
LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED)	862'-4"	862'-4"
ASSUMED PALLET STORAGE	75	62
BUILDING DIMENSIONS	119'-4" x 178'-0"	119'-4" x 153'-4"
SALES FLOOR DIMENSIONS	74'-5" x 151'-1"	74'-5" x 151'-1"
LENGTH OF MULTIDECK	96'	96'
COOLER MILK DOORS	4	4
COOLER GENERAL DOORS	12	12
FREEZER GENERAL DOORS	16	16
SPOT MERCHANDISERS	8	8
CART STORAGE	(119) MODEL S63W	(119) MODEL S63W



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Revisions:	Date:
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 (561) 960-0001

ALDI Inc. Store #: XX
 Greenacres, FL
 NWC S. Jog Rd & Chickasaw Rd.
 Greenacres, FL
 Palm Beach County
 Project Name & Location:

Operations Plan

Drawing Name: **Operations Plan**
 Project No. **2170294**
 Date: **06/12/17**
 Type: **RHSD-V8**
 Drawn By: **JOM**
 Scale: **As Noted**

- NOTES:**
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 - ALL DIMENSIONS TO WALLS ARE TO FACE OF STUD.
 - ALL SHELVING DIMENSIONS ARE TO FACE OF GONDOLA.
 - THIS FACILITY DOES NOT CONTAIN A BAKERY, A BUTCHER, A DELI OR FISH COUNTER.
 - ALL FOOD IS PREPACKAGED. THERE IS NO ON-SITE FOOD PREPARATION.
 - GONDOLA LOCATIONS ARE MEASURED FROM THE FACE OF THE STAINLESS STEEL PRICE TAG MOLDING (SSPTM).

PLOTTED: 7/17/2017 7:10 PM

Operations Plan
 SCALE: 1/8" = 1'-0"

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PLANNING & ENGINEERING

V8.0 PROTOTYPE - NOT FOR CONSTRUCTION

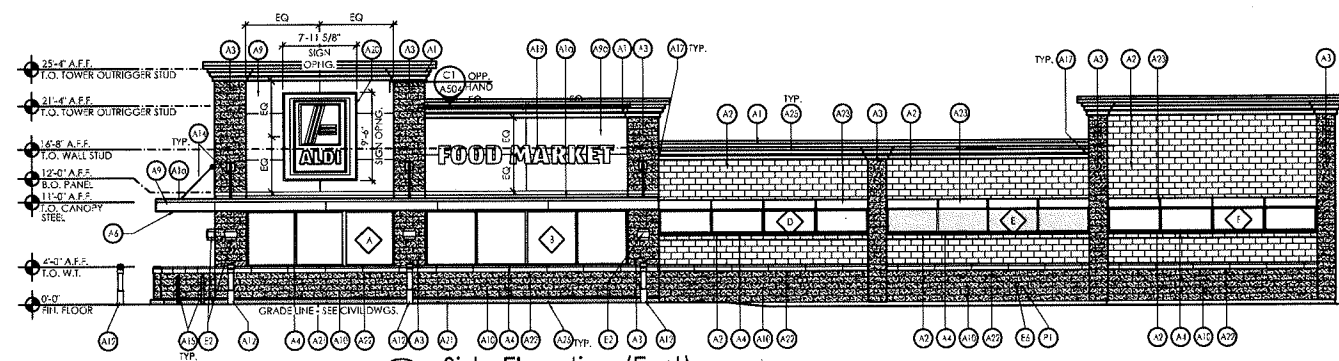
EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A1	EDGE METAL	A1 - SLATE GRAY A10 - SILVER METALLIC	SEE SPECIFICATIONS APPENDIX 'S'
A2	SPLIT-FACE CMU	INTERGRAL COLOR-ALDI ADJUMN (20 ADJUMN 1/2" JET) BY A-1 BLOCK W/INTERGRAL DRY BLOCK OR APPROVED EQUAL	FIELD AND TRANSOM WINDOW SELLS
A3	SPLIT-FACE CMU	INTERGRAL COLOR-ALDI ADJUMN (20 ADJUMN 1/2" JET) BY A-1 BLOCK (SHADED ON ELEV.) W/ INTERGRAL DRY BLOCK OR APPROVED EQUAL	PILASTERS
A4	STOREFRONT	ANODIZED ALUM.	RE: DWG. A602
A5	MEMBRANE ROOFING	GRAY	AT BACK OF ALDI LOGO SIGN TOWER. FOOD MARKET SIGN TOWER AND CANOPY ROOF - SEE SPECIFICATIONS APPENDIX B
A6	METAL SOFFIT PANELS	SOLID PANELS - SEE SPEC	RE: DWG. A301-A304
A7	EXTERIOR PAINT	PF-19 / CL-5	RE: DWG. A603
A8	DUMPSTER ENCLOSURE		RE: DWG. A305
A9	ALUMINUM COMPOSITE PANEL	A9 - BRIGHT SILVER A90 - SLATE GRAY	PROVIDE PANEL JOINTS AS SHOWN - PROVIDE ONE PIECE TIGHT FIT EXTRUSION HOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES.
A10	SPLIT-FACE CMU	INTERGRAL COLOR-ALDI ADJUMN (20 ADJUMN 1/2" JET) BY A-1 BLOCK (SHADED ON ELEV.) W/ INTERGRAL DRY BLOCK OR APPROVED EQUAL	WATER TABLE FIELD - USE SMOOTH FACE BEHIND TRUCK DOCK SEAL.
A11	BLUD-2	PF-19 / CL-4	RE: DWG. A603
A12	R/RD-4	PF-19 / CL-5	RE: DWG. A603
A13	GUARD RAIL	PF-19 / CL-5	RE: DWG. A3/A503, A603
A14	HANGER ROD	STAINLESS STEEL ROD, TURNBUCKLE & BOLTS PF-19 / CL-5 CLEVIS, GRIPE PL AND END PL.	
A15	STARTER POST	GALVANIZED	
A16	DOCK LEVELER / SEAL AND SUMPERS	LEVELER - FACTORY FINISH / SEAL AND SUMPERS - FACTORY FINISH - BLACK	PROVIDE BRICK BEHIND DOCK SEAL IN LIEU OF CAST STONE SILL.
A17	CONTROL JOINT		MAX 30' OC RE: DWG. A304
A18	OVERFLOW SCUPPER	PF-19 / CL-5	RE: DWG. C3/A503
A19	FOOD MARKET SIGNAGE	BY SIGN VENDOR	19'-0 3/8" w. x 2'-0" h.
A20	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 5/8" w. x 7'-5 1/2" h. SEE DETAIL D1/A504. VERIFY SIGN SIZE PRIOR TO FRAMING OPENING
A21	CRIB	NATURAL	RE: DWG. A603 - SEE STRUCTURAL DWGS
A22	CAST STONE SILL	SEE SPEC	WATER TABLE TRIM
A23	PREFABRICATED SUN SHADE	SILVER POWDER COAT	MANUFACTURED BY C. R. LAURENCE. RE: DWGS A304, A305. ALIGN OUTRIGGER W/ WINDOW MULLIONS BELOW
A24	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL
A25	STUCCO CORNICE	DRYFIT - #310 - CHINA WHITE	
A26	3" PVC PIPE DRAIN		PIPE THRU CART WALL AND CURB
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
E2	WALL SCONCE	FACTORY FINISH	MOUNT @ 7'-0" A.F.F.
E3	NOT USED		
E4	UTILITY METERING S. C.I.	FACTORY FINISH	SEE ELECTRICAL DWGS
E5	EXTERIOR WALL PACK	FACTORY FINISH	MOUNT @ 12'-0" A.F.F.
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 1'-6" A.F.F. IN 4" SQUARE J-BOX
F1	FIRE DEPT. CONNECTION	FACTORY FINISH	SEE FIRE PROTECTION DWGS
F2	MOTOR GOING	FACTORY FINISH	SEE FIRE PROTECTION DWGS
F3	HOUSE 988	FACTORY FINISH	SEE PLUMBING DWGS
P1	RPT DISCHARGE	FACTORY FINISH	SEE PLUMBING DWGS
Q1	STOREFRONT KEY	ANODIZED ALUMINUM	SHADED WINDOWS ARE SPANDREL - RE: DWG. A602

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
FOOD MARKET SIGN	2	38.1	76.2
TOTAL SIGNAGE			226.0

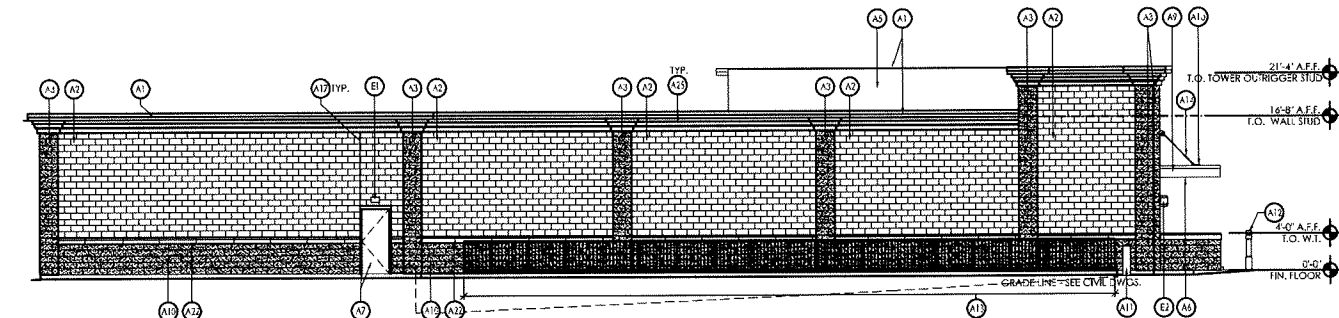
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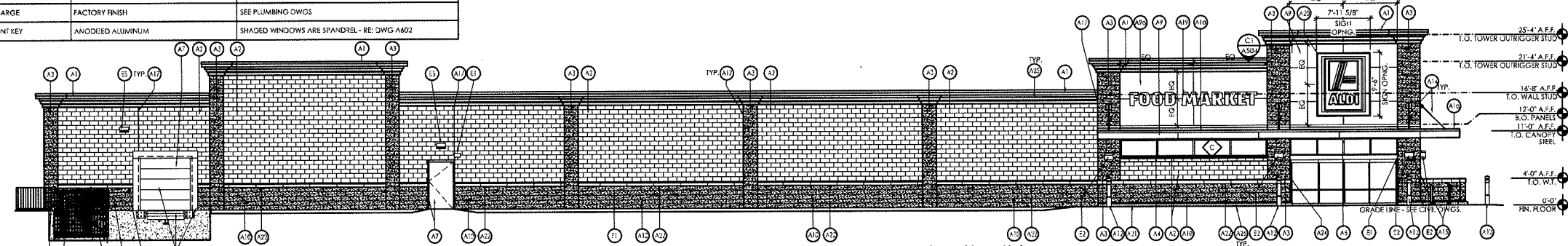
Revisions:	Date:
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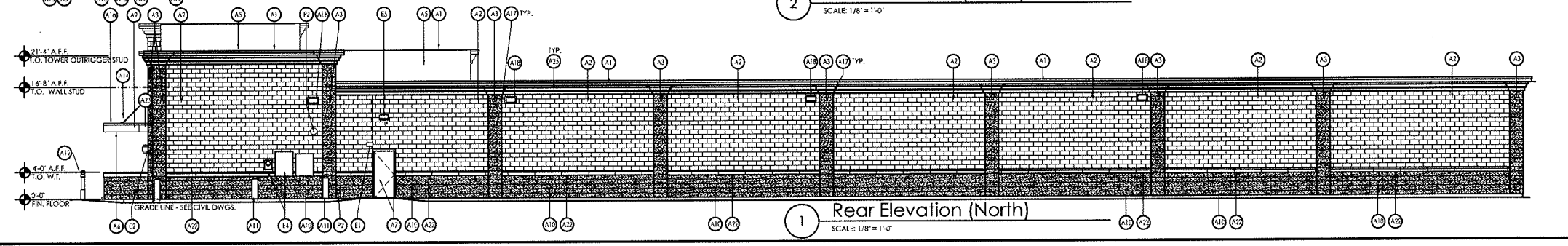
4 Side Elevation (East)
SCALE: 1/8" = 1'-0"



3 Side Elevation (West)
SCALE: 1/8" = 1'-0"



2 Front Elevation (South)
SCALE: 1/8" = 1'-0"



1 Rear Elevation (North)
SCALE: 1/8" = 1'-0"

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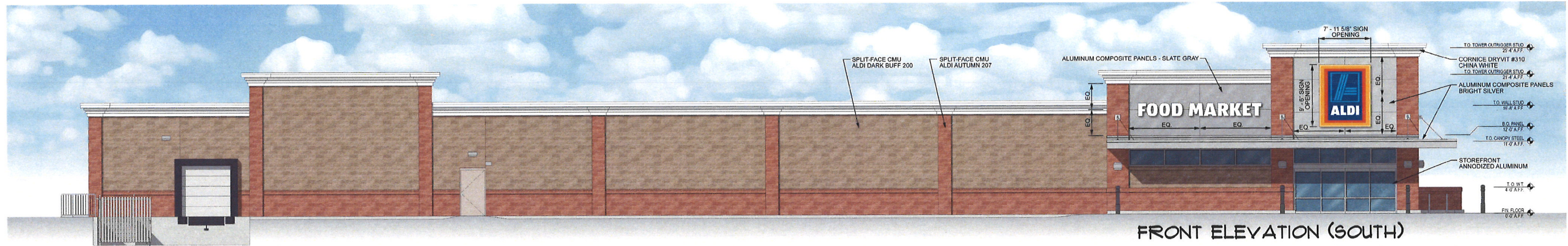
ALDI Inc. Store #: XX
Greenacres, FL
NWC S. Jog Rd & Chickasaw Rd.
Greenacres, FL
Palm Beach County
Project Name & Location:

Exterior Elevations	Project No.
Drawing Name:	2170294
Date: 06/12/17	
Type: RHSD-V8	
Drawn By: JOM	A-201
Scale: As Noted	Drawing No.

