

CITY OF GREEN ACRES

**INTEROFFICE MEMORANDUM
2017.03EB3.002**

TO: Ann Edmundson, Chairperson
Tacara Chambers, Vice Chairperson
John Buzek, Planning Commissioner
Robert Clements, Planning Commissioner
Estelle Friedman, Planning Commissioner
Larry Tronco, Planning Commissioner
Joel Flores Morales, (Alternate)

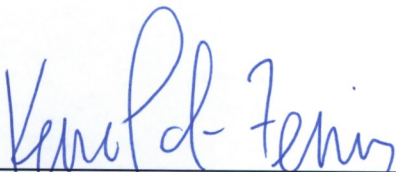
FROM: Kara L. Irwin-Ferris, Planning & Engineering Director

SUBJECT: **Planning Commission – 3/15/17**

DATE: March 10, 2017

CC: Andrea McCue, City Manager (*e-mail agenda only*)
Osniel Leon, Senior Planner (*full packet*)
Joanna Cunningham, City Clerk (*full packet*)

Enclosed are the agenda and related materials for the above referenced meeting. Should you have any questions prior to the meeting, or if you cannot attend, please contact our office at 642-2054.



Kara L. Irwin-Ferris
Acting Planning & Engineering Department

Enclosures



CITY OF GREENACRES AGENDA

PLANNING COMMISSION

GREENACRES CITY HALL - COUNCIL CHAMBERS

WEDNESDAY, March 15, 2017

7:00 P.M.

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT, THIS DOCUMENT CAN BE MADE AVAILABLE IN AN ALTERNATE FORMAT AND SPECIAL ACCOMMODATIONS CAN BE PROVIDED UPON REQUEST.

NOTICE: If any person decides to appeal any decision of the City of Greenacres Planning Commission at this meeting, he/she will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City does not prepare or provide such record. **FOR HEARING ASSISTANCE:** If any person wishes to use a Listen Aid hearing device, please contact the Planning and Engineering Department prior to any meeting held in the Council Chambers.

1. Call to Order and Roll Call for Planning Commission.
2. Agenda Approval - Additions, deletions, or other revisions to the agenda.
3. Approval of Minutes: None.
4. Cases

**PUBLIC
HEARING**

**SE-16-04
Res. 2017-11**

Target (outparcel – Zaxby’s)

A special exception request for a fast food restaurant with drive-thru approval to allow construction of a 3,847 square foot fast food restaurant with a drive-thru at the northeast corner of the Target site.

**PUBLIC
HEARING**

**SE-16-05
Res. 2017-12**

Target (outparcel –Discount Tires)

A special exception request for a retail tire discount store approval to allow construction of a 7,373 square foot retail tire discount store at the northwest corner of the Target site.

SP-96-01C

Target

A site and development plan (SP-96-01C) approval to construct a fast food restaurant and a tire discount retail store at the northwest and northeast corners of the Target site.

5. Discussion Items:
6. Concluding Remarks:
7. Adjournment of the Planning Commission Meeting.

	LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION
---	--

I. Project Description:

Project: Zaxby's at Greenacres Target

Petitioner: Thomas Engineering.
 1000 Corporate Drive, Ste 250
 Ft. Lauderdale, Florida 33334
 as agent for the owners, Target Corporation/Dayton Hudson Corp.

Request: Special Exception approval
 for a Drive in/fast food Restaurant

Location: On the southeast corner of Lake Worth Road and Sherwood Forest Boulevard at 5900 Lake Worth Road.



II. Site Data:

Parcel Control Number: 18-42-44-26-22-001-0000
 18-42-44-26-22-002-0000
 18-42-44-26-22-003-0000
 18-42-44-26-22-023-0000

Parcel Size: 15.238 acres (663,767.28 sq. ft.)

Existing Use: Retail Department Store w/ 2 Outparcels

Future Land Use Designation: Commercial (CM)

Zoning: Commercial (CI)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction:	Existing Land Use	Future Land Use	Zoning District
North	Woodlake Plaza	Commercial (CM)	Commercial Intensive (CI)
South	Colonial Coach Estates Mobile Home Park	Residential-Medium Density (RS-MD)	Residential Mobile Home (RMH)
East	Vacant	Commercial (CM)	Commercial Intensive (CI)
West	Commercial Center of Greenacres & Colonial Coach Estates Mobile Home Park	Commercial (CM) and Residential-Medium Density (RS-MD)	Commercial General (CG) and Residential Mobile Home (RMH)

III. Annexation/Zoning History:

The site was originally approved (through SP-96-01) as a 143,940 square foot commercial retail building with two (2) outparcels (a 5,040 square foot restaurant and a 3,500 square foot drive-in/fast food restaurant) on three (3) parcels of land with an area of 15.238 acres. Parcel #1 consisted of approximately 7.63 acres, was annexed into the City in 1985 as ANX-85-01, and received a Commercial Intensive (CI) zoning designation with a Planned Shopping Center (PSC) overlay in 1986. Parcel #2 consisted of approximately 2.55 acres, was annexed into the City in 1994 as ANX-93-03, and received a Commercial Intensive (CI) zoning designation. Parcel #1 and Parcel #3 were rezoned to Commercial Intensive (CI) at the same time through petition ZC-96-01. Parcel #3 consisted of approximately 5.10 acres, was annexed into the City in 1981 as ANX-81-03, and received a Commercial Intensive (CI) zoning designation with a PSC overlay in 1990. The site was then platted, combining the original Parcels #1, #2 and #3.

Since then, the site has received a variance approval on January 13, 1998 to add additional square feet to the copy area of the building signs through petition BA-97-07, which was enacted via permit issuance. In addition, the site was granted approval for a variance (BA-08-01) on August 26, 2008 to allow a parking waiver, but the approval expired on March 17, 2009 when the applicant failed to get a site plan (SP-96-01A) approved to revise the Target store to increase the retail area by 8,839 square feet, eliminate the garden area (11,420 square feet), and make other site layout changes. The applicant initiated the process again to request a variance (BA-13-04), site plan amendment (SP-96-01B), and a replat on October 11, 2013, but the applications were administratively withdrawn due to inaction on January 29, 2015.