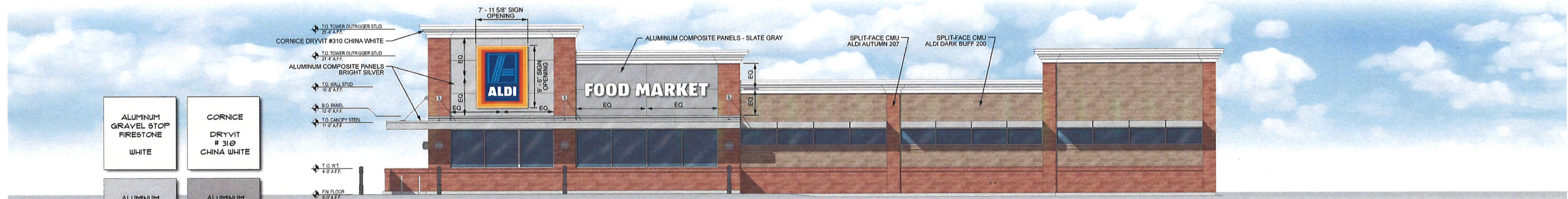
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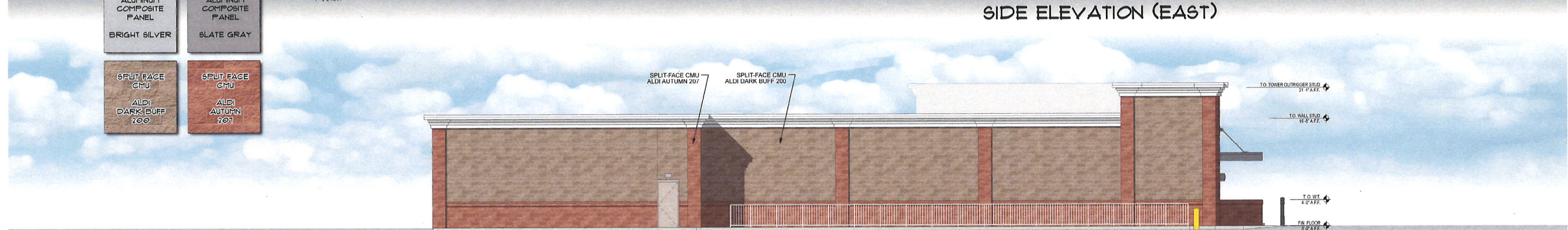


FRONT ELEVATION (SOUTH)

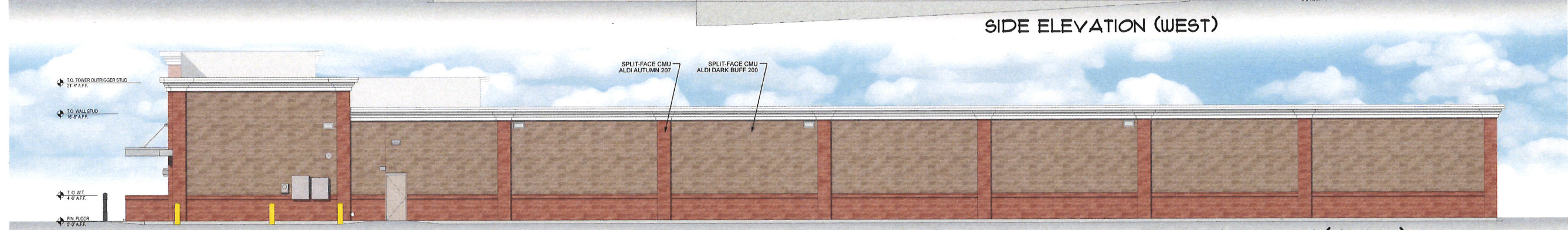


SIDE ELEVATION (EAST)

ALUMINUM GRAVEL STOP FIRESTONE WHITE	CORNICE DRYVIT # 310 CHINA WHITE
ALUMINUM COMPOSITE PANEL BRIGHT SILVER	ALUMINUM COMPOSITE PANEL SLATE GRAY
SPLIT-FACE CMU ALDI DARK BUFF 200	SPLIT-FACE CMU ALDI AUTUMN 207



SIDE ELEVATION (WEST)



REAR ELEVATION (NORTH)



ALDI FOOD STORE #59
 Jog Rd. & Chickasaw Rd. - Greenacres, FL • C&P Project #2170294 • 07-21-17

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OCT 31 2017

PLANNING & ENGINEERING

	LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION
---	---

I. Project Description:

Project: Aldi Grocery Store

Petitioner: Dwayne L. Dickerson, Esq., Dunay Miskel & Backman, LLP
14 SE 4th Street, Suite 36
Boca Raton, FL 33432
Agent for the owners:
Morris W. Sperber Trust, Rosylin L. Emerson, Craig B. Morris and Shahveer Dhatigara

Request: Site and Development Plan approval to construct a Grocery Store building

Location: The northwest corner of South Jog Road and Chickasaw Road.



II. Site Data:

Existing Use:	Undeveloped / Vacant
Proposed Use:	Grocery Store
Parcel Control Number:	00-42-43-27-05-022-0402; -0405; -0406; -0403
Parcel Size:	3.20 acres (139,434 square feet)
Existing Future Land Use Designation:	PBC Low Residential 3 units per acre (LR/3) and City Mixed Use (MU)
Proposed Future Land Use Designation:	City Commercial (CM)
Existing Zoning District:	PBC Agricultural Residential (AR) and City Mixed Use Development Office (MXD-O)
Proposed Zoning District:	City Commercial Neighborhood (CN)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Vacant Single-Family Residence	City Mixed Use (MU)	City Mixed Development-Office (MXD-O)
<i>South</i>	Undeveloped land	City Mixed Use (MU)	City Mixed Development-Office (MXD-O)
<i>East</i>	Villages of Woodlakes	City Residential Medium Density (RS-MD)	City Residential Medium (RM-2)
<i>West</i>	Single-Family Residence	Low Residential 3 units per acre (LR-3)	PBC Agricultural Residential (AR)

III. Annexation/Zoning History:

Unincorporated Parcels

The approximately 2.11-acres of land are located in unincorporated Palm Beach County within the identified Future Annexation Area of the City. The area to be annexed contains three (3) individual parcels each having a Palm Beach County future land use designation of Low Residential 3-units per acres (LR-3). Concurrent petitions for an annexation (ANX-16-01), comprehensive plan amendment (CPA-13-04) and zoning change (ZC-13-04) are being processed for the site. These parcels are all undeveloped with no prior approvals.

Parcel Located to the North

The proposed overall development also includes the approximately 1.09-acre site adjacent to the north, which is developed as a single-family home that is currently vacant. The site was annexed into the City on August 2, 2010 (ANX-10-01) and was given the MXD-O zoning designation and is part of the rezoning application (ZC-13-04) and comprehensive plan amendment (CPA-13-04) being processed concurrent with this request.

IV. Applicable Code Provisions:

Sec. 16-196 through 16-202 pertaining to Site and Development Plans

Sec. 16-446 through 16-456 pertaining to the Commercial Neighborhood (CN) zoning district

Sec. 16-931 through 16-994 pertaining to sign regulations

Sec. 16-1241 through 16-1312 pertaining to landscaping

Sec. 16-1331 through 16-1340 pertaining to off-street parking

V. Summary of Proposed Site and Development Plan Details:

The petitioner’s site and development plans stamp-dated October 31, 2017 depict the following:

1. A total land area of approximately 3.20-acres (139,434 square feet).
2. A one-story 22,978 square foot supermarket building.
3. A total of 135 parking spaces, including five (5) handicapped spaces.
4. Two (2) ingress and egress points onto South Jog Road and Chickasaw Road for vehicles and one (1) sidewalk connection to South Jog Road and Chickasaw Road.

5. A dumpster enclosure; dumpster elevations consisting of block with stucco painted to match the building and the required gates.
6. Landscape Plan, including a 6' high masonry wall along the west property boundary.
7. Building Plans and Elevations.
8. Photometric Plan.
9. Conceptual Engineering Plan.
10. Boundary Survey.

Table 2: Proposed Site Data:			
Area:	Square Footage:	Acreage:	Percentage:
Building Lot Coverage (including covered canopies)	22,978	0.527	17.18%
Site Impervious Area (excluding building lot coverage)	74,616	1.71	55.79%
Site Landscape Area	36,147	0.83	27.03%
<i>Total</i>	<i>133,741</i>	<i>3.07</i>	<i>100%</i>
<i>Total Floor Area</i>	<i>22,245</i>	<i>0.51</i>	<i>0.16 FAR</i>

VI. Staff Analysis:

The subject site is mostly undeveloped with one single-family structure, which is currently vacant and to be demolished. The petition is for a Site and Development Plan approval to construct a one-story 22,978 square foot grocery store building. The site plan has 135 parking spaces including five handicap spaces and has ingress/egress points from Chickasaw Road and South Jog Road. The subject site is adequately buffered by a proposed 15-foot wide landscape buffer along South Jog Road, a 10-foot wide landscape buffer along Chickasaw Road, and a proposed 6-foot high concrete wall along the west property boundary with a 10-foot wide landscape buffer as required by the zoning code to buffer the adjacent residential uses.

The applicant has provided architectural elevations depicting banding, and architectural features on all four elevations. The parapet wall around the entire roof will effectively screen mechanical equipment.

On August 10 and August 17, 2017, the Land Development Staff reviewed this petition and recommended approval subject to the conditions of approval listed below.

Land Development Staff Comments:

Planning and Engineering Dept.:	Incorporated into the staff report.
Building Department:	Incorporated into the staff report.
Fire Rescue Department:	Incorporated into the staff report.
Public Works Department:	Incorporated into the staff report.
PBSO District 16:	No objections.

Other Agencies:

PBC Traffic Division:	Project meets traffic performance standards.
PBC Water Utilities:	Water and sewer service is available from the Palm Beach County Water Utilities Department.
MPO / Palm Tran:	No objections. (Incorporated into staff report)

LWDD: No objections.

Standards and Staff Findings:

1. Minimum Lot Requirement: Site area of 139,434 square feet **exceeds** the minimum lot requirement of 10,000 square feet, in accord with Section 16-452 (1). Lot width of 203.13 feet exceeds the minimum width of 100 feet.
2. Maximum Lot Coverage: Building lot coverage of 16.5% **does not exceed** the maximum allowable lot coverage of 20%.
3. Minimum Yard Requirements: Building setbacks **meet** all yard requirements of 25' front, 10' side interior, 15' side corner and 15' rear.
4. Height Restrictions: The building height of 23'-83" **does not exceed** the allowable height of 25'.
5. Off-Street Parking & Loading: The 135 parking spaces provided **exceed** the minimum code requirement of 112 spaces based on a parking rate of 1 space per 200 square feet for Food Market.
6. Landscaping: The landscaping plan **complies** with landscape code requirements.
7. Sign Regulations: Permits **shall be obtained** and meet code requirements prior to installation of any signs.
8. Utilities: The proposed water, sanitary sewer and drainage systems **will meet** code requirements subject to final permitting.
9. Concurrency: Project **meets** traffic concurrency. Water and Sewer service and capacities **are available** to serve the site.
10. Comprehensive Plan: The proposed development **is consistent** with the Commercial (CM) future land use classification. The proposed floor area ratio of 0.16 **does not exceed** the maximum of 0.30 FAR for the CN zoning district.
11. Color Scheme: The color of the building **shall be** in accordance with the Site and Development Plans dated October 31, 2017: Walls – Split Face CMU (Autum 207 & Dar Buff 200), Aluminum Composite panels (Slate Gray); Trim and Accents – Cornice Dryvit 310 (China White).

12. Site and Building Design: The project layout and architectural design **comply** with the site and building design requirements of the Code. The proposed new building features integrated screening of roof top equipment, a clearly defined covered entry area, and the building is located on the site to respond to the property's configuration.

VII. Staff Recommendation:

Approval of SP-17-02 with the following conditions:

1. The most stringent requirements of Exhibit "A" Land Development Staff Report and recommendation dated November 15, 2017 and Exhibit "B" Site and Development Plan stamp-dated October 31, 2017, as hereafter defined shall apply. (Planning)
2. Permits or permit modifications from the South Florida Water Management District (SFWMD), Lake Worth Drainage District (LWDD), Palm Beach County Health Department, Palm Beach County Utilities permit, Palm Beach County Right of Way permit, and NPDES permit must be obtained prior to the issuance of building permits. (Engineering)
3. Complete drainage calculations addressing water quality and quantity in accordance with the requirements of SFWMD must be submitted for review along with complete paving and drainage construction plans and subsurface investigation with percolation test prior to the issuance of building permits. (Engineering)
4. Demolition plan must be submitted prior to the issuance of building permits. (Engineering)
5. The site plan shall be revised as necessary to reflect all conditions of approval and re-submitted prior to the issuance of building permits. (Planning)
6. In accord with the requirements of the National Pollution Discharge Elimination System (NPDES), best management practices shall be used to control runoff from construction activities. (Building and Public Works)
7. The project shall participate in the City Tree Dedication Program per Section 16-1293; at the time of issuance of building permits one (1) tree to be donated per 1,000 sq. ft. of building area or fraction thereof, therefore ~~(6)~~ (23) Live Oaks or equivalent cash payment shall be donated to the City subject to the following specification: Live Oak, Florida Grade #1 Container Grown; minimum 12 ft. high; 2-inch diameter trunk at 4 ft.; and 5 ft. spread. (Planning and Building)
8. The project shall be required to pay the applicable City's impact fee of \$2.80 per square foot of gross floor area per Section 16-201, at the time of issuance of building permits. (Building)

9. Utilities shall be provided underground and sufficient in size to properly serve the site. Appurtenances to these systems which require above-ground installation must be effectively screened from view. (Planning, Engineering and Building)
10. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the City. (Engineering and Building)
11. All roof top equipment shall be screened on all four sides consistent with the architecture of the building; no equipment shall be taller than the proposed screening. All ground mounted mechanical equipment (air conditioning, backflow preventer, etc.) shall be screened on all four sides; no equipment shall be taller than the proposed screening. (Planning and Building)
12. The building shall be allowed two (2) wall signs: one on the south side facing Chickasaw Road and one on the west side facing South Jog Road. Building wall signs shall be internally illuminated individual channel letters or reverse channel letters with consistent faces and returns. No raceways or box signs will be permitted. (Planning).
13. All freestanding signs shall be consistent in color with those on the building, shall feature decorative architectural elements and colors consistent with the building, and shall include the numerical street address with minimum 6" high numbers in a contrasting color on both faces. (Planning)
14. ~~The dumpster enclosure walls shall match the finish, color and design elements of the building walls and trim. At a minimum, the dumpster enclosure gates shall be solid 3/4" deep galvanized corrugated 22-gauge steel matching the building color. Dumpster located within the recessed loading dock area shall be screened from view.~~ (Planning)
15. ~~The hours of operation shall be limited to 9:00 a.m. to 8:00 p.m. Monday through Saturday and Sunday 10:00 a.m. to 7:00 p.m. not exceed 7:00 a.m. to 11:00 p.m. Sunday through Thursday and 7:00 a.m. to 12:00 midnight on Friday and Saturday.~~ (Planning and Building)
16. The 10' X 30' easement depicted on the site plan shall be provided to accommodate a future bus stop on South Jog Road. The easement shall be dedicated to Palm Tran, in a form acceptable to the City Attorney, and recorded prior to the issuance of building permits. A dedicated 110 volt, 20 amp circuit shall be provided and electrical stubbed out within the easement and terminated in a weatherproof box or solar power prior to the issuance of a Certificate of Occupancy. If a later determination is made by Palm Tran that a bus stop is needed at this location and a standard City of Greenacres bus shelter is installed within the easement on the property, the shelter shall be the permanent maintenance obligation of the property owner, including trash collection and electricity for the shelter security light. (Planning and Building)
17. A site clearing and tree removal permit shall be required prior to any clearing activities on site. This permit shall demonstrate protection of existing trees to remain. Additions to the

landscaping plan may be necessary to meet Code requirements if existing material to remain is unsuitable for buffer purposes. (Planning)

18. All existing trees shown to remain on the approved landscape plans shall be maintained in perpetuity. In the event they should die, they shall be replaced with like species of a size and quantity in accord with the tree credits in Table 16-1271 of the City of Greenacres Code. (Planning)
19. All existing invasive non-native plants shall be removed from the property. It shall be the responsibility of the property owner to maintain the site free from invasive plants. (Planning and Building)
20. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of December 31, 2018 unless a revised traffic study with a later build-out date has been approved by the County and a copy of the approval provided to the City of Greenacres. (Planning and Building)
21. No outdoor speakers shall be permitted. (Building)
22. Outdoor storage of materials and equipment is prohibited (i.e. shopping carts, merchandise, pallets, etc...) (Planning and Building)
23. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the "City of Greenacres". (Planning)
24. Non-compliance with any of the conditions of approval will result in withholding of the issuance of building permits or a Certificate of Occupancy. (Planning and Building)

PLANNING COMMISSION RECOMMENDATION – December 6, 2017

The Planning Commission on a motion made by Commissioner Buzek and seconded by Commissioner Robarts, voting seven (5) to zero (0), ***recommended approval*** of Site Plan ***SP-17-02 (Aldi Grocery Store)***, as presented by staff.

CITY COUNCIL ACTION – January 22, 2018

Joel Flores, Mayor

Attest:

Joanna Cunningham, City Clerk

Attachments:

1. Site and Development Plan Packet
2. Aerial Location Map

CITY OF GREENACRES

Council Agenda Item
#2018.01B7.01

TO: Mayor and City Council

THROUGH: Andrea McCue, City Manager

FROM: Michael Grimm, Director/CBO, Building Department

RE: Ordinance No. 2017-39: Amending City Code Chapter 4-2 to include the Amendments to the 2017 Florida Building Code (6th Edition), City Council Agenda Item for 2nd Reading

DATE: January 5, 2018

Background:

Chapter 553 of the Florida Statutes authorizes the creation of the Florida Building Commission and the Florida Building Code. The Florida Building Code is a statewide code that governs the design, construction, erection, alteration, modification, repair, and demolition of public and private buildings, structures, and facilities and the enforcement of such laws and rules. The commission develops and adopts a new edition of the code triennially. The code is deemed adopted for use statewide without the need for adoption by local government.

The proposed 2017 Florida Building Code (6th Edition) is based upon the 2015 International Building Code. The 2017 Florida Building Code (6th Edition) has been adopted with an effective date of December 31, 2017. Florida Statute 553.73(4)(a) authorizes local governments to adopt amendments to the administrative provisions of the Florida Building Code in order to meet local administrative needs, procedures, and operational standards.

The City Council approved this Ordinance on first reading December 18, 2017 by vote of 5-0

Analysis:

Chapter One of the 2017 Florida Building Code (6th Edition) has been reviewed by the Building Code Advisory Board of Palm Beach County (BCAB). Chapter One governs the administration of all eight of the volumes of the code including; Building, Plumbing, Mechanical, Electrical, Gas, Accessibility, Energy, and Residential. The BCAB made several additions and revisions, and voted unanimously to recommend the adoption of the amended Model Chapter One.

The BCAB recommendations have been reviewed and further revised by Building Department staff to conform to the City's operational standards. Adoption of the Amendments to Chapter One will be in the public interest by providing for the administration of the entire family of codes, and by strengthening the code for the health, safety and general welfare of the residents in the City of Greenacres. The adoption of the Amendments will allow City regulations to be compatible with the regulations in unincorporated Palm Beach County and most of the other jurisdictions within Palm Beach County.

Financial:

N/A

Legal:

The Ordinance has been prepared in compliance with City Codes and Florida State Statutes.

Staff Recommendation:

Approval of Ordinance 2017-39 amending Chapter 4-2 to include the Amendments to Chapter One of the 2017 Florida Building Code (6th Edition).



Michael Grimm CBO
Director Building Department

Attachments:

1. Ordinance No. 2017-39
2. Amendments to Chapter One of the 2017 Florida Building Code (6th Edition)

ORDINANCE NO. 2017-39

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, AMENDING CHAPTER 4, ENTITLED BUILDINGS AND BUILDING REGULATIONS, OF THE CITY OF GREENACRES CODE, TO INCLUDE THE FLORIDA BUILDING CODE 6th EDITION, TOGETHER WITH ALL AMENDMENTS THERETO, AS RECOMMENDED BY THE BUILDING CODE ADVISORY BOARD OF PALM BEACH COUNTY, FLORIDA AND AS CONFORMED TO THE CITY'S OPERATIONAL STANDARDS; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN CODE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS; pursuant to Chapter 553, Florida Statutes, known as the "Florida Building Codes Act", the legislature provided for the adoption and enforcement of a single unified state building code, entitled the "Florida Building Code"; and

WHEREAS; pursuant to the laws of the State of Florida and Section 553.73(4)(b), Florida Statutes, the Building Code Advisory Board of Palm Beach County ("BCAB") has reviewed the Code provisions in the Florida Building Code and, based upon that review, has recommended the adoption of amendments to Chapter One of the Code; and

WHEREAS; the City Council of Greenacres finds that the adoption of the Florida Building Code 6th Edition, together with the amendments to Chapter One as recommended by the BCAB, will greatly promote the health, safety and welfare of the residents of the City of Greenacres.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1.

That Section 4-2, entitled "Florida Building Code" is hereby amended by deleting and adding the following provisions:

Sec. 4-2. - Florida Building Code.

- (a) The city hereby adopts by reference the Florida Building Code as mandated by Chapter 553, Florida Statutes Including the Florida Building Code 5 6th Edition, Plumbing Appendix F.
- (b) The City hereby adopts by reference the “Amendments to Chapter One of the 2017 Florida Building Code 5 (6th Edition)” as recommended by the Palm Beach County Building Code Advisory Board, and as conformed to the City’s operational standards, which are on file in the city clerk’s office.

Section 2. Repeal of Conflicting Ordinances

All ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this ordinance are hereby repealed.

Section 3. Severability

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

Section 4. Inclusion in Code

It is the intention of the City Council, entered as hereby ordained, that the provisions of this Ordinance shall become and be made a part of the Code of Laws and

Ordinances of the City of Greenacres, Florida; that the Section(s) of this Ordinance may be renumbered or re-lettered to accomplish such intention, and that the word “ordinance” may be changed to “Section”, “Article” or another word.

Section 5. Effective Date

The provisions of this Ordinance shall become effective December 31, 2017 or upon any amended effective date of the Florida Building Code by the Florida Legislature.

Passed on the first reading this 18th day of December, 2017.

PASSED AND ADOPTED on the second reading this 22nd day of January, 2018.

Voted

Joel Flores
Mayor

Paula Bousquet
Deputy Mayor

()

Attest:

Joanna Cunningham
City Clerk

John Tharp
Council Member, District I

()

Peter Noble
Council Member, District II

()

Judith Dugo
Council Member, District III

()

Anderson Thelusme
Council Member, District IV

()

Approved as to Form and Legal Sufficiency:

James D. Stokes
City Attorney

CITY OF GREENACRES
INTEROFFICE MEMORANDUM
2018.01LJ7.01

TO: Andrea McCue, City Manager

FROM: Michael Grimm, Chief Building Official

**SUBJECT: Building Department Report
(November 22, 2017 to January 4, 2018)**

DATE: January 5, 2018

1) ADMINISTRATION:

- a) Researched and completed one hundred eleven (111) lien searches providing permit and code enforcement case information for a total of three hundred six (306) searches year to date.

2) PERMITS/INSPECTIONS:

PERMITS/INSPECTIONS	DURING THIS PERIOD	FYTD 2018	BUDGETED FOR FY 2018
Building Permits Issued	457	659	2,100
Inspections Performed	1,463	2,484	7,000
Construction Value of Permits Issued	\$ 5,747,222	\$ 8,552,028	\$ 29,000,000
CO's Issued	19	39	
CC's Issued	2	2	
Temporary CO's Issued	-0-	-0-	
Illicit Discharge Inspections (Stormwater)	13	20	

3) BUSINESS AND CONTRACTOR REGISTRATION:

BUSINESS AND CONTRACTOR REGISTRATIONS FY2018	NEW			RENEWALS			NOT RENEWED	CANCELLED
	COUNT		AMOUNT	COUNT		AMOUNT	COUNT	COUNT
	Period	YTD	YTD	Period	YTD	YTD	YTD	YTD
Commercial	15	49	\$ 6,711	13	472	\$ 70,596	169	48
Contractor & General Service Registration	42	98	\$ 100	4	61	\$ 850		805
Rental	6	21	\$ 1,562	3	770	\$ 30,173	137	21
Home Based	9	36	\$ 2,658	20	243	\$ 16,884	164	22
Insurance Registration	-0-	22	\$ 2,324	-0-	163	\$ 17,046	29	2

4) CODE ENFORCEMENT:

CODE ENFORCEMENT	DURING THIS PERIOD	FYTD 2018	BUDGETED FOR FY 2018
Inspections Related to Active Code Cases	123	244	1,900
New Cases Started	33	70	350
Cases Complied	36	75	
Current Open Cases	113		
Fines Collected	-0-	\$ 650	\$ 20,000
New Property Registrations Amount due to City (11/1/17-11/30/17)	27 \$ 2,700	71 \$ 7,100	
Notices Sent (November & December)	65	103	
Illegal Signs Removed from right-of-ways (November & December)	199	284	
Inspections Not Related to Active Code Cases (November & December)	85	201	
Complaints Received and Investigated (November & December)	41	62	

5) PLAN REVIEW – PRINCIPAL NEW OR REMODEL PROJECTS:

PROJECT	ADDRESS	SIZE	DESCRIPTION	PERMIT#
Church of God	4615 Melaleuca Ln	4,800 sq. ft	Addition	2017-242
Zaxby's (In Target Outparcel)	5880 Lake Worth Rd	3,992 sq. ft.	Drive-in/Fast Food Restaurant	2017-1591 *Plans Approved Waiting for payment
Tire Center (Target Outparcel)	5990 Lake Worth Rd	9,177 sq. ft.	Construct New Tire Store	2017-1641 *Plans Approved Waiting for payment

6) PROJECTS IN PROGRESS – PRINCIPAL REMODELING/RENOVATION:

PROJECT	ADDRESS	SIZE	DESCRIPTION	PERMIT #
Race Trac Petroleum (Formerly Walgreens)	6025 Lake Worth Rd	4,890 sq. ft.	Convenience/Gas Station	2017-1489
South Florida Gastroenterology Associates PA	6135 Lake Worth Rd	5,482	New Office Space Build Out	2017-2491
Nissan Dealership (Formerly Prof. Golf Cart Corp)	5353 Lake Worth Rd	50,625 sq. ft.	Car Dealership	2016-154

(Temp C.O. Issued 8/29/17)				
Nissan Parking Garage (Temp C.O. Issued 9/1/17)	5353 Lake Worth Rd	121,884 sq. ft.	Three Story Parking Garage	2017-391
Sai Baba Temple	4761 Myrtle Dr	8,408 sq. ft.	New Construction	2140097
Jog Medical Center	3387 S Jog Rd	17,376 sq. ft	Medical Offices (Shell Only)	2015-1566
Miami Grill	4513 Lake Worth Rd	1,929 sq. ft.	Interior Dining Room Remodel	2016-301
Church of God 7th Day	3535 S Jog Rd	11,500 sq. ft.	New Church	2016-2382
Dunkin Donuts	3098 S Jog Rd	1,596 sq. ft.	New Building (Temp CO Extended)	2016-2068
Dunkin Donuts	3098 S Jog Rd	3,000 sq. ft.	New Building (Temp CO Extended)	2016-192
Soma Medical Building	6239 Lake Worth Rd	5,438 sq. ft.	New Medical Bldg(Newly Annexed- Formerly Checkers)	2016-3000
Ross Dress For Less T.C.O. Issued 7/10/17	6810 Forest Hill Blvd	25,482 sq. ft.	Remodel (Formerly Southeastern College)	2016-2846
HC Smokehouse	4606 S Jog Rd	1,100 sq. ft.	Interior Remodel	2017-628
Former La Brasa / Lynoras	5283 Lake Worth Rd	6,336	Convert Restaurant into 4 Separate Bays for Business Use	2017-1816
Las Ramblas	3900 La Rambla (Behind Greenacres Plaza)	14 Single Family Homes	New Construction	2017-0792
Trafalgar (Façade) Permit Ready Waiting for a Contractor	6300 Forest Hill Blvd		Update Façade on Shopping Center & Add Towers	2017-1101

7) PROJECTS IN PROGRESS – PRINCIPAL NEW CONSTRUCTION:

PROJECT	ADDRESS/LOCATION	UNITS OR SQ. FT. APPROVED	UNITS C.O.'D
Reserve at Summit	West side of Ranchette Rd, South of Summit Blvd	73	65
Las Ramblas	3900 La Rambla / Common Area	14	-0-
Santa Catalina	3145 S Jog Rd (Townhomes and Commercial units)	29 residential/ 12 commercial	-0-
Whitney Park	Bowman St and Haverhill Rd	24	22

CITY OF GREENACRES

INTEROFFICE MEMORANDUM 2018.01DM2.01

TO: Andrea McCue, City Manager
FROM: James McInnis, Director of Finance
SUBJECT: Department of Finance Activity Report
DATE: January 11, 2018

The following report provides the highlights of activity within the Department of Finance for the reporting period from November 25, 2017 through December 31, 2017.

1. AUDIT/BUDGET and FINANCE ADMINISTRATION:

Projects and Activities:

- a. Reimbursement requests were submitted for the following grants:
 - Family Central, afterschool program \$ 16,292.63
 - USDA Food, after school \$ 1,483.68
 - CDBG 1st Street \$ 82,679.00
- b. Reimbursement requests were received for the following grants:
 - Family Central, afterschool program \$ 16,292.63
 - USDA Food, after school \$ 1,483.68
- c. Voice Over IP – At the meeting held on 6/19/2017, Council approved the purchase of a VoIP System through piggybacking a national contract. The department has issued the purchase order to Morse Communications for the equipment and services. The timeline for implementation given by Morse Communications is by October 15, 2017. **12/31/2017:** VoIP phones have been delivered; departments are choosing their pre-programmed lines and Morse is continuing setup on the new phones, including presetting how the phones will roll or go to voice mail. Full implementation requires the assignment from AT&T of our phone lines to Morse Communication, which is expected at any time; projected full implementation is now December, possibly February 2018, depending on rollover from AT&T.
- d. Solid waste billing to tax roll – This project will last throughout the FY2018 fiscal year to perform the work and follow the procedures necessary to assess the billing for residential solid waste and recycling collection annually on the

property tax bill beginning in November 2018. The Resolution of Intent to Assess was adopted December 4, 2017 and agreements with Tax Collector and Property Appraiser were approved and signed December 18, 2017. Council Meeting Agenda. **12/31/2017:** Staff is currently reviewing rate tiers to be added on tax roll.

2. FINANCE OPERATIONS:

Projects and Activities:

- a. FY17 Audit/CAFR: Each year as required by Florida Statutes, the financial records for the City are reviewed, analyzed and audited by independent certified public accountants, and then a CAFR is produced and published. Final fieldwork is in progress. Pending major items to be completed before CAFR preparation can begin are as follows:
 - OPEB valuation for GASB 45 reporting from GRS, a new actuarial consulting company.
 - Pension valuation for P&F pension fund
 - GASB 67/68 pension data from the actuaries
- b. FY17 Capital Asset Audit by Office of Inspector General: fieldwork has been completed and preliminary exceptions noted and pending review.
- c. Implemented Fire rescue union time pool accrual and usage set up.
- d. Exploring potential resources to improve EMS billing effectiveness.