The site was developed as a Target retail store with 124,400 square feet of retail, a garden area totaling 11,000 square feet, and two (2) undeveloped out parcels (3,500 sq. ft. drive-in/fast food restaurant in the northwest corner of the site and 5,040 sq. ft. restaurant in the northeast corner of the site). Concurrent with this petition is a proposal by the owners (SP-96-01C) for two (2) special exception requests to allow a fast food restaurant with drive-thru (SE-16-04), a retail tire discount store (SE-16-05) and a site and development plan (SP-96-01C) approval to construct a 3,847 square foot fast food restaurant with a drive-thru and a 7,373 square foot tire discount retail store at the northwest and northeast corners of the Target site.

IV. Applicable City Code Provisions:

Sec. 16-171 through 16-178 pertaining to Special Exceptions
Sec. 16-496 through 16-506 pertaining to the CI zoning district

V. Staff Analysis:

Background:

The site was constructed as a 124,400 square foot Target retail building with a retail garden center of 11,000 square feet, and reserved the approval to build two (2) out parcels (3,500 sq. ft. drive-in/fast food restaurant in the northwest corner of the site and 5,040 square foot restaurant in the northeast corner of the site). Concurrent with this petition is a proposal by the owners for one (1) additional special exception request to allow a retail tire discount store (SE-16-05) and a site and development plan amendment (SP-96-01C) approval to construct a 3,847 square foot fast food restaurant (Zaxby's) and a 7,373 square foot tire discount retail store at the northwest and northeast

corners of the Target site.

The proposed Special Exception (SE-16-04) is to permit Drive-In/ Fast Food Restaurant use. Target currently has two access points on Lake Worth Road. The proposed Special Exception will have adequate ingress and egress to the site through two (2) connections to the sites parking and circulation aisles.

On January 12 and January 19, 2017, Land Development Staff reviewed this petition and recommended approval subject to the conditions of approval listed below:

Staff Comments:

Planning and Engineering Department:	Incorporated into the Staff Report.
Building Department:	No Objections.
Fire Rescue Department:	No Objections.
PBSO District 16:	No Objections.
Public Works Department:	No Objections.

Other Agencies:

PBC Traffic Division:	Project meets traffic performance standards.
PBC Water Utilities:	Water and sewer service is currently provided to the site by the Palm Beach County Water Utilities Department.
MPO/Palm Tran:	No objections.
LWDD:	No objections.

Plan Details:

The petitioner's concept plan stamp-dated February 24, 2017 depicts the following:

1. A total land area of 15.28 acres (665,597 square feet).
2. The construction of a 3,847 sq. ft. (90 seats) drive-thru fast food restaurant.
3. 605 parking spaces for the overall site, including 24 handicapped spaces.
4. 43 parking spaces for the Zaxby's site, including 2 handicapped spaces.
5. Two (2) existing vehicular access points for Target site and two (2) new pedestrian connections to Lake Worth Road.
6. Landscape Plan.
7. Building Plans and Elevations.
8. Photometric Plan.
9. Conceptual Engineering Plan.
10. Boundary and Topographic Survey.

VI. Special Exception Criteria and Findings of Fact:

1. **The proposed use complies with all relevant elements of the Comprehensive Plan;**

Finding: The proposed Drive-In/ Fast Food Restaurant complies with Goal 1 and

Objectives 1 and 11 of the Future Land Use Element, Goal 1 and Goal 2 of the Transportation Element, and Objective 1 of the Infrastructure Element within the City of Greenacres' Comprehensive Plan directing growth, development, and redevelopment activities to appropriate areas. Per Section 16-499(14), a Drive-In/ Fast Food Restaurant is subject to a Special Exception approval in the Commercial Intensive (CI) zoning district.

2. **Ingress and egress to the property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe will not be adversely affected by the proposed special exception;**

Finding: The proposed Special Exception for the outbuilding site will have adequate ingress and egress through Target using one (1) vehicular access point to Lake Worth Road directly west of the Zaxby's site, one (1) vehicular access point to Lake Worth Road on the north westernmost corner of the site, together with one (1) new sidewalk connection to Lake Worth Road and one (1) new sidewalk connections to the Sherwood Forest access road. The concept plan has been reviewed by staff for automobile, pedestrian and fire safety and meets all applicable Code requirements. The City's traffic engineering consultant has reviewed the traffic flow and control of the site for compliance with City Code and safety standards and has determined that it meets all necessary requirements.

3. **Off-street parking and loading is provided where required, with particular attention to the items in (2) above will not adversely affect public health and safety;**

Finding: The off-street parking provided on the site meets the minimum parking requirements based on the variance (BA-16-06) granted for the site by the City Zoning Board of Adjustments & Appeals (BZAA) on March 7, 2017 for the Target site. The proposed Zaxby's Drive in/Fast food restaurant exceeds the required 30 parking spaces by 13 spaces, yet the shared parking for the entire site benefits from the variance granted. Specifically, in accordance with the off-street parking provisions listed in Section 16-1336, the required parking for a Drive-In/ Fast Food Restaurant is 1 space per 3 seats. For the proposed 3,847 square foot building with a 90 seat occupancy, the applicant has provided 43 spaces on the outbuilding site and a total of 605 spaces within the Overall Target site (approved via variance BA-16-06 for Target) and all subject to an existing cross-access and cross-parking agreement, thus meeting the minimum requirement. A loading zone has also been provided as required by Code.

4. **Refuse and service areas provided with particular reference to items (2) & (3) above will not adversely affect public health and safety;**

Finding: The City's franchise hauler will serve the site for all refuse collection. A new dumpster and recycling enclosure is located at the rear of the building, and will provide an adequate storage area for refuse and recycling provided specifically for the Drive-In/Fast Food Restaurant, located and screened as required by Code, and will not adversely affect public health and safety.

5. **The proposed use will not create a nuisance factor detrimental to adjacent and nearby properties and the City as a whole;**

Finding: The proposed Zaxby's development itself is abutted to the south, east and west by the rest of the Target site and to the north by Woodlake Plaza. In general, the plaza is surrounded by residential uses to the south and by existing commercial development to the west, north, and east. The properties directly to the north, across Lake Worth Road, contain an existing shopping center. The properties located to the west across Sherwood Forest Boulevard contain an existing McDonald's Fast Food/Drive-in restaurant and an existing office center (Commercial Center of Greenacres).

The property will be landscaped around the perimeter as well as the interior in accordance with Zoning Code requirements. Further, the existing site building and the solid masonry 6 foot high wall integrated within the existing landscaping buffer along the south property lines of the plaza separates the Target site from the adjacent residential. No off-site odor, smoke, electrical interference or mechanical vibrations will be produced by this use. Therefore, the proposed use will not be a nuisance or detriment to adjacent and nearby properties.