Activity Report for December 2017			YEAR-TO-DATE		BUDGET
			FY18 Activity Report		
ACTIVITY REPORT DATA	CURRENT PERIOD TRANSACTIONS	CURRENT PERIOD AMOUNT	FY 2018 YTD TRANSACTIONS	FY 2018 YTD AMOUNT	FY 2018 BUDGET TRANSACTIONS
A/P Invoices Processed for Payment	298	\$1,695,261	772	\$6,151,764	4,100
ACH Payments	17	\$445,319	41	\$1,171,712	47
Payroll Checks Issued	4	\$990,939	13	\$2,337,474	30
Payroll Direct Deposits	442		1,011		3,900
Cashier Pmts Processed	1,195	\$4,845,938	5,642	\$7,782,727	22,500
Solid Waste Bills Issued	0	\$0	7,036	\$725,267	14,100
Initial Ambulance Invoices	366	\$255,429	899	\$629,800	3,200

3. INFORMATION TECHNOLOGY:

Projects and Activities:

- a. IT worked with Comcast to install the backup Internet service in City Hall and Leisure Services building. (completed)
- b. IT is working on changing the park camera – wireless network infrastructure to wired infrastructure. (Staff Review)
- c. IT is testing new phones with all departments and Morse Communications. (Staff Review)
- d. IT is currently working on the new look of Intranet website powered by AHA Consulting technology (Staff Review)

DEPARTMENT	CURRENT PERIOD	FY 2017 YTD	FY 2017 BUDGET
Technical Service Requests:			
Administration	9	120	-
Building	5	46	-
Finance	4	56	-
Planning & Engineering	1	25	-
Public Works	5	18	-
Fire/Rescue	5	44	-
Leisure Services	8	107	-
Total Technical Service Requests	37	416	450
Computer Training Sessions Conducted	0	6	5
No. of Computer Training Attendees	0	54	20

4. PURCHASING AND CONTRACTING:

Projects and Activities:

- a. 18-001 Professional Surveying Services for Jog Road Lake Worth Road Medians – This bid was advertised on December 10, 2017 and opened on December 20, 2017 with five (5) proposals received. The proposals are currently under review.
- b. 18-002 HVAC Repair and Annual Maintenance – This bid was advertised on November 19, 2017 and opens on December 20, 2017. There was a mandatory pre-bid meeting held on November 28, 2017 at 10:00 am. This bid has been cancelled. After further research, purchasing staff has found an alternative source to piggyback off of for annual maintenance and repair services through the US Communities Contract.
- c. 18-003 Solid Waste – The Purchasing Division is currently drafting the solicitation document. This bid is planned to be advertised in February.

- d. 18-004 Consulting Services for Economic Development - The Purchasing Division is currently drafting the solicitation document. This RFP is planned to be advertised in February.
- e. 18-005 Textile Recycling Collection Bin Program - The Purchasing Division is currently drafting the solicitation document. This RFP is planned to be advertised in January.
- f. 18-006 Monument Signs - The Purchasing Division is currently drafting the solicitation document. This RFP is planned to be advertised in February.
- g. RFQ18-013/LS Janitorial Supplies – This RFQ was posted on the City’s website on December 15, 2017 and opened on December 22, 2017. The quotes are currently under review.
- h. RFQ18-014/PW Sylvester Palms – This RFQ was posted on the City’s website on December 28, 2017 and opens on January 10, 2018.
- i. RFQ18-015/PW Demo & Disposal of Shuffleboard Court – The Purchasing Division is currently drafting the solicitation document. This RFQ is scheduled to be posted on the City’s website the beginning of January.

ACTIVITY	CURRENT PERIOD	FY 2018 YTD	FY 2018 BUDGET
Purchase Orders Issued	81	312	1,000
Purchase Order Amounts	\$ 950,427.41	\$ 18,081,007.37	\$ 19,850,000
Solicitations Issued	3	14	20
Solicitations in Progress	5	-	-
Central Store Requests	7	24	100
Contracts Managed	28	28	28
Purchasing Card Purchases	\$ 30,172.80	\$ 68,195.61	\$ 205,000
Purchasing Card Transactions	193	542	2,400
No. of Training Sessions Conducted	0	0	5

James McInnis
Director of Finance

JM/dm

CITY OF GREENACRES
INTEROFFICE MEMORANDUM
 2018.01MT6.003

TO: Andrea McCue, City Manager
FROM: Michele Thompson, Leisure Services Director
RE: Department Report for November 25, 2017 through January 11, 2018
DATE: January 12, 2018

1. ADMINISTRATION

PERFORMANCE MEASUREMENT	THIS PERIOD	FY 2018 TO DATE	FY 2018 BUDGET
Contracts Coordinated (2 with ELC)	0	0	4
Collaborative Partnerships	3	14	21
Ind. Contractor Agreements	3	10	23
Events Coordinated	2	7	21
Temporary Use Permits	1	2	4
Grant Applications	0	0	2
# of Documents Scanned	<i>Reported Quarterly</i>		6,000

2. COMMUNITY & RECREATION SERVICES

ACTIVITY	SPONSORS/ PARTNERS	FY 2018 TO DATE	FY 2018 BUDGET
Community Events:			
• Food Truck Invasion (Monthly - 12)	Cancelled	Sept.- 50 Oct.- 50	\$13,220
• Fall Fitness Festival (11/18/17)	<i>Helix - \$500 Eye and Ear - \$250</i>	400 Attendees	\$4,809
• Lunch with Santa (12/9/17) ○ Co-sponsored event	<i>Adv. Disposal-\$2,000 Wolfe & Pravato.-\$500</i>	500 Attendees	\$10,296
• Fiesta de Pueblo (1/6/18) ○ Co-sponsored event	<i>PRHC</i>	3600 Attendees	\$1,153
• Daddy Daughter Dance (2/24/18) Ages 4 & Up			\$4,260
• Egg'stravaganza (3/31/18)			\$14,195
• "Ignite the Night" (7/4/18)			\$34,331

Neighborhood Events: • Thanksgiving Dinner (11/22/17)	\$250 – Helix Local Businesses	550	\$3,017
• Back-to-School Block Party (8/4/18)			\$3,017
Senior Trips: • 12/13/17, 1/10/18, 2/7/18, 3/14/18, & 4/4/18	Broward Stage Door Theatre (5)	12/20/17 – 21 01/10/18 - 23	42
• TBD - 2018	Hard Rock Casino		30
Avg. # of daily participants/meals served at Senior Meal Program	15/465	705	N/A
Facility Rentals: • Fields/Concession Stands • Pavilions • Center Facility Rentals	<u>This Period</u> 56 15 116 ¹	72 28 190 ²	500 200 850
Total Rental Revenue Generated	\$25,972.80	\$34,720.82	\$151,500
Youth Leagues/Sponsors: • Co-ed Fall Soccer (7/31/17 – 12/8/17)	-	98	100
• Co-ed Winter Basketball (10/23/17 – 3/17/18) <i>Peter Piper Pizza - \$500</i> <i>Applebee's - \$250</i> <i>HD Supply - \$300</i>	-	158	160
• Co-ed Spring Baseball (2/15/18 – 5/5/18)	Reg. begins 2/16/18	-	150
• Co-ed Spring Soccer (3/30/18 – 5/18/18)	2	2	150

1 7 free rentals – PBSO, The Arc

2 30 free rentals – PBSO and School Board; 7 for the Puerto Rico Hurricane Relief Efforts.

3. YOUTH PROGRAMS

PROGRAM (Hours of Operation)	DAYS	HOURS	
CARES	Monday - Friday (school days)	2:00 - 6:00 p.m.	
Cool Zone	Monday - Friday (school days)	4:30 - 6:30 p.m.	
Hot Spot	Monday - Friday (mentors) 1st and 3rd Friday and Saturday	3:30 - 6:30 p.m. 6:00 - 10:00 p.m.	
PERFORMANCE MEASUREMENT # of Students Enrolled	AVERAGE THIS PERIOD	FY 2018 TO DATE	FY 2018 BUDGET
Daily Attendance (CARES & Cool Zone)	100	111	150
• CARES	79	88	120

• Cool Zone	21	23	30
• Hot Spot	15	23	25
Daily Transportation	98	109	150
• 5 Elementary Schools	78	87	120
• 2 Middle Schools	20	22	30
• Parent Drop-off	2	2	5
# of Participants - <i>Youth Delegates in Action</i>	4	4	15
# of Participants - <i>Sierra Club</i>	8	12	12
# of Participants in Life Skills Training Prog.	15	23	15
# of Participants in Mentor Program	15	23	15
# of Presidential Volunteer Service Hours (calculated from Jan-Dec)	1086.47 hrs	4,973.02 hrs	6,000 hrs
PROGRAM PARTICIPATION	THIS PERIOD	FY 2018 TO DATE	FY 2018 BUDGET
Grants/Licenses Coordinated:			
• Early Learning Coalition	\$16,292.63	\$44,243.62	\$314,531
• Registration and Parent fees	\$14,438.90	\$28,831.20	\$158,095
• Dept. of Health Child Care Food Program	\$1,483.68	\$2,547.60	\$11,400
• Youth Services Department Grant	\$6,416.40	\$6,416.40	\$77,00
Service Agreements Coordinated	3	3	4

- On December 12th and 14th PBSO hosted their annual “Shop with A Cop” event at Target and Walmart, and 10 students were selected based on need; five (5) were randomly selected to shop at Target and five (5) at Walmart. Each child received a \$100 gift card and were able to shop with PBSO Deputies and purchase gifts for themselves and their families.
- Winter Camp ran from December 22, 2017 through January 5, 2018. Field trips included; Movies at Wellington, Monkey Joes, Peter Piper Pizza, and Fun Depot. The Junior Garden Club also had the opportunity to visit the beautiful Gene Joyner Garden, and tour the garden at the West Palm Beach Elks Lodge.
- On January 3rd, the CARES Junior Garden Club and the Oleander Garden Club of the Palm Beaches went to the Gene Joyner Garden where members had a tour and planted trees. After that the children had lunch at the WPB Elks Lodge and a tour of the Elk’s garden too.
- Youth Programs participated in the “Hanging of Hands” art exhibit displayed in the Mandel Public Library in downtown West Palm Beach. This year, the Early Learning Coalition (ELC) of Palm Beach County scheduled staff to attend events in Tallahassee during Children's Week 2018 (January 21st - 26th, 2018). The first of those annual events is the "Hanging of the Hands" in the Capitol Rotunda. ELC hopes to be able to hang artwork from all of the Palm Beach County child care providers. Below is a picture of the eight foot ribbon of decorated hands that the kids created to be displayed! The kids did an amazing job!



4. GENERAL

- The Fall Fitness Festival, Green Market & Indoor Rummage Sale was a successful Fall event with numerous fitness demonstrations, health, wellness, produce, food, clothing, furniture, jewelry, musical entertainment, plus a Kidz Zone with a stilt walker, face painter, bounce houses, and arts & crafts.
- The 18th Annual Thanksgiving Dinner was held Wednesday, November 22nd at the Community Center with volunteer assistance from Legacy Church, Helping Hands Assistance Program and numerous donations from local restaurants. Children from Youth Programs made table decorations and greeting cards for the event that were included in over 25 home delivered meals.
- The “Lunch with Santa” event (co-sponsored by the Greenacres Kiwanis Club) was held at the Samuel J. Ferreri Community Park this year, on Saturday, December 9th from 11:30 a.m. - 3:00 p.m. Approximately 500 attendees weathered rain and cold temperatures to experience multiple attractions including; Santa Claus, horse and carriage rides, inflatables, carolers, stilt walker/balloon artist, and food and drink. Greenacres Fire Rescue grilled and passed out food, Walgreens and the Key Club assisted with the toy dissemination.
- The City co-sponsored *Fiesta de Pueblo* event (executed by the Puerto Rican Hispanic Chamber) on Saturday, January 6th was very successful! The PRHC has already reserved the park for next year’s event on January 7, 2019.
- The Daddy Daughter Dance is back, and will take place in the Community Center’s banquet facility on Saturday, February 24th from 6:30 – 9:00 p.m. Plans are now underway for the “*To the Moon & Back*” themed dance event. This will be an evening to remember with dinner, dancing, fun and games. Registration is now available for ages 4 and over at \$15 per person.
- Discussions are underway with the Nam Knights Organization for the return of the *Rock-n-Roll Sunday* event this year at Samuel J. Ferreri Community Park on May 20, 2018. This is an event to benefit the Vetsville Cease Firehouse and other Veterans organizations.

UPCOMING EVENTS:

EVENT	DATE	TIME	LOCATION
Daddy Daughter Dance	Feb 24, 2018	6:30 – 9:00 pm	Comm. Center – Banquet Hall
Eggs'travaganza	Mar 31, 2018	10:00 am- 1:30 pm	SJF Community Park
Rock n' Roll Sunday	May 20, 2018	12:00 pm – 6:00 pm	SJF Community Park
Ignite the Night	July 4, 2018	5:30 pm -10:00 pm	SJF Community Park
Back To School	Aug. 4, 2018	12:00 pm – 3:00 pm	SJF Community Park

Michele Thompson, CPRP
Director of Leisure Services

**CITY OF GREENACRES
INTEROFFICE MEMORANDUM
2017.12EB3.001**

TO: Andrea McCue, City Manager
FROM: Kara L. Irwin-Ferris, AICP, Planning and Engineering Director *KLF*
SUBJECT: **Planning and Engineering Department Report**
DATE: January 8, 2018

Listed below are the items currently under review by the Planning and Engineering Department for the reporting period December 1, 2017 through December 31, 2017.

NEW CASES

6017 Snowy Egret Lane

A request by the owner for a variance (BA-17-11) to reduce the rear yard setback from 5 feet to 2 feet. The site is located at 6017 Snowy Egret Lane. (Scheduled for LDS meeting on January 18, 2018)

CIE Update (CPA-17-03)

A request by the Planning & Engineering Department to amend the Capital Improvement Element of the Comprehensive Plan to reflect the City's revised Capital Improvement Program, the County's revised 5-Year Road Plan, the Palm Beach County Water Utilities Department's updated Water Supply Work Plan, and the latest Capital Improvement Plan of the School District of Palm Beach County. (Scheduled for LDS meeting on January 18, 2018)

Cell Tower - Greenacres Fire Rescue

A request for a special exception (SE-17-04) to install a telecommunication facility in the Government Use (GU) zoning district and a request for site and development plan approval (SP-17-04) to construct a new telecommunication tower to be located at 2905 South Jog Road. (Scheduled for LDS meeting on January 18, 2018)

Kid's College Greenacres Campus

A request by the owner for a class III site plan amendment (SP-13-03A) to add an additional parcel of land and to move the building and driveway westwards. The site is located at 1091 S. Jog Road.

CURRENT PLANNING CASES

3581 S. Jog Road

A request by the owner for a site and development plan (SP-17-01) to convert a portion of a single-family residence to an office. (Awaiting receipt of response to LDS comments of May 24, 2017)

4644 Lake Worth Road (Dunkin Donuts)

A City-initiated change in the future land use (CPA-17-01) and zoning designation (ZC-17-01) of the parcel annexed into the City as part of ANX-16-03. The City is proposing to apply City Land Use and Zoning designations for a parcel. (Scheduled for second reading and adoption at the City Council meeting on January 22, 2018)

Aldi's Greenacres (NW Corner of Chickasaw & Jog Road)

A request by the owner for a site and development plan (SP-17-02) approval to construct a 22,978 sq. ft. Aldi's grocery store. The site is located on the northwest corner of Chickasaw Road and S. Jog Road at 3429 S. Jog Road. (Scheduled for review at the City Council meeting on January 22, 2018)

NW Corner of Chickasaw & Jog Road

A request by the owner for a voluntary annexation (ANX-13-03) of 3 parcels of land totaling approximately 2.14 acres, along with a change in the future land use designation (CPA-13-04) from Palm Beach County Low Residential 3 (LR 3) to City Mixed Use (MU) and a zoning designation change (ZC-13-04) from PBC Agricultural Residential (AR) to City Mixed Use Development-Office (MXD-O). The site is located on the northwest corner of Chickasaw Road and S. Jog Road. (Scheduled for first reading at the City Council meeting on December 18, 2017 and for second reading at the City Council meeting on January 22, 2018)

ANX-08-01

Annexation into the City of various road rights-of-way per Interlocal Annexation Agreement (ANX-07-05). (Staff review)

Bethesda Tabernacle

A request by the owner for a variance (BA-15-07), a request for a site and development plan approval (SP-99-04A) to modify the previously approved site plan and a special exception (SE-15-05) to demolish the existing house of worship and develop a 16,459 square foot House of Worship use and accessory uses at 4901 Lake Worth Road. (Staff review)

Dairy Queen

A request by the applicant for zoning change (ZC-27-03) from Commercial General to Commercial Intensive in the Lake Worth Corridor district, a special exception (SE-17-03) request for a drive-thru restaurant in a Commercial Intensive zoning district and a site and development plan (SP-17-03) to demolish the vacant 3,510 sq. ft. building and construct a 3,115 sq. ft. building with a drive-thru restaurant. The zoning application has been withdrawn site is not required to be rezoned. The site is located at 4828 Lake Worth Road. (Awaiting receipt of LDS Comments letter dated December 8, 2017)

Kingswood Jog North

A request by the owner for a subdivision of the parcel located at 3307 South Jog Road. The existing site has been developed with a 10,000 square foot Child Care Center/ Preschool Facility on the southern 1.9 acres of the subject 3.82-acre site. The applicant is proposing to subdivide the property into two separate parcels. (Plat approved at the City Council on December 4, 2017, awaiting receipt of recorded copy)

Ministries in Bethel

A request by the owner of the existing child care center / preschool at 3950 S. 57th Avenue in the Commercial Intensive (CI) zoning district for a Special Exception (SE-16-01) and Site Plan (SP-84-12A) to construct an approximately 6,940 square foot House of Worship for Ministries in Bethel. (Staff Review of resubmittal received on May 15, 2017)

PBC Tax Collector

A request by the owner for a voluntary annexation (ANX-17-01) for one parcel of land totaling 3.28 acres. The City has converted the application to an involuntary application in order to include the annexation of two additional parcels; the FPL substation (4101 S. Military Trail) and a Lake Worth Drainage District drainage canal right-of-way between the two parcels (located between Raulerson Drive and South Military Trail). A City-initiated change in the future land use (CPA-17-02) and zoning designation (ZC-17-02). The City is proposing to apply City Land Use and Zoning designations for a parcel. The site is located at 4215 S. Military Trail. (Scheduled for second reading at the City Council meeting on January 22, 2018)

SITE PLAN AMENDMENTS

None.

Text Amendment

ZTA-16-05

A city-initiated request for a text amendment to revise Building heights based on comments from the City Council workshop on October 24, 2016. (Postponed from the Planning Commission meeting of August 16, 2017 to the Planning Commission meeting of September 20, 2017, currently no date set for review)

Residential

Whitney Park (aka Bowman Pines)

The Plat was approved by City Council on December 5, 2016. Permits have been issued for site construction and the developer is in the process of doing off-site improvements for water and sewer infrastructure. The applicant has received all single-family permits out of the approved 24 single-family homes. Currently, 12 of the 24 homes have been granted Certificates of Occupancy.

Harvest Pines

The Plat for this 35-unit single-family residential development and acceptance of park site deed were approved at the City Council meeting on April 20, 2015 and engineering permit was subsequently issued. Site civil engineering work is complete. Site clearing and stormwater drainage, installation of water and sewer piping, internal roads, and the sales models are complete. Construction of homes is underway in the subdivision and 33 Certificates of Occupancy have been issued to date. Traffic Control Jurisdictional Agreement (TCJA) was approved at the City Council meeting on February 6, 2017. The developer has requested close-out of the project. The subdivision bond was returned on June 26, 2017 to the developer and a one year 10% maintenance bond was received.

Las Ramblas

The Plat was approved at the February 6, 2017 City Council meeting. Permits have been issued for site construction and the developer has requested master model approval for the building home sites. Pre-construction meeting was held on April 19, 2017. The site has been cleared and is currently under construction. The developer has requested two (2) of the fourteen (14) single-family permits to date.

Pine Grove Farm

Except for 2 vacant lots, all work has been completed.

Reserve at Summit

Plat for this 73-unit single-family residential development was approved at the July 6, 2015 City Council meeting and engineering permit and clearing permit have been issued. Site clearing and stormwater drainage, installation of water and sewer piping, internal roads, and the sales models are complete. Construction of homes is underway in the subdivision and more than 75% of the Certificates of Occupancy have been issued. The Recreation parcel has been completed.

Santa Catalina

Plat application received on December 9, 2016. The Plat was approved at the February 6, 2017 City Council meeting. Permits have been issued for site construction. Pre-construction meeting was held on April 26, 2017. The site has been cleared and is under construction. The applicant has requested permits for all residential townhome buildings.

Commercial

Braman Honda

Revised replat under review. Construction of the vehicle storage lot is complete. Permit application for the recently approved service department expansion (SP-97-06G) was issued.

Church of God 7th Day

The building permit and engineering permit are both issued for the development. Construction is underway.

Greenacres Nissan

Developer closed on purchase of the property on October 21, 2015. Plat approved on May 16, 2016 and engineering permit issued immediately thereafter. Building permit issued July 7, 2016. Site and building construction are underway.

A Permit Revision was submitted for the addition of the garage and has been issued. Staff is still working with the developer on a lighting plan for the garage. (Temporary Certificate of Occupancy was issued by the Building Official, no final zoning inspections have been requested or completed.)

Jog Professional

Sewer installation complete. Building and engineering permits issued. Preconstruction meeting with contractor and City staff held on March 20, 2016. Building construction is well under way, with roof trusses and sheathing installed. Owner has new contractor, construction to resume shortly.

Soma Medical Center

Building and engineering permits issued for the project and construction is underway.

Racetrac Market at Sherwood Plaza

Building and engineering permits issued for the project. Pre-construction meeting held on January 10, 2018.

Target

Plat application received on March 22, 2017. The City has completed two rounds of review and found the submittal sufficient for approval. The re-plat was approved at City Council on August 7, 2017. Engineering permits for Discount Tire and Zaxby's were approved and forwarded to Building Department for review on October 12, 2017. The Building Department is waiting on contractors to be chosen in order to issue the permits.

Wawa

Plat application received on July 19, 2016, and after review, the Plat was approved by City Council on October 17, 2016, as "Bright Acres Plat". A demolition, Engineering, and Building permit have been closed out for the site. A Certificate of Occupancy (CO) has been issued for a site and two outstanding improvements have been secured with surety. Building permit has been issued for the bus shelter and the developer is still waiting on FPL to move a power pole to make driveway improvements on South Jog Road.

Capital Improvements

Community Center Expansion

Project was advertised for bids on June 28, 2015. Bids were received on July 29, 2015 and City Council awarded the project to Sisca Construction Services, LLC on September 3, 2015. The project is substantially complete. Punch list completion and final close out submittals remain pending.

Marquee Signs

Five bids were received on March 23, 2017. On June 5, 2017 City Council awarded the project to Unified Board Operations, LLC. The electrical work has been completed. The Notice to Proceed was issued on July 12, 2017 to Unified Board Operations with a start date of July 17, 2017 and completion date of September 15, 2017. The contractor is citing hurricane issues as a request for additional time to install. The permits have been issued and the contractor anticipates that the signs will be installed by February 2018.

Original Section Drainage Improvement – Phase 3

Phase 3 was advertised on February 12, 2017. On March 15, 2017 five (5) bids were received and opened. The City Council awarded the project to Hinterland Group, Inc. on May 1, 2017, with Notice to Proceed issued on June 1, 2017 and contract start date is July 6, 2017. All work has been completed and the contractor is in the process of completing a punch-list for final payment and close-out.

Original Section Drainage Improvement – Phase 4

An application for Phase 4 of the Original Section Drainage Improvements project was submitted to DES on March 31, 2017. Staff submitted Interlocal Agreement to DES December 20, 2017 awaiting approval from Board of County Commissioners.

FY 2018 Data:

	CURRENT PERIOD	FY 2018 TO DATE	FY 2018 BUDGET
Annexations	0	0	2
Comprehensive Plan Amendments	0	0	4
Zoning Changes	0	0	3
Special Exceptions	0	0	5
Site Plans	0	0	5
Site Plan Amendments	0	3	17
Variances	0	1	5
Zoning Text Amendments	0	0	3

	CURRENT PERIOD	FY 2018 TO DATE	FY 2018 BUDGET
Landscaping	8	33	138
Zoning	11	43	114
Engineering	10	29	115

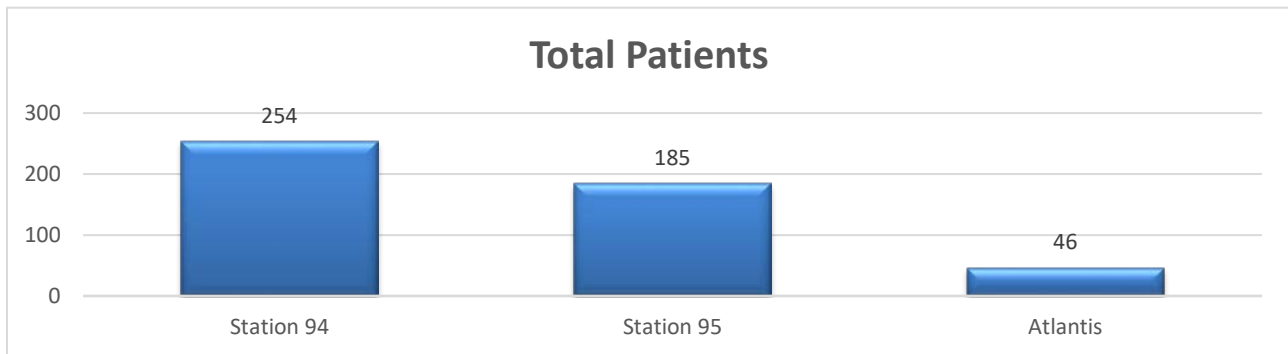
CITY OF GREENACRES
INTEROFFICE MEMORANDUM
2018.1IC5.001

TO: Andrea McCue, City Manager
FROM: Mark Pure, Fire Chief
RE: Departmental Report for November 27, 2017 through December 31, 2017
DATE: January 11, 2018

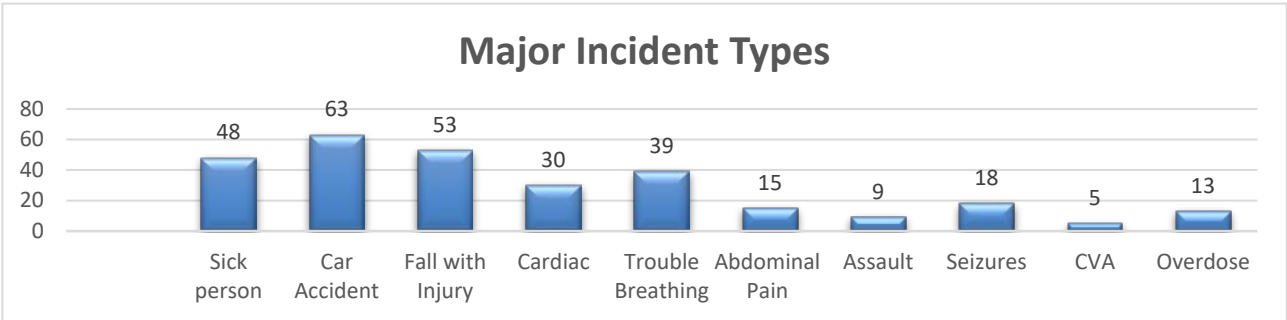
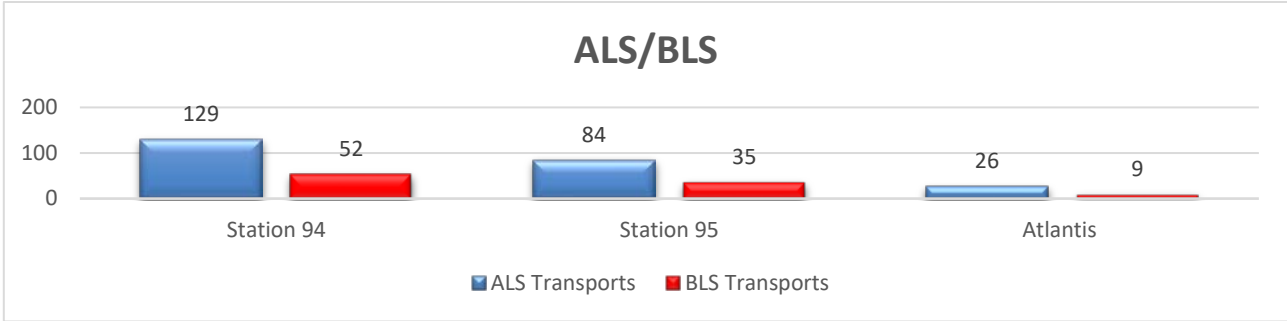
Total alarms dispatched this month	499
Average alarms per day	16.09
Total calls this year	6,170

In December 2017, 439 patients were treated for Emergency Medical related services. Of those patients, 46 were in the City of Atlantis. These requests include a single unit responding to assist a person who has fallen to the floor, a cardiac arrest requiring multiple units and a combination of personnel, advanced skills, and equipment.

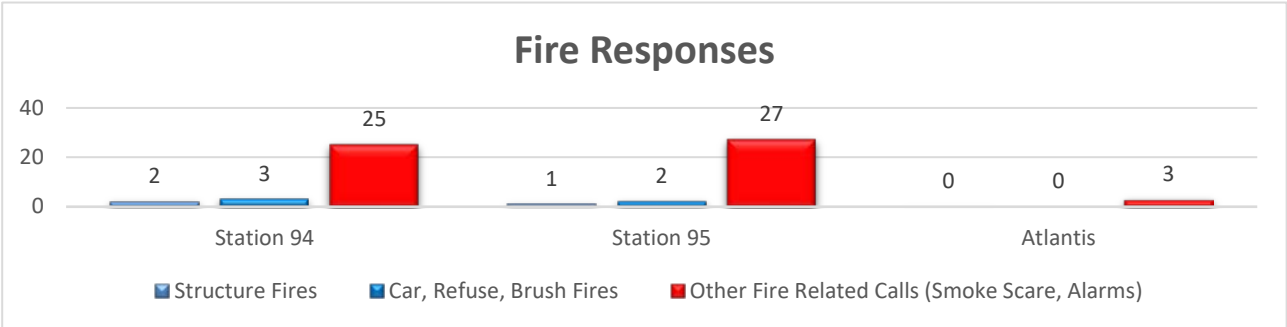
Service Calls, Cancels, and Public Assists totaled 107. The requests include, but are not limited to, persons locked out of home, water evacuation, animal problem, police assist, defective elevator, and canceled due to wrong address.