6. **The location, availability and compatibility of utilities for the requested use will not adversely affect public health and safety;**

Finding: All utilities will be provided underground. The site is currently served by Palm Beach County Water Utilities. All other utilities are also currently provided to the site, and the applicant meets the Level of Service (LOS) as established in the Comprehensive Plan.

7. **The screening and buffering of the requested use are consistent with the applicable zoning requirements relative to type, dimension and character;**

Finding: The existing site perimeter landscaping buffers will be preserved and enhanced with replacements for missing materials and new vegetation for screening and aesthetics.

8. **Signs and proposed exterior lighting are provided with reference to glare, traffic safety and economic effect, and compatibility and harmony with properties in the district;**

Finding: All proposed signs shall meet the requirements of the City's Zoning Code. Within the subject site, parking lot lighting will be installed consistent with the style and height of the poles within Target. All exterior lighting shall meet City Code requirements for limiting spill onto adjacent neighboring areas.

9. **The requested use appears to meet the required yards and other open space;**

Finding: The project complies with interior and perimeter landscaping and open space requirements of the Zoning Code. The lot coverage for the plaza of approximately 20.4% is below the maximum 30%, and all building setbacks of the Commercial Intensive (CI) zoning district are met.

10. **Proposed general use is compatible with adjoining properties and other property in the district;**

Finding: The proposed Drive-In/ Fast Food Restaurant is compatible with the existing

high-intensity commercial nature of the Lake Worth Road and Sherwood Forest Boulevard intersection, and with adjacent uses. A Drive-In/ Fast Food Restaurant is permitted as a Special Exception in the Commercial Intensive (CI) zoning district.

11. **The change suggested is not out-of-scale with the needs of the neighborhood or the City;**

Finding: The proposed Drive-In/ Fast Food Restaurant is in scale with the needs of the surrounding community. Target located on a road designated as Urban Principal Arterial. It is a suitable location for the proposed use given the plaza's proximity to automobile traffic and other drive-thru uses.

12. **The requested use and structure is consistent with any special requirements set out in the Schedule of District Regulations for the particular use and structure involved;**

Finding: Drive-In/ Fast Food Restaurant uses are required to provide adequate queuing at the drive-thru window designed so as not to interfere with other vehicle traffic and to provide a by-pass lane if one-way traffic flow is utilized. The proposed Zaxby's satisfies both of these special requirements.

VII. Staff Recommendation:

Approval of SE-16-06 through adoption of Resolution 2017-11 with the following conditions:

1. Site and Development Plan approval is required prior to the issuance of development permits. (Planning and Building)
2. The Special Exception is limited to a 3,847 square foot Drive-In/ Fast Food Restaurant with 90 seats. Any increase in the size of the building, number of seats, or change in use will require modification of this Special Exception. (Planning)
3. Hours of operation for the Drive-In/ Fast Food Restaurant shall be limited to 6:00 a.m. to 11:00 p.m. for the dining room and 6:00 am to 1:00 am for the drive-thru, 7 days a week. (Planning and Building)
4. The customer service speaker at the drive-thru shall not be audible outside of the plaza property line. (Building)
5. Other than the above-noted speaker, no outdoor speakers shall be permitted. (Building)
6. Non-compliance with any of the conditions of approval will result in withholding of building permits or Certificates of Occupancy. (Planning and Building)

PLANNING COMMISSION RECOMMENDATION

CITY COUNCIL ACTION

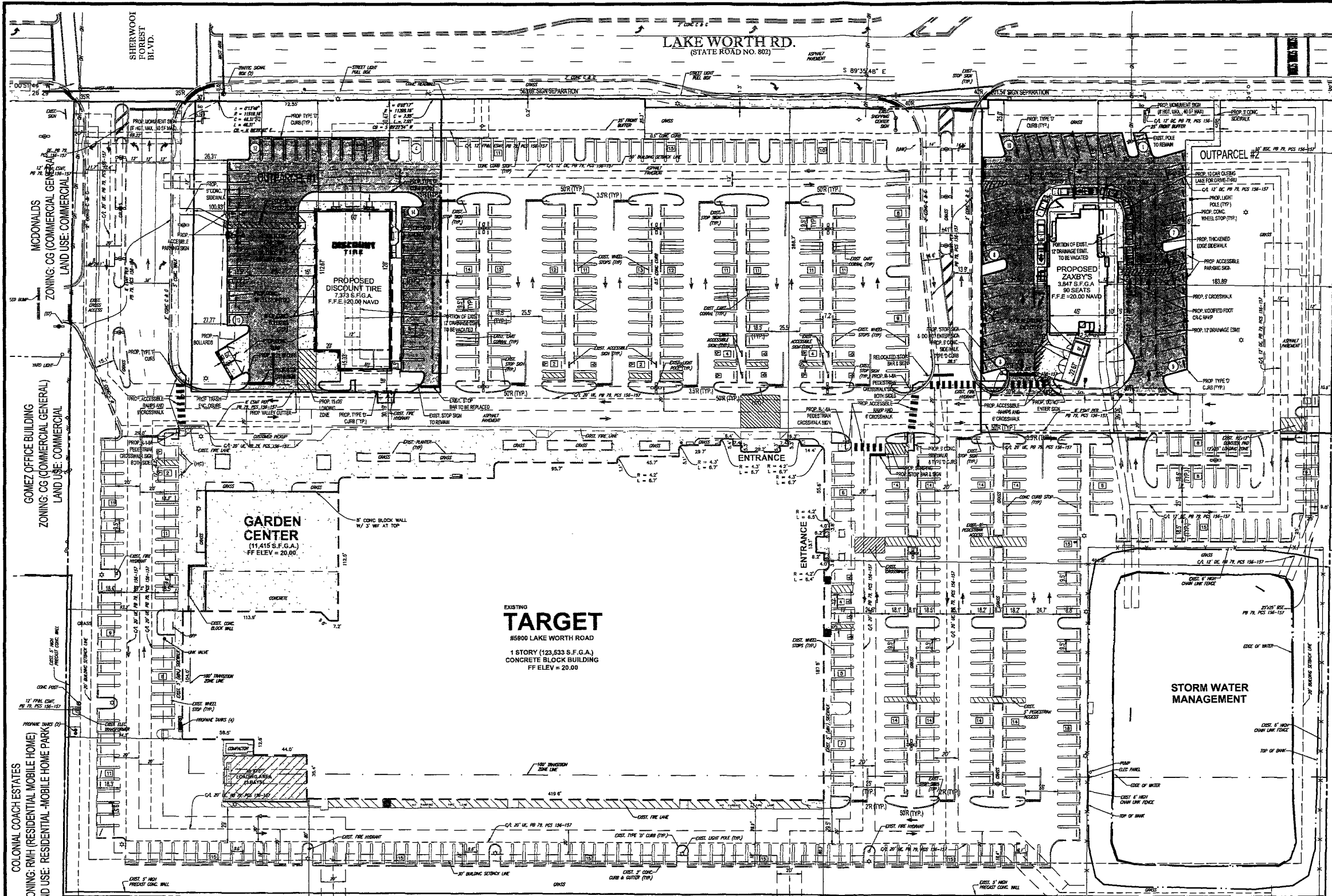
Samuel J. Ferreri, Mayor

Attest:

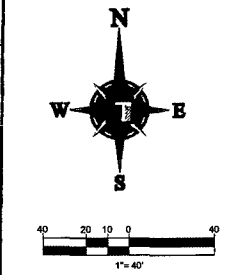
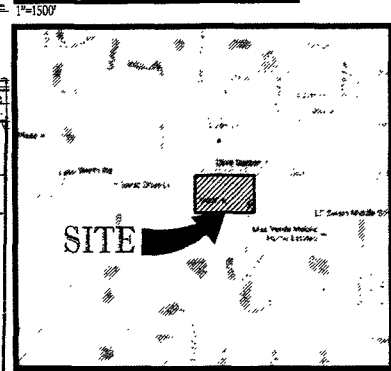
Joanna Cunningham, City Clerk

Attachments:

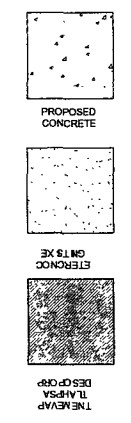
1. Resolution 2017-11
2. Concept Plan
3. Aerial Location Map



LOCATION MAP



HATCH LEGEND



DEVELOPMENT SUMMARY

PROJECT DESCRIPTION:			
ADDRESS:	5900 LAKE WORTH RD., GREENACRES, FL 33463		
PARCEL CONTROL NUMBERS:	18-42-44-26-22-001-0000, 18-42-44-26-22-002-0000, 18-42-44-26-22-003-0000, 18-42-44-26-22-004-0000		
LOT:	SQUARE FOOTAGE:	ACREAGE:	PERCENTAGE:
MAIN (TARGET BUILDING)	490,477 SF	11.26 AC	73.7%
OUTPARCEL 1 (DISCOUNT TIRE)	47,923 SF	1.10 AC	7.2%
OUTPARCEL 2 (ZAXBY'S)	77,055 SF	1.77 AC	11.6%
STORMWATER MANAGEMENT	50,142 SF	1.15 AC	7.5%
GROSS AREA OF LOTS:	665,597 SF	15.28 AC	100%
SITE AREA:			
BUILDING (INC COVERED CANOPIES)	136,041 SF	3.12 AC	20.4%
PAVEMENT & CONCRETE (EXCLUDING BLDG. LOT COVERAGE)	406,942 SF	9.34 AC	61.1%
STORMWATER MANAGEMENT POND	50,142 SF	1.15 AC	7.5%
TOTAL SITE IMPERVIOUS AREA:	593,125 SF	13.62 AC	89.1%
TOTAL SITE PERVIOUS AREA (LANDSCAPING):	72,472 SF	1.66 AC	10.9%
GROSS SITE AREA:	665,597 SF	15.28 AC	100.0%

ZONING:	CI (COMMERCIAL INTENSIVE)	
LAND USE:	CM (COMMERCIAL)	
JURISDICTION:	CITY OF GREENACRES	
PARKING SUMMARY		
REQUIRED PARKING		
USE (SQUARE FEET GROUND AREA):	PARKING RATIO:	TOTAL:
TARGET STORE (123,533 SFGA)	@ 5 SPACES / 1,000 SF	= 616 SPACES
GARDEN CENTER (11,415 SFGA)	@ 1 SPACE / 1,000 SF	= 11 SPACES
FAST FOOD (3,847 SFGA)	@ 1 SPACE / 3 SEATS	= 30 SPACES
TIRE STORE (7,373 SFGA)	@ 1 SPACE / 200 SF	= 37 SPACES
TOTAL REQUIRED PARKING:		= 694 SPACES
PROPOSED PARKING		
USE (SQUARE FEET GROUND AREA):	STANDARD SPACES:	ACCESSIBLE SPACES:
TARGET STORE (123,533 SFGA)	496	16*
GARDEN CENTER (11,415 SFGA)	9	2
FAST FOOD (3,847 SFGA)	41	2
TIRE STORE (7,373 SFGA)	41	2
TOTAL PROVIDED PARKING (609 SP.):	587	22

NOTES		
1. CI ZONING BULK REQUIREMENTS:	MAX. ALLOWED:	PROVIDED:
TOTAL LOT COVERAGE (INCLUDING COVERED CANOPIES)	30%	20.4%
TOTAL FLOOR AREA:	0.35	0.22
TOTAL BUILDING HEIGHT	35 FT (25' w/ TRANSITIONAL ZONE)	30 FT
2. HOURS OF OPERATION:		
TARGET - 8:00 AM TO 10:00 PM, SPECIAL HOURS APPLY ON HOLIDAYS AND PRE-CHRISTMAS.		
ZAXBY'S - 10:30 AM - 10:30 PM (SUNDAY - THURSDAY)		
DISCOUNT TIRE - 8:00 AM - 6:00 PM (MONDAY - FRIDAY)		
8:00 AM - 5:00 PM (SUNDAY), CLOSED SUNDAY		
3. SEATING: TARGET = 40 SEATS, ZAXBY'S = 90 SEATS		

4. NUMBER OF EMPLOYEES:	TARGET = 70, ZAXBY'S = 12, DISCOUNT TIRE = 18
5. PARKING:	ALL REGULAR STALLS ARE 9'5" x 18'5" WITH 25' DRIVE AISLES. HANDICAP SPACES ARE 12' x 18'5" WITH 5' STRIPED SIDE ACCESSWAYS. WHEELSTOPS OR TYPE 'D' CURB TO BE PROVIDED FOR ALL STALLS NOT ABUTTING LANDSCAPE AREAS.
6. UTILITIES:	ALL UTILITIES SHALL BE PROVIDED UNDERGROUND.
7. MINIMUM FINISHED FLOOR ELEVATION = 20.00' NAVD (21.50' NGVD)	
8. FEMA FLOOD ZONE X, REPRESENTS AREAS OUTSIDE OF THE 500-YEAR FLOOD PLAIN WITH LESS THAN 0.2% ANNUAL PROBABILITY OF FLOODING.	