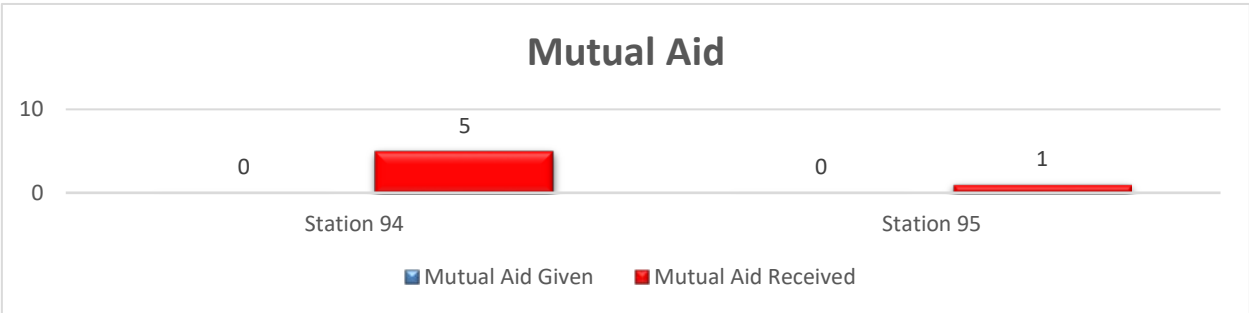
Fire Rescue transported 335 patients to a hospital or 76% of the patients we were called to treat. The majority of those (213) required Advanced Life Support procedures. ALS emergencies necessitate additional personnel, specialized equipment and skills. Often, an EMT or Paramedic will be taken from the ALS Engine to accompany the one person in the rear of the Rescue to assist with life-saving therapies.



Fire Rescue responded to 63 calls for a fire or smoke related emergency. Five (5) of those required an escalated response for a car, brush, or refuse fire; three (3) were in a residential or commercial structure.

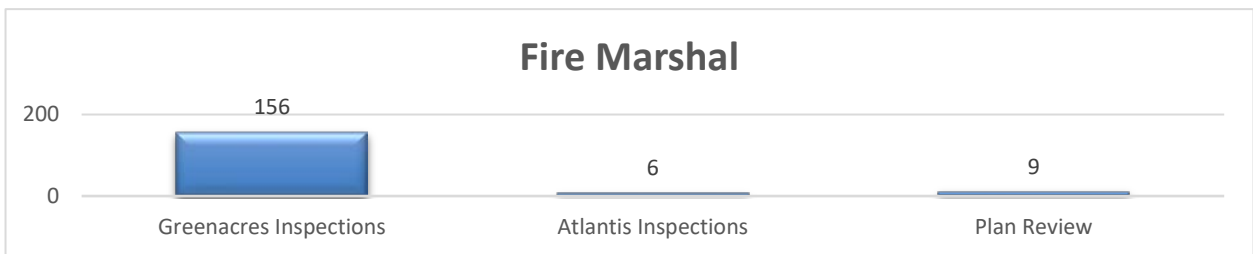


Mutual aid is the sending or receiving of emergency resources (apparatus, personnel) to or from another entity or agency upon request. No community has sufficient resources to handle every emergency of all sizes. Therefore, neighboring agencies work together through a system called Mutual Aid. That system is designed to be limited to large events that tax the resources beyond the normal capabilities of the community. During the month of December, the Department received aid six times.



Fire Prevention and Protection focuses on protecting people and property from fire through fire safety inspections, fire plans review, fire cause and origin investigations, and public education. In addition, the Fire Marshal provides fire safety lectures, attends land development meetings, and testifies at code enforcement hearings.

Inspections	162
Plans Review	9
Dollar Loss due to fire	\$20,200.00



Station Tours, presentations, blood pressure screenings	12
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Greenacres Elementary School demonstration on December 4, 2017.



Councilman Anderson Thelusme, Fire Chief Mark Pure, Santa Claus, and Station 94 C shift deliver presents to the Children's Hospital at Palms West.



Greenacres Fire Rescue employees and family members (above) braved a cold rainy day and cooked over 300 meals including hamburgers and hot dogs, as well as delivered Santa Claus for the annual Greenacres Lunch with Santa on December 9, 2017.

CITY OF GREENACRES

**INTEROFFICE MEMORANDUM
#2018.01LN4.01**

TO: Andrea McCue, City Manager
FROM: Carlos Cedeño, Public Works Director
RE: Public Works Department Report
DATE: January 12, 2018

Listed below is a brief summary of the activities undertaken by the Public Works Department during the period of November 27, 2017 through December 31, 2018.

1. ADMINISTRATION:

- a. Director attended Professional Surveying Services for Jog Road & Lake Worth Road Medians Bid opening.
- b. Director attended LMS Working Group Meeting.
- c. Director attended Director Training Workshop.
- d. Submitted annual paper records for destruction.
- e. Public Works Project Coordinator completed *Introduction to Incident Command System ICS-100* course.

ACTIVITY	COMMENTS	11/27/17 – 12/31/17	FISCAL YEAR TO DATE	FY2018 BUDGET
Annual Licenses and Reports Submitted	Hazardous Waste Generator Permit	1	1	7
Citizen Requests Processed	(1) Website, (23) recycling bins, (1) general requests	25	74	225

2. ROADS AND DRAINAGE MAINTENANCE

- a. Installed refurbished City Entry Sign on Forest Hill Blvd. median, west of Jog Road.
- b. Straightened traffic control and street name signs citywide.

ACTIVITY	COMMENTS	11/27/17 – 12/31/17	FISCAL YEAR TO DATE	FY2018 BUDGET
Maintenance of Traffic Control Signs (1,239)	Installed (2) black stop sign posts at Swain Blvd & First St.	2	4	N/A

ACTIVITY	COMMENTS	11/27/17 – 12/31/17	FISCAL YEAR TO DATE	FY2018 BUDGET
Medians Maintained (72)	Jog Rd, 10 th Ave N., Forest Hill Blvd., Lake Worth Rd., 57 th Ave.	8	23	N/A
Canal Maintenance (A & B Canals)	1 Mile	4	12	N/A
R-O-W Litter Removal	City Streets	5	13	N/A
R-O-W Landscape Maintenance	City Streets	1	5	N/A
Trees on medians, right-of-ways, & green areas maintained (1,986)	Trimmed (193) Sabal Palms, (13) Oaks, (3) Green Buttonwood and (14) Washingtonian Palms on Swain Blvd. and (34) Sabal Palms and (1) Washingtonian Palm on Biscayne Drive	258	258	1192
Landscape Maintenance Retention Ponds/Lakes	Ramblewood Circle, Harwich Court	1	4	N/A
Alleyway Maintenance	5.56 Miles	2	4	N/A
Underground utility locate ticket requests	N/A	103	242	700

3. VEHICLE MAINTENANCE

- a. Received new 10,000-watt generator (CIP Project #304-049).

ACTIVITY	COMMENTS	11/27/17 – 12/31/17	FISCAL YEAR TO DATE	FY2018 BUDGET
Inspections	(5) Fuel storage tanks, (6) generators, (1) hazardous materials inspection at Fire Rescue Station 94/PBSO District 16	11	47	N/A
Repair Orders Completed	(24) Fire & Medic trucks, (14) Public Works trucks, (1) Building truck, (1) Finance van, (1) L.S. Van, (2) L.S. trucks, (54) small engine equipment, and (3) L.S. buses	100	207	800
Preventive Maintenance Performed	(1) Fire & Medic trucks, (3) Public Works trucks, (1) Finance van, (3) Building vehicles, (10) small engine equipment	18	43	190
Service Calls	(4) Fire & Medic trucks, (1) Public Works truck, (1) small engine equipment	6	15	N/A

4. BUILDING SERVICES

- a. Coordinated replacement of exercise control board for generator transfer switch at Fire Rescue Station 94.
- b. Coordinated replacement of 7.5-ton A/C unit for Administration and Reception areas at Fire Rescue Station 94 (CIP Project #304-163).
- c. Coordinated replacement of Zonex System in Administration area at Fire Rescue Station 94 (CIP Project #304-163).
- d. Upgraded existing lighting to LED lights in Public Works Vehicle Maintenance bays.
- e. Performed annual preventative maintenance for 56 exhaust fans.
- f. Performed annual preventative maintenance on Building Services shop tools.
- g. Coordinated quarterly preventative maintenance for lift stations at Freedom Park and Municipal Complex.
- h. Removed pay phones throughout City properties.
- i. Replaced solar light on City Entry Sign on Forest Hill Blvd. median, west of Jog Road.

ACTIVITY	COMMENTS	11/27/17 – 12/31/17	FISCAL YEAR TO DATE	FY2018 BUDGET
HVAC Systems (36) Repairs	(2) City Hall	2	7	N/A
Monthly PM for Interior Lights	17 Buildings	85 bulbs	115	N/A
Monthly PM for (17) Buildings	Includes inspection and replacement of A/C filters, flags, fire sprinkler gauges, battery recycling and rust removal from irrigation	1	3	12
Work Orders Completed	17 Buildings	90	217	800

5. PARKS MAINTENANCE

- a. Maintenance Worker I completed *Introduction to the Incident Command System for Public Works ICS-100* and *National Incident Management System (NIMS) An Introduction IS-700* courses.

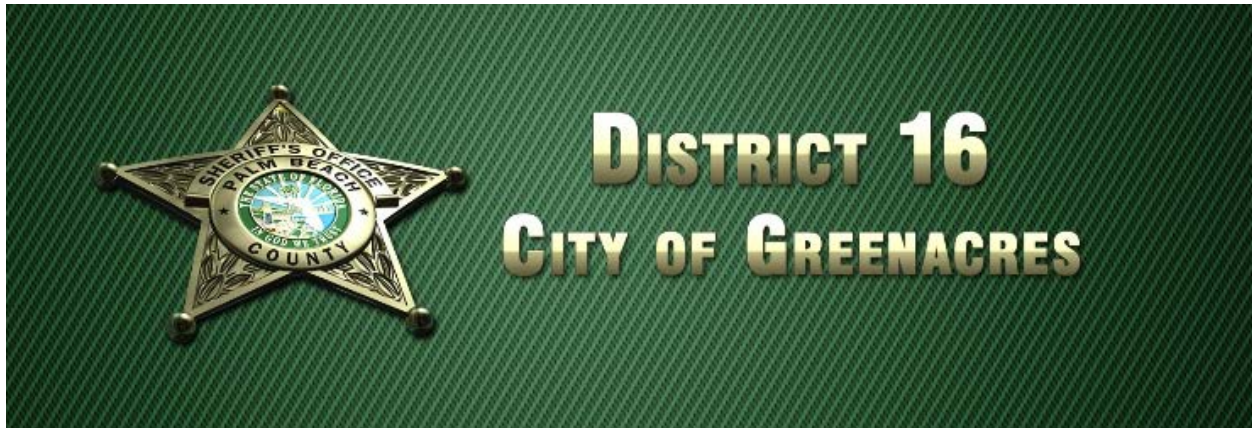
ACTIVITY	QUANTITY	11/27/17 – 12/31/17	FISCAL YEAR TO DATE	FY2018 BUDGET
Mowing Public Building Grounds	11.7 acres	3	8	36
Mowing of Parks' Grounds	66.5 acres	3	8	40
Mowing of Sports Turf	15 acres	8	26	90

ACTIVITY	QUANTITY	11/27/17 – 12/31/17	FISCAL YEAR TO DATE	FY2018 BUDGET
Athletic Fields (11) Maintained and Prepped	Ballfield, Soccer, Football	66	212	N/A
Athletic Courts (26) Maintained	Tennis, Basketball, Racquetball, Shuffleboard, Volleyball	9	25	N/A
Parks and Buildings Litter Removal	92 acres	9	46	N/A
Trees in parks and building grounds maintained (4,663)	Trimmed (82) Sabal Palms, (1) Slash Pine, (3) Oak trees and removed (2) Sabal Palms & (1) Slash Pine at Community Park; trimmed (28) Sabal Palms and (25) Slash Pines at FR94/PBSO D16	142	399	933
Playground Areas Maintained (15)	N/A	10	40	N/A
Parks and Playground Safety Inspections	15 Playground areas, 13 Parks, 11 Athletic Fields, & 9 Public Buildings	1	3	12
Community Events Assisted	Food Truck Invasion, Lunch With Santa	2	5	22

6. DEPARTMENT OF CORRECTIONS WORK SQUAD

a. Assisted Parks Division with trenching at Former City Hall (WIC).

ACTIVITY	COMMENTS	11/27/17 – 12/31/17	FISCAL YEAR TO DATE	FY2018 BUDGET
Canal Maintenance	(1) A Canal, (1) B Canal	1	2	N/A
Alleyway Maintenance	5.56 miles	2	4	N/A
R-O-W Landscape Maintenance	Sherwood Forest Blvd	1	2	N/A
Landscape maintenance	Municipal Complex	1	3	N/A
Landscape maintenance	Community Park	2	5	N/A
Landscape maintenance	Veterans Park	2	3	N/A
Landscape maintenance	Freedom Park	2	5	N/A
Work Squad Total Hours Worked	5 inmates for 7 days, 6 inmates for 6 days	426	969.5	Estimated 5,500 hr/yr



November 2017 - Monthly Strategic Report

CAD Calls	Monthly Totals
Business / Residence Checks (Self-Initiated)	2734
Traffic Stops (Self-Initiated)	715
Calls for Service (Excluding 1050's & 1061's)	1890
All CAD Calls - Total	5339

Data Source: Crimeview Dashboard
*Omit Miscellaneous Calls

SUMMARY

During the month, there were 5339 generated calls within the District and 65% of these calls were self-initiated.

DATA BELOW REPRESENTS TRAFFIC ACTIVITY CONDUCTED BY D16 PERSONNEL

Data Source: D16 Office Staff

Total Citations	Total Warnings	Parking Citations
845	621	2

DATA BELOW REPRESENTS TRAFFIC ACTIVITY CONDUCTED BY THE MOTORS UNIT

Data Source: D16 Office Staff

Total Citations	Total Warnings
99	87

*Motor Unit stats for the timeframe of 10/30/17-12/03/17.

FIELD INTERVIEW REPORTS

164 conducted per the FIR Track System

(Provided by Julie Canavan or John Kianka)

DISTRICT 16 TRUANTS

13 per the Monthly Stat Spreadsheets

DISTRICT ACTIVITY/INCIDENTS/INITIATIVES

COMMUNITY EVENTS

- District 16 participated in the Turkey Drive at the Publix located at 6790 Forest Hill Boulevard on 11/04/17.
- District 16 participated in the Grand Opening for Peter Piper Pizza on 11/04/17.
- PBSO Special Events and District 16 hosted a Penguin Event at Liberty Park Elementary School on 11/17/17. This event was to help educate the parents picking up their children about safety and the not leaving children unattended in motor vehicles. Five deputies, Detectives and the LEA attended this event.
- The City of Greenacres hosted a Mayor vs Wes Kain Basketball Challenge on 11/17/17. District 16 provided security for the event.
- The City of Greenacres hosted a Greenacres Fall Fitness Festival on 11/18/17. District 16 and the PBSO Training Division participated in the event.
- District 16 participated in the Helping Hands Household Giveaway on 11/28/17.

OPERATIONS

- The District 16 Detective Bureau completed a Where's My Car Operation on 11/02/17. This was a nighttime operation in an effort to recover stolen vehicles and stolen tags. They collaborated with a District 16 Deputy, the District 16 Street Team, and PBSO Deputies from the Volunteer Unit. All personnel canvassed the city with the focus on the hot spots for stolen vehicles and tags. The volunteer unmarked tag reader was used to query 3,048 license plates and as a result successfully completed the operation with the following:

Stolen Tag Recovered	1
Citations	3
Arrest	1
FIR's	8

- District 16 Street Crimes Team along with the District 16 SPOT Liaison/Deputy conducted a Semi-Annual SPOT Sweep within the City of Greenacres on 11/10/17. The check was completed on 17 registered sexual offenders residing in the city and of the listed offenders four (4) individuals were away from home and could not be verified. The remaining 13 individuals stated no changes and complied with our request for information.

STREET TEAM

- The District 16 Street Team conducted proactive patrol in the city where a vehicle was observed in the westbound lanes. A FCIC/NCIC check of the tag revealed the vehicle as stolen (ref: U.S. Department of Veterans Affairs Police) and a traffic stop was conducted. The occupants were immediately removed from the vehicle and detained without incident or injury. The driver of the vehicle was subsequently arrested, charged with Grand Theft Auto and this case was cleared by arrest.
- The District 16 Street Team conducted proactive patrol in the city where a traffic stop was conduct on a vehicle. The driver immediately bailed out of his vehicle attempting to flee on foot who was immediately caught and found to be in possession of both cocaine and heroin. The driver was subsequently arrested and charged with Possession of Cocaine with Intent to Sell, Possession of Heroin with Intent to Sell, Tampering with Physical Evidence, Resisting without Violence and this case was cleared by arrest.

- The District 16 Street Team conducted proactive patrol in the city where a traffic stop was conducted on a vehicle. Probable cause was developed to search both the vehicle and its occupants. Subsequent to the search the driver and passenger were arrested. One was arrested for Trafficking in Heroin 7.1g, Possession of Cocaine 2.3g and the other was arrested for Possession of Marijuana.
- The District 16 Street Team conducted proactive patrol in the city where a traffic stop was conducted and contact was made with the driver. Probable cause was established to search the vehicle in which the search produced 112.5 grams of marijuana, a Glock Firearm 23 fully loaded, six magazines (three extended), and a box of .223 bullets. The driver was charged with DWLS w/ Knowledge, Possession of Marijuana over 20 Grams, Possession of a Firearm During the Commission of a Felony, and Delinquent in Possession of a Firearm and this case was cleared by arrest.
- The District 16 Street Team conducted proactive patrol in the city when it was observed that a female was being picked up by a male in which a probable cause was established to conduct a traffic stop on the vehicle. During the traffic stop, the male was found to be in possession of crack cocaine and was charged with Possession of Cocaine and DUS with knowledge. This case was cleared by arrest.
- The District 16 Street Team conducted proactive patrol in which a hand to hand narcotic transaction was observed between two different vehicles. The occupants of one of the vehicles was observed not wearing their seatbelts and a traffic stop was conducted in the area of the city where probable cause was developed to search both the vehicle and its occupants. Subsequent to the search the driver and passenger were arrested one was arrested for Possession of Marijuana > than 20 g (318.6 g). The other was arrested for Possession of Cocaine with Intent to Sell (3.2g), Possession of Drug Paraphernalia, Possession of Marijuana < 20g and was also in possession of 20 capsules (3.3g) suspect Heroin. This case was cleared by arrest.
- The District 16 Street Team conducted proactive patrol in the city where a traffic stop was conducted on a vehicle. Probable cause was found to conduct a search of the vehicle as well as its occupants. Subsequent to the search the occupant was arrested for Possession of Cocaine, Resisting W/O Violence, Tampering w/ Evidence and the driver was arrested for Possession of Heroin, Possession of Drug Paraphernalia.
- The District 16 Street Team conducted proactive patrol in the in city where a traffic stop was conducted on a vehicle exiting a business. The vehicle was occupied by four individuals who were later identified. A male was observed throwing a white baggie out of the window of the vehicle during the traffic stop in which probable cause was found to search both the vehicle and its occupants. Subsequent to the search two of individuals were arrested. One was arrested for Possession of Cocaine, Tampering w/ Evidence and the other was arrested for Possession of Marijuana <20g (NTA issued).

DETECTIVES

- Detectives investigated a vehicle burglary where several individuals were seen breaking into a victim's vehicle on video. This incident took place at the victim's work place. Detectives acquired the video and created a bolo. The victim was able to identify a suspect seen on the video but not the burglar and after an extensive investigation the suspect was identified and located. Additional witnesses were located and probable cause was developed for the suspect. Detectives completed an interview with the suspect, admissions were made of his guilt and the suspect was subsequently arrested.

- Detectives assisted Road Patrol in a Grand Theft and Dealing in Stolen Property investigation by conducting victim, witness and suspect interviews. The suspect was later apprehended by the D16 Street Team.
- Detectives investigated the theft of a vehicle where the vehicle was recovered at a later date. Property from the stolen vehicle was reported missing. The property was later located on OfferUp.com and successfully recovered through a cooperative District 16 Detective Bureau and Street Team operation. DNA was collected from the suspect and then was released. The DNA results came back negative but due to a previous existing probable cause the suspect was relocated and arrested for the Grand Theft Motor Vehicle, Burglary to an Unoccupied Conveyance, Grand Theft and Dealing in Stolen Property.
- Several different deputies responded to a business located in the city on several different dates in reference to a retail theft in which beer was stolen. Detectives later discovered that this individual had possibly committed eight similar thefts within District 16 and could be a possible suspect. This individual was being held in secure detention at the Palm Beach County Jail so based on that an in custody arrest was completed for felony retail theft due to him having two prior convictions for retail theft and the cases were cleared by arrest.
- Detectives investigated two incidents of criminal mischief where an individual was observed destroying televisions at the same business in two different locations. Surveillance video was collected which showed the individual as the suspect as well as showing him leaving in a vehicle which later proved to be stolen. The suspect was later apprehended in the stolen vehicle and Detectives conducted an interview where the suspect confessed to both crimes stating that he was drunk. Two in-custody arrests were then completed.

ROBBERY ARRESTS

- On 11/14/17 the female victim invited a male into her residence and they were hanging out. At some point the male left the Living Room area and was inside the victims' mother's room removing a pink Beretta Handgun and \$1,300 in U.S. Currency from her top dresser drawer. The victim confronted him and told him to put the items back; however, he brandished a black semi-automatic handgun and pointed it at the victims head and told her he would pistol whip her if she did not move. He fled the incident location through the front door and was last seen fleeing from the area in a green vehicle. On 11/21/17, the male was apprehended on unrelated charges within the City of Greenacres and transported to the Violent Crimes Division for a post Miranda Warnings interview. Post Miranda he provided a full confession to his involvement with the robbery. The stolen pink Beretta was recovered and turned into PBSO evidence. Case Cleared by Arrest.
- On 11/21/17 a female victim was attending to the register when an unknown male entered the business. As the victim opened the cash register, the suspect male lunged over the counter and attempted to steal monies from the cash tray. The victim was able to fend him off, causing the suspect to flee. Over the next hour the same suspect committed two additional business robberies. PBSO Deputies spotted the suspect vehicle leaving this incident location and ultimately captured the suspect robber. Post-Miranda the suspect advised he stole to support his drug habit. He was properly charged and turned over to the PBC Jail for processing.

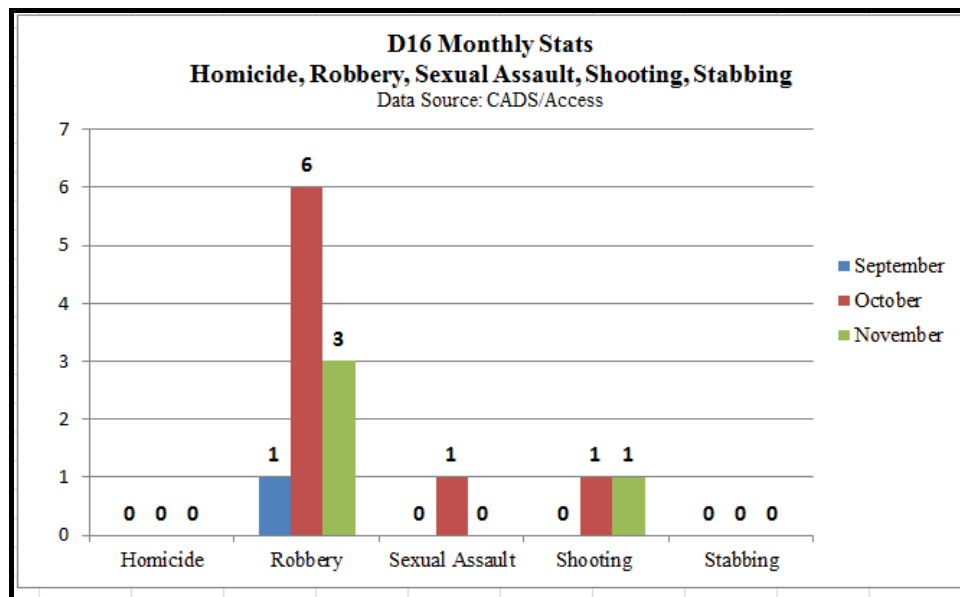
ARREST AND NTA STATISTICS

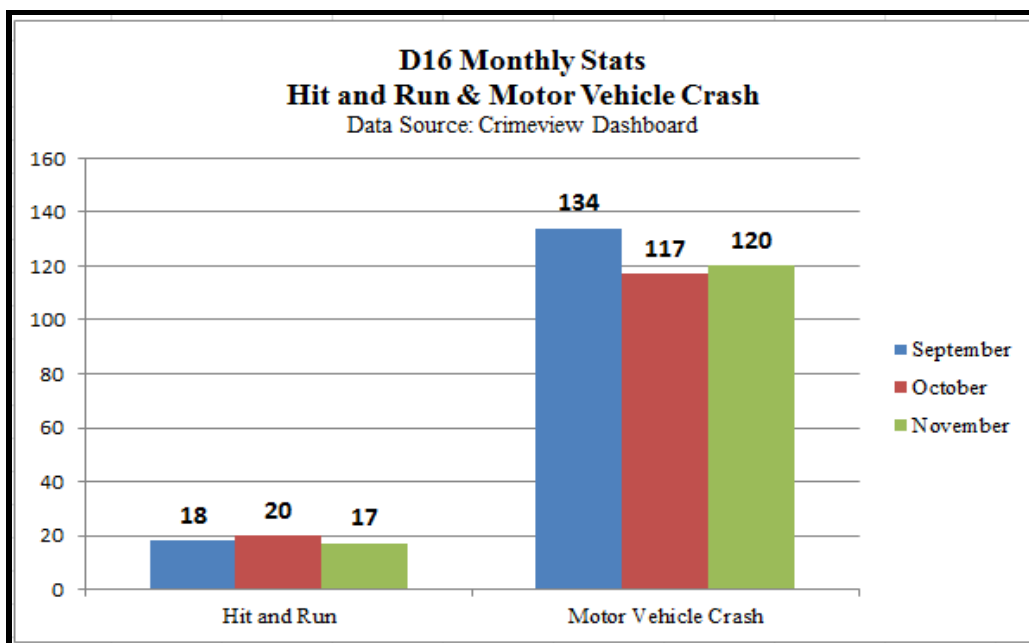
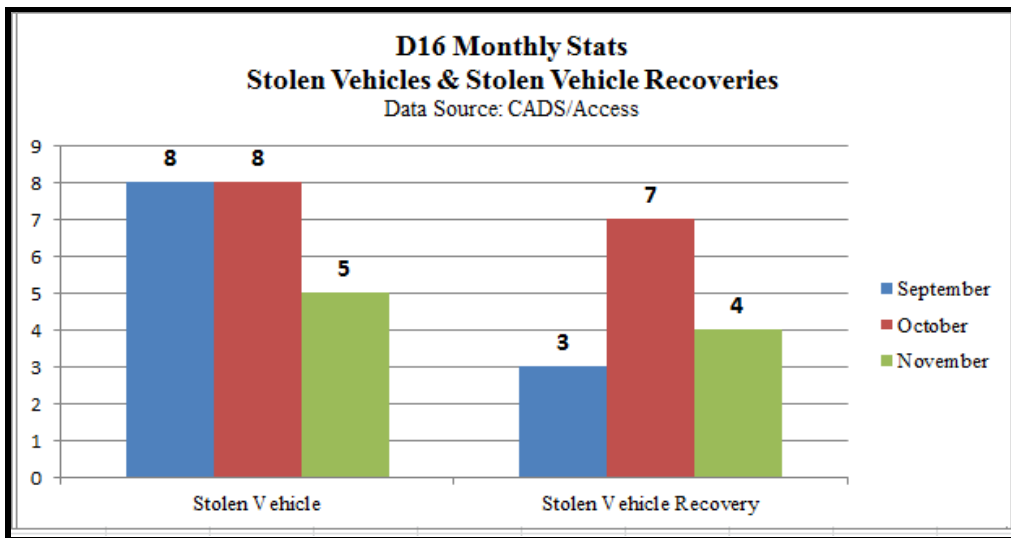
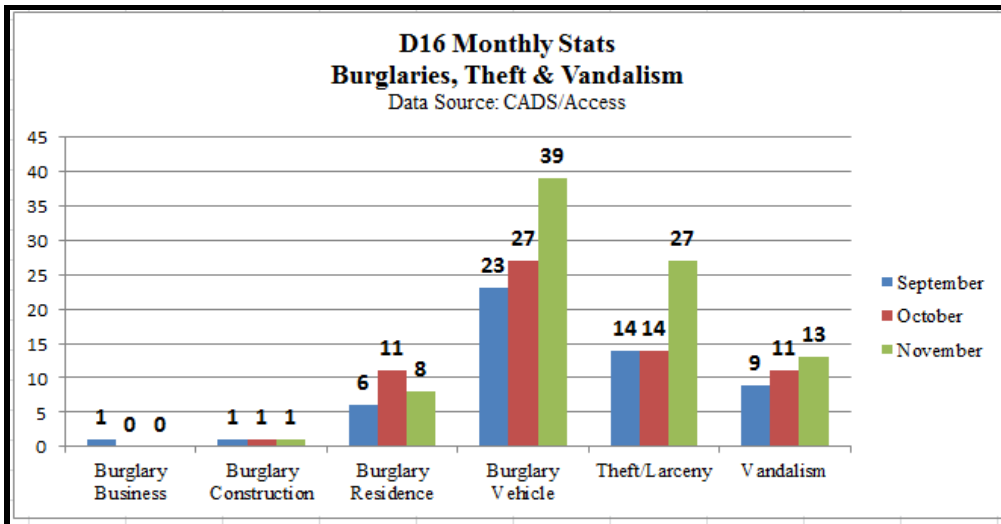
Arrest Data
Arrests & Notice to Appear (NTA) within District 16
Total Count - 77

Data Source: Crimeview Dashboard (Calls for Service)

DATA ANALYSIS

The data included in this report is charted and graphed to illustrate and compare changes over a specific time period. These charts and graphs are utilized to assist in determining crime trends and to measure enforcement efforts. This data is utilized in conjunction with other analysis to develop directed patrol and various enforcement activities. The analysis included on these pages is presented as a brief highlight to explain the salient points of this report.