* VARIANCE BA-1606 FOR 4 SPACES PER 1,000 SF (494 SPACES)
 - VARIANCE REQUEST TO ARTICLE VII, SECTION 16-1336 FOR A REDUCTION IN REQUIRED PARKING FOR THE EXISTING RETAIL STORE (TARGET) FROM 1 SPACE PER 200 SF OF GFA TO 1 SPACE PER 250 OF GFA.
 - SPECIAL EXCEPTION REQUEST TO ARTICLE III, SECTION 16-499 TO ALLOW DRIVE-IN / FAST FOOD RESTAURANT USE
 - SPECIAL EXCEPTION REQUEST TO ARTICLE III, SECTION 16-499 TO ALLOW A TIRE STORE USE.

CONCEPTUAL SITE PLAN

THOMAS
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 1000 CORPORATE DR. FORT LAUDERDALE, FL 33334
 PH: (954) 202-7000 FAX: (954) 202-7070
 www.ThomasEngineeringGroup.com

REV: DATE: 1/24/2018 COMBY: BR:

811 KNOW WHATS BELOW ALWAYS CALL 811 BEFORE YOU DIG
 www.callsunshine.com

PROJ NO: FJ180021 CAD: CMO
 DRAWN BY: ROT
 CHECKED BY: FJ180021-SITE
 DATE: 1/24/2018

TARGET GREENACRES FOR TARGET CORPORATION
 CITY OF GREENACRES PALM BEACH COUNTY, FLORIDA

THOMAS
 RADICE III
 1000 CORPORATE DRIVE, SUITE 250 FORT LAUDERDALE, FL 33334
 PH: (954) 202-7000 FAX: (954) 202-7070
 www.ThomasEngineeringGroup.com

ANGELINA M. ROSENBERG
 PROFESSIONAL ENGINEER
 February 22, 2017
 FLORIDA LICENSE NO. 89212
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

SP-3

	LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION
---	--

I. Project Description:

Project: Discount Tire at Target

Petitioner: Thomas Engineering.
 1000 Corporate Drive, Ste 250
 Ft. Lauderdale, Florida 33334
 as agent for the owners, Target Corporation/Dayton Hudson Corp.

Request: Special Exception approval for a Tire Store

Location: On the southeast corner of Lake Worth Road and Sherwood Forest Boulevard at 5900 Lake Worth Road.



II. Site Data:

Parcel Control Number: 18-42-44-26-22-001-0000
 18-42-44-26-22-002-0000
 18-42-44-26-22-003-0000
 18-42-44-26-22-023-0000

Parcel Size: 15.238 acres (663,767.28 sq. ft.)

Existing Use: Retail Department Store w/ 2 Outparcels

Future Land Use Designation: Commercial (CM)

Zoning: Commercial (CI)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction:	Existing Land Use	Future Land Use	Zoning District
North	Woodlake Plaza	Commercial (CM)	Commercial Intensive (CI)
South	Colonial Coach Estates Mobile Home Park	Residential-Medium Density (RS-MD)	Residential Mobile Home (RMH)
East	Vacant	Commercial (CM)	Commercial Intensive (CI)
West	Commercial Center of Greenacres & Colonial Coach Estates Mobile Home Park	Commercial (CM) and Residential-Medium Density (RS-MD)	Commercial General (CG) and Residential Mobile Home (RMH)

III. Annexation/Zoning History:

The site was originally approved (through SP-96-01) as a 143,940 square foot commercial retail building with two (2) outparcels (a 5,040 square foot restaurant and a 3,500 square foot drive-in/fast food restaurant) on three (3) parcels of land with an area of 15.238 acres. Parcel #1 consisted of approximately 7.63 acres, was annexed into the City in 1985 as ANX-85-01, and received a Commercial Intensive (CI) zoning designation with a Planned Shopping Center (PSC) overlay in 1986. Parcel #2 consisted of approximately 2.55 acres, was annexed into the City in 1994 as ANX-93-03, and received a Commercial Intensive (CI) zoning designation. Parcel #1 and Parcel #3 were rezoned to Commercial Intensive (CI) at the same time through petition ZC-96-01. Parcel# 3 consisted of approximately 5.10 acres, was annexed into the City in 1981 as ANX-81-03, and received a Commercial Intensive (CI) zoning designation with a PSC overlay in 1990. The site was then platted, combining the original Parcels #1, #2 and #3.

Since then, the site has received a variance approval on January 13, 1998 to add additional square feet to the copy area of the building signs through petition BA-97-07, which was enacted via permit issuance. In addition, the site was granted approval for a variance (BA-08-01) on August 26, 2008 to allow a parking waiver, but the approval expired on March 17, 2009 when the applicant failed to get a site plan (SP-96-01A) approved to revise the Target store to increase the retail area by 8,839 square feet, eliminate the garden area (11,420 square feet), and make other site layout changes. The applicant initiated the process again to request a variance (BA-13-04), site plan amendment (SP-96-01B), and a replat on October 11, 2013, but the applications were administratively withdrawn due to inaction on January 29, 2015.

The site was developed as a Target retail store with 124,400 square feet of retail, a garden area totaling 11,000 square feet, and two (2) undeveloped out parcels (3,500 sq. ft. drive-in/fast food restaurant in the northwest corner of the site and 5,040 sq. ft. restaurant in the northeast corner of the site). Concurrent with this petition is a proposal by the owners for an additional special exception requests to allow a fast food restaurant with drive-thru (SE-16-04) and a site and development plan (SP-96-01C) approval to construct a 3,847 square foot fast food restaurant with a drive-thru and a 7,373 square foot tire discount retail store at the northwest and northeast corners of the Target site.

IV. Applicable City Code Provisions:

Sec. 16-171 through 16-178 pertaining to Special Exceptions
Sec. 16-496 through 16-506 pertaining to the CI zoning district

V. Staff Analysis:

Background:

The site was constructed as a 124,400 square foot Target retail building with a retail garden center of 11,000 square feet, and reserved the approval to build two (2) out parcels (3,500 sq. ft. drive-in/fast food restaurant in the northwest corner of the site and 5,040 square foot restaurant in the

northeast corner of the site). Concurrent with this petition is a proposal by the owners for one (1) additional special exception request to allow a drive-in/fast food restaurant (SE-16-04) and a site and development plan amendment (SP-96-01C) approval to construct a 3,847 square foot fast food restaurant (Zaxby's) and a 7,373 square foot tire retail store (Discount Tire) at the northwest and northeast corners of the Target site.

The proposed Special Exception (SE-16-05) is to permit a Tire store with minor auto repair use. Target currently has two access points on Lake Worth Road. The proposed Special Exception will have adequate ingress and egress to the site through two (2) connections to the sites parking and circulation aisles.

On January 12 and January 19, 2017, Land Development Staff reviewed this petition and recommended approval subject to the conditions of approval listed below:

Staff Comments:

Planning and Engineering Department:	Incorporated into the Staff Report.
Building Department:	No Objections.
Fire Rescue Department:	No Objections.
PBSO District 16:	No Objections.
Public Works Department:	No Objections.

Other Agencies:

PBC Traffic Division:	Project meets traffic performance standards.
PBC Water Utilities:	Water and sewer service is currently provided to the site by the Palm Beach County Water Utilities Department.
MPO/Palm Tran:	No objections.
LWDD:	No objections.

Plan Details:

The petitioner's concept plan stamp-dated February 24, 2017 depicts the following:

1. A total land area of 15.28 acres (665,597 square feet).
2. The existing 123,533 square feet target retail store plus 11,415 square feet garden center and the construction of a 7,373 sq. ft. tire store and a 3,847 sq. ft. (90 seats) drive-thru fast food restaurant.
3. 605 parking spaces for the overall site, including 24 handicapped spaces; 43 parking spaces for the Discount Tire site, including 2 handicapped spaces.
4. Two (2) existing vehicular access points for Target site and two (2) new pedestrian connections to Lake Worth Road.
5. Landscape Plan.
6. Building Plans and Elevations.
7. Photometric Plan.
8. Conceptual Engineering Plan.

9. Boundary and Topographic Survey.

VI. Special Exception Criteria and Findings of Fact:

- 1. The proposed use complies with all relevant elements of the Comprehensive Plan;**

Finding: The proposed Tire Store complies with Goal 1 of the Future Land Use Element, Goal 1 of the Transportation Element, and Objective 1 of the Infrastructure Element within the City of Greenacres' Comprehensive Plan directing growth, development, and redevelopment activities to appropriate areas. Per Section 16-499(4), a Tire Store is subject to a Special Exception approval in the Commercial Intensive (CI) zoning district and may include minor auto repair provided certain other requirements are met.

- 2. Ingress and egress to the property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe will not be adversely affected by the proposed special exception;**

Finding: The proposed Special Exception for the outbuilding site will have adequate ingress and egress through Target using one (1) vehicular access point to Lake Worth Road directly west of the Zaxby's site, one (1) vehicular access point to Lake Worth Road on the north westernmost corner of the site adjacent to the Discount Tire site, together with one (1) new sidewalk connection to Lake Worth Road and one (1) new sidewalk connections to the Sherwood Forest access road. The concept plan has been reviewed by staff for automobile, pedestrian and fire safety and meets all applicable Code requirements. The City's traffic engineering consultant has reviewed the traffic flow and control of the site for compliance with City Code and safety standards and has determined that it meets all necessary requirements.

- 3. Off-street parking and loading is provided where required, with particular attention to the items in (2) above will not adversely affect public health and safety;**

Finding: The off-street parking provided on the site meets the minimum parking requirements. Specifically, in accordance with the off-street parking provisions listed in Section 16-1336, the required parking for the tire store is 1 space per 200 square feet of gross floor area, with a minimum of 3 spaces. For the proposed 7,373 square foot building, the applicant has provided 43 parking spaces, thus meeting the minimum requirement of 37 spaces ($7,373 / 200 = 37$). A loading zone is provided convenient to the building.

- 4. Refuse and service areas provided with particular reference to items (2) & (3) above will not adversely affect public health and safety;**

Finding: The City's franchise hauler will serve the site for all refuse collection. One (1) dumpster enclosure, including recycling facilities, is located to the rear of the west side of the building; will provide an adequate storage area for refuse; and will not adversely affect

public health and safety.

5. **The proposed use will not create a nuisance factor detrimental to adjacent and nearby properties and the City as a whole;**

Finding: The proposed Discount Tire store is abutted to the south, east and west by the rest of the Target site and to the north by Woodlake Plaza. In general, the overall Target site is surrounded by residential uses to the south and by existing commercial development to the west, north, and east. The properties directly to the north, across Lake Worth Road, contain an existing shopping center. The properties located to the west across Sherwood Forest Boulevard contain an existing McDonald's Fast Food/Drive-in restaurant and an existing office center (Commercial Center of Greenacres).

6. **The location, availability and compatibility of utilities for the requested use will not adversely affect public health and safety;**

Finding: All utilities can be safely provided to the site. The applicant meets the Level of Service (LOS) as established in the Comprehensive Plan.

7. **The screening and buffering of the requested use are consistent with the applicable zoning requirements relative to type, dimension and character;**

Finding: The proposed development includes perimeter buffers consistent with the CI zoning district, Section 16-1286 of the landscape code. The existing buffering will be improved by the replacement of missing and dead landscaping on the entire site.

8. **Signs and proposed exterior lighting are provided with reference to glare, traffic safety and economic effect, and compatibility and harmony with properties in the district;**

Finding: All proposed signs shall meet the requirements of the City's Zoning Code. Within the subject site, parking lot lighting will be installed consistent with the style and height of the poles within Target. All exterior lighting shall meet City Code requirements for limiting spill onto adjacent neighboring areas.

9. **The requested use appears to meet the required yards and other open space;**

Finding: The project complies with interior and perimeter landscaping and open space requirements of the Zoning Code. The lot coverage for the plaza of approximately 20.4% is below the maximum 30%, and all building setbacks of the Commercial Intensive (CI) zoning district are met.

10. **Proposed general use is compatible with adjoining properties and other property in the district;**

Finding: The proposed Tire Store is compatible with the existing high-intensity

commercial nature of the Lake Worth Road and Sherwood Forest Boulevard intersection, and with adjacent uses. A Tire Store is permitted as a Special Exception in the Commercial Intensive (CI) zoning district.