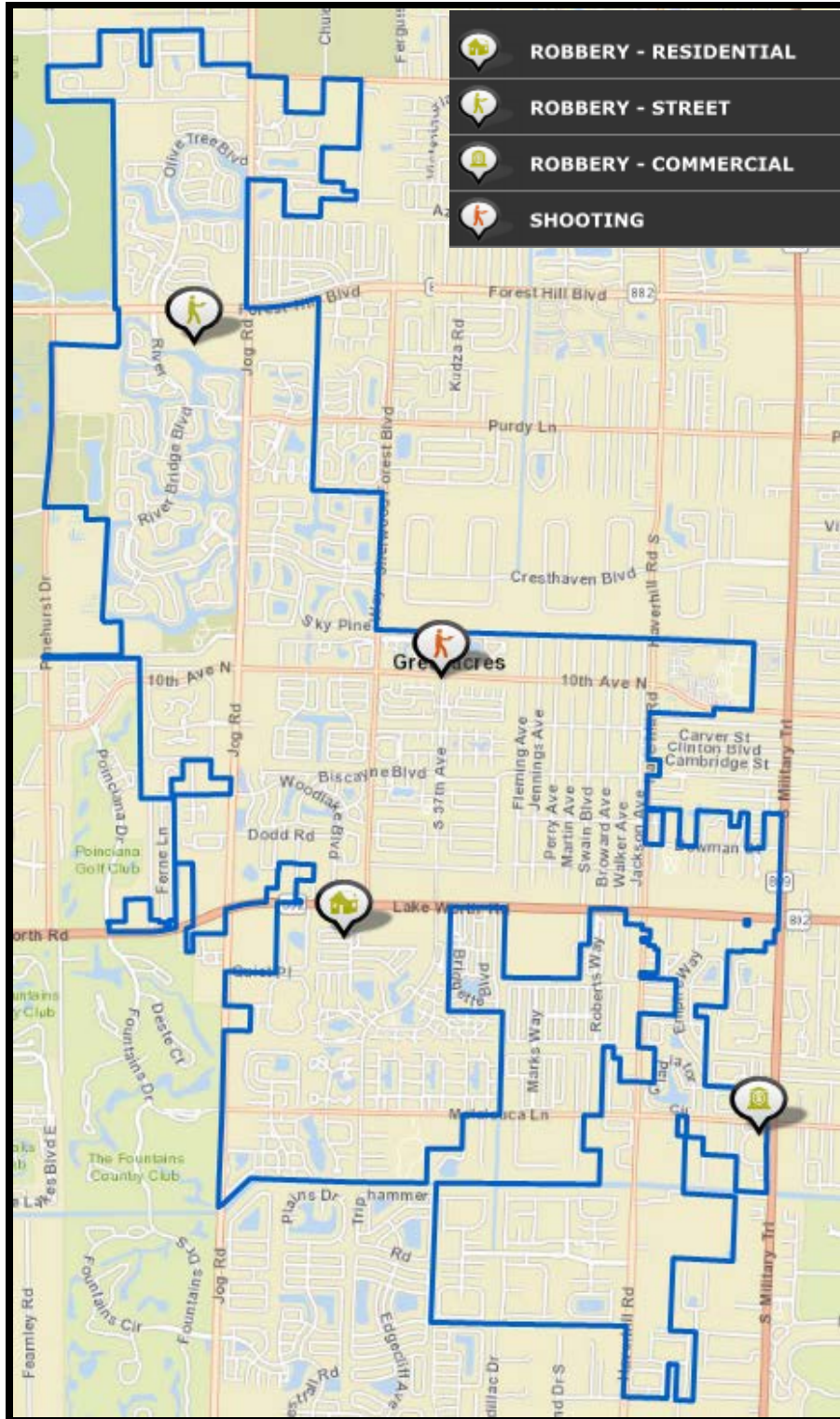




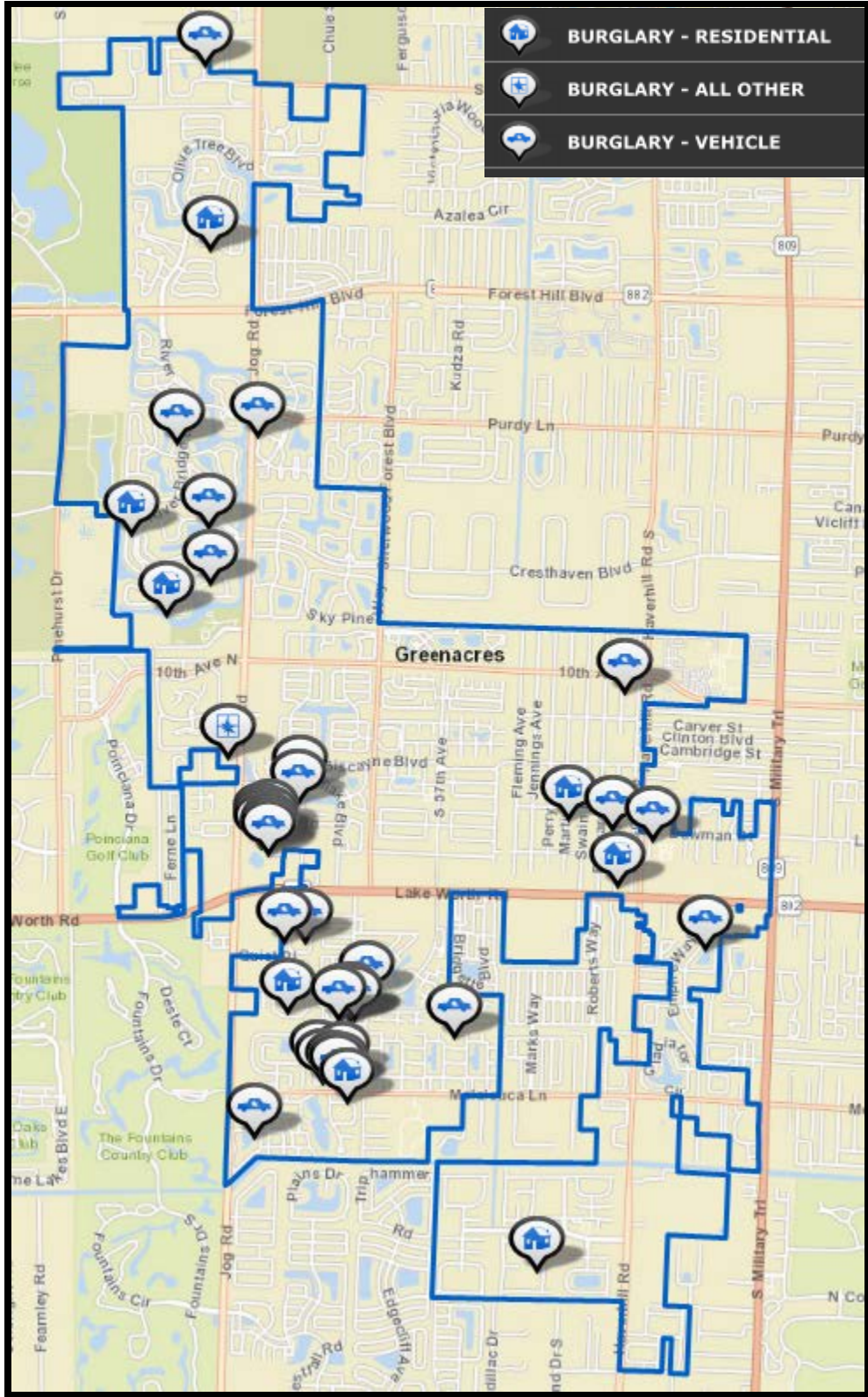
DISTRICT 16 MAP OF ACTIVITY

Data: Source: Crimeview Dashboard

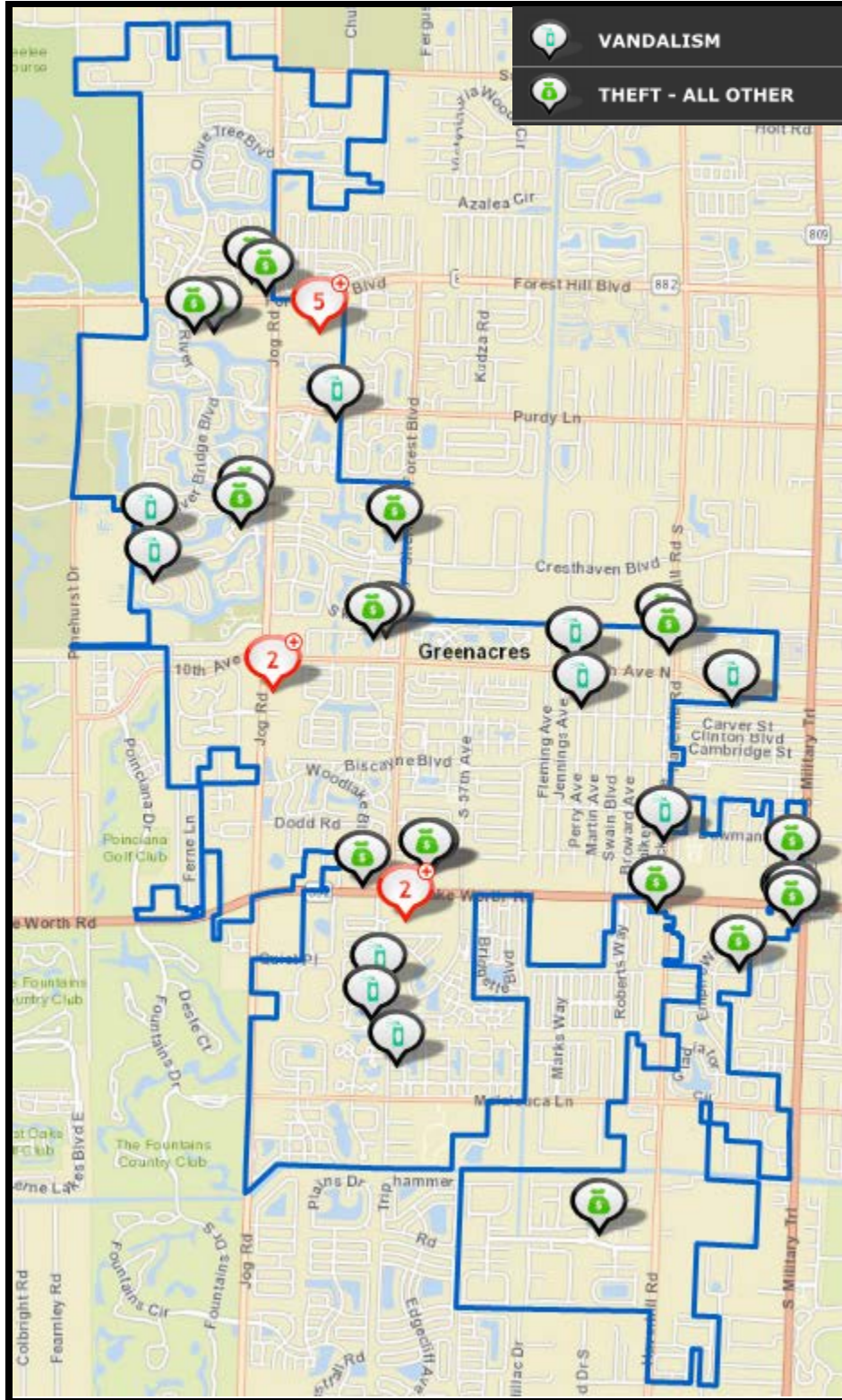
Persons Crimes



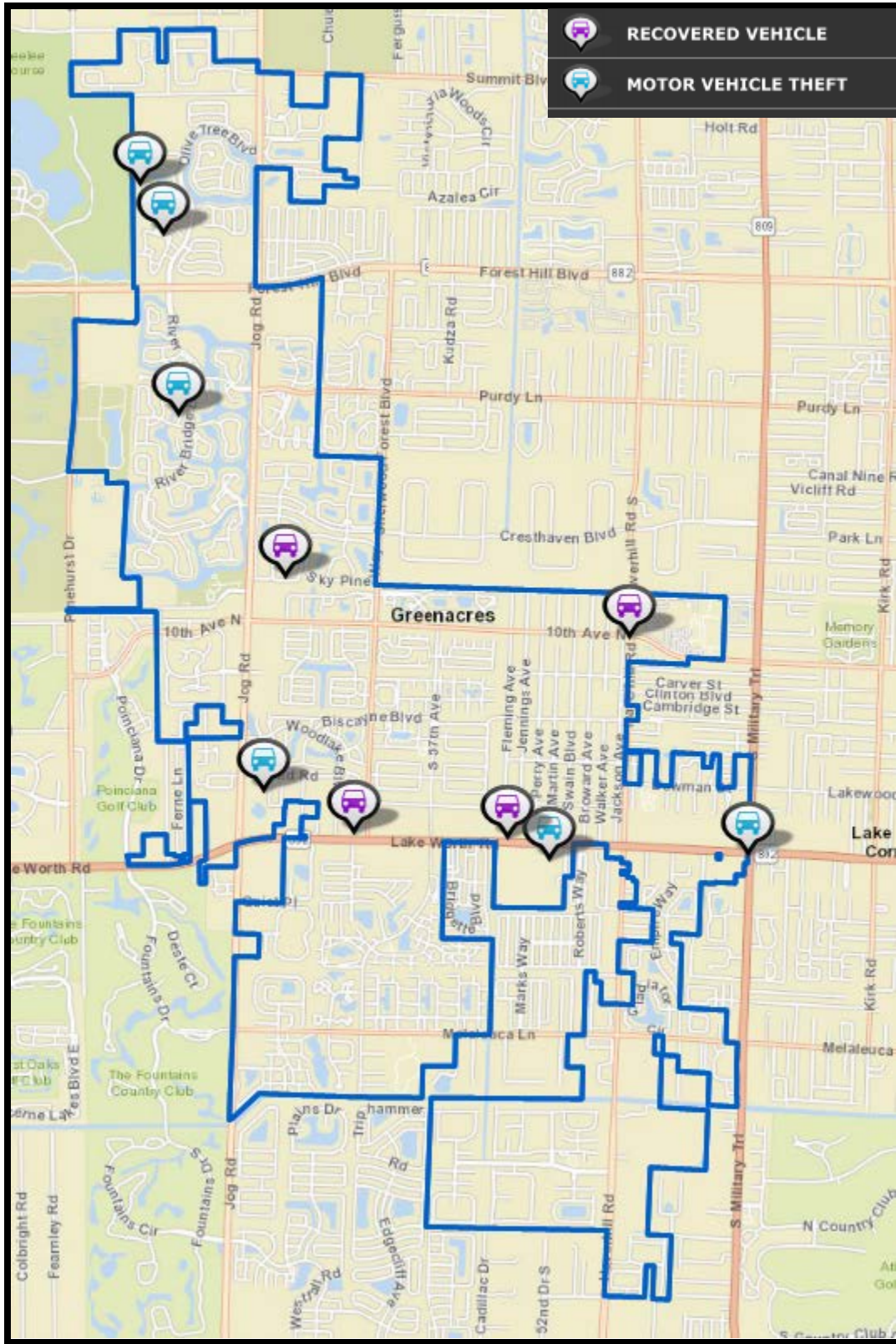
Burglaries



Theft & Vandalism



Stolen Vehicles & Recovered Vehicles



FIR MAP

148 Records Plotted
Data Source: Crimeview Dashboard

(164) Conducted per the FIR Track System