11. The change suggested is not out-of-scale with the needs of the neighborhood or the City;

Finding: The proposed Tire store is in scale with the needs of the surrounding community. Target is located on a road designated as Urban Principal Arterial and it is a suitable location for the proposed use given the plaza's proximity to automobile traffic and other similar retail uses.

12. The requested use and structure is consistent with any special requirements set out in the Schedule of District Regulations for the particular use and structure involved;

Finding: The proposed use, as conditioned below, complies with the special requirements for security, lighting, and restrictions outlined in the Special Exception criteria for a Tire Store within a Commercial Intensive (CI) district.

VII. Staff Recommendation:

Approval of SE-16-05 through adoption of Resolution 2016-12 with the following conditions:

1. Site and development plan approval is required prior to the issuance of development permits. (Planning and Building)
2. The Special Exception is limited to a Tire Store consisting of a 7,373 square foot building. Expansion or changes to another use will require new Special Exception and Site and Development Plan approvals. (Planning)
3. Outdoor storage or display of vehicles, parts, equipment or tires, shall be prohibited. (Planning)
4. Repair services as part of a tire store or minor auto repair establishments shall be limited to those repairs which can be effected within one (1) working day, such as brake repair, engine tune-ups, oil changes and front end alignments. (Planning)
5. No outdoor sales, repair or service work shall be allowed. (Planning)
6. The hours of operation shall be limited to 8:00 a.m. to 6:00 p.m. Monday through Friday, 8:00 a.m. to 5:00 p.m. Saturdays and Closed Sundays. (Planning and Building)

PLANNING COMMISSION RECOMMENDATION

CITY COUNCIL ACTION

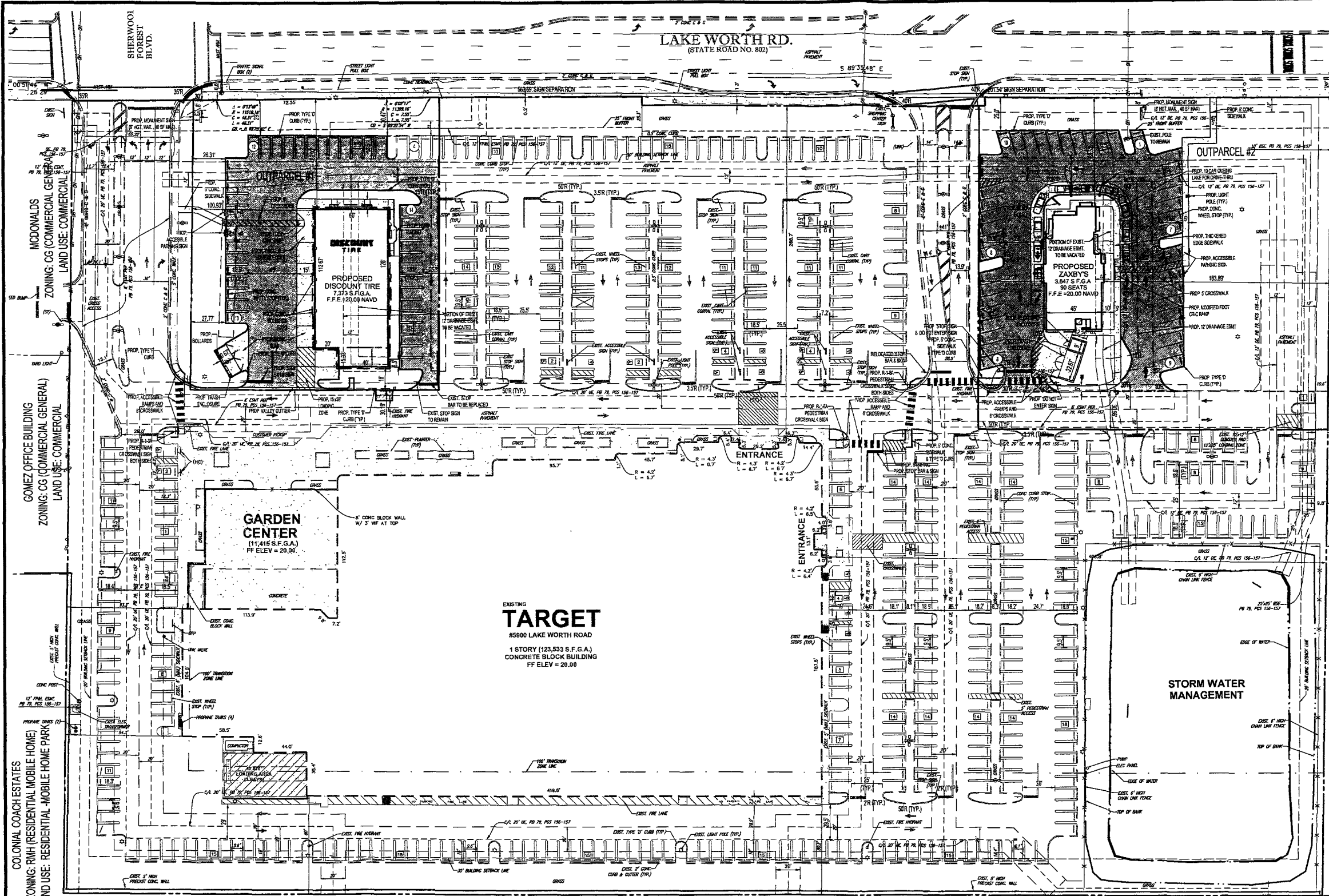
Samuel J. Ferreri, Mayor

Attest:

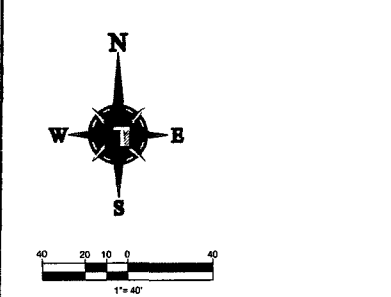
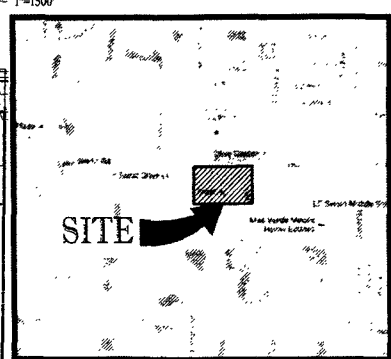
Joanna Cunningham, City Clerk

Attachments:

1. Resolution 2017-12
2. Concept Plan
3. Aerial Location Map



LOCATION MAP



DEVELOPMENT SUMMARY

PROJECT DESCRIPTION:	DEVELOPMENT OF TWO (2) OUTPARCELS		
ADDRESS:	5900 LAKE WORTH RD., GREENACRES, FL 33463		
PARCEL CONTROL NUMBERS:	18-42-44-26-22-001-0000, 18-42-44-26-22-002-0000, 18-42-44-26-22-003-0000, 18-42-44-26-22-004-0000		
LOT:	SQUARE FOOTAGE:	ACREAGE:	PERCENTAGE:
MAIN (TARGET BUILDING)	490,477 SF	11.26 AC	73.7%
OUTPARCEL 1 (DISCOUNT TIRE)	47,923 SF	1.10 AC	7.2%
OUTPARCEL 2 (ZAXBY'S)	77,055 SF	1.77 AC	11.6%
STORM WATER MANAGEMENT	50,142 SF	1.15 AC	7.5%
GROSS AREA OF LOTS:	665,597 SF	15.28 AC	100%
SITE AREA:	SQUARE FOOTAGE:	ACREAGE:	PERCENTAGE:
BUILDING (INC. COVERED CANOPIES)	136,041 SF	3.12 AC	20.4%
PAVEMENT & CONCRETE (EXCLUDING BLDG LOT COVERAGE)	406,942 SF	9.34 AC	61.1%
STORM WATER MANAGEMENT POND	50,142 SF	1.15 AC	7.5%
TOTAL SITE IMPERVIOUS AREA:	593,125 SF	13.62 AC	89.1%
TOTAL SITE PERVIOUS AREA (LANDSCAPING):	72,472 SF	1.66 AC	10.9%
GROSS SITE AREA:	665,597 SF	15.28 AC	100.0%

ZONING: CI (COMMERCIAL INTENSIVE)
LAND USE: CM (COMMERCIAL)
JURISDICTION: CITY OF GREENACRES

PARKING SUMMARY

USE (SQUARE FEET GROUND AREA):	PARKING RATIO:	TOTAL:
TARGET STORE (123,533 SFGA)	@5 SPACES / 1,000 SF*	= 618 SPACES
GARDEN CENTER (11,415 SFGA)	@1 SPACE / 1,000 SF	= 11 SPACES
FAST FOOD (3,847 SFGA)	@1 SPACE / 3 SEATS	= 30 SPACES
TIRE STORE (7,373 SFGA)	@1 SPACE / 200 SF	= 37 SPACES
TOTAL REQUIRED PARKING:		= 696 SPACES
PROPOSED PARKING USE (SQUARE FEET GROUND AREA):	STANDARD SPACES:	ACCESSIBLE SPACES:
TARGET STORE (123,533 SFGA)	495*	16*
GARDEN CENTER (11,415 SFGA)	9	2
FAST FOOD (3,847 SFGA)	41	2
TIRE STORE (7,373 SFGA)	41	2
TOTAL PROVIDED PARKING (609 SF):	587	22

NOTES

- CI ZONING BULK REQUIREMENTS:

	MAX. ALLOWED:	PROVIDED:
TOTAL LOT COVERAGE (INCLUDING COVERED CANOPIES)	30%	20.4%
TOTAL FLOOR AREA:	0.35	0.22
TOTAL BUILDING HEIGHT:	35 FT (25' w/ TRANSITIONAL ZONE)	30 FT
- HOURS OF OPERATION:
 - TARGET - 8:00 AM TO 10:00 PM. SPECIAL HOURS APPLY ON HOLIDAYS AND PRE-CHRISTMAS.
 - ZAXBY'S - 10:30 AM - 10:30 PM (SUNDAY - THURSDAY), 10:30 AM - 11:00 PM (FRIDAY - SATURDAY)
 - DISCOUNT TIRE - 8:00 AM - 6:00 PM (MONDAY - FRIDAY), 8:00 AM - 5:00 PM (SUNDAY), CLOSED SUNDAY
- SEATING: TARGET = 40 SEATS, ZAXBY'S = 90 SEATS

4. NUMBER OF EMPLOYEES:	TARGET = 70 ZAXBY'S = 12 DISCOUNT TIRE = 18
5. PARKING:	ALL REGULAR STALLS ARE 9'5" x 18'5" WITH 25' DRIVE AISLES. HANDICAP SPACES ARE 12' x 18'5" WITH 5' STRIPPED SIDE ACCESSWAYS. WHEELSTOPS OR TYPE 'D' CURB TO BE PROVIDED FOR ALL STALLS NOT ABUTTING LANDSCAPE AREAS.
6. UTILITIES:	ALL UTILITIES SHALL BE PROVIDED UNDERGROUND.
7. MINIMUM FINISHED FLOOR ELEVATION = 20.00' NAVD (21.50' NGVD)	
8. FEMA FLOOD ZONE X, REPRESENTS AREAS OUTSIDE OF THE 500-YEAR FLOOD PLAIN WITH LESS THAN 0.2% ANNUAL PROBABILITY OF FLOODING	

* VARIANCE BA-1606 FOR 4 SPACES PER 1,000 SF (494 SPACES)

- VARIANCE REQUEST TO ARTICLE VIII, SECTION 16-13336 FOR A REDUCTION IN REQUIRED PARKING FOR THE EXISTING RETAIL STORE (TARGET) FROM 1 SPACE PER 200 SF OF GFA TO 1 SPACE PER 250 OF GFA.

- SPECIAL EXCEPTION REQUEST TO ARTICLE III, SECTION 16-489 TO ALLOW DRIVE-IN / FAST FOOD RESTAURANT USE.

- SPECIAL EXCEPTION REQUEST TO ARTICLE III, SECTION 16-489 TO ALLOW A TIRE STORE USE

CONCEPTUAL SITE PLAN

THOMAS
 ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

4800 W. KENNEDY BLVD. SUITE 1000
 FORT LAUDERDALE, FL 33304
 P: (954) 202-7000

REV.	DATE	DESCRIPTION	BY

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

www.callsunshine.com

PROJECT NO:	FJ160021
CAD FILE:	SP-3
DATE:	11/19/2016
PROJECT:	FJ160021-SITE

TARGET GREENACRES

FOR

TARGET CORPORATION

CITY OF GREENACRES
 PALM BEACH COUNTY, FLORIDA

THOMAS
 ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

RADICE III
 1000 CORPORATE DRIVE, SUITE 250
 FORT LAUDERDALE, FL 33304
 PH: (954) 202-7000
 FX: (954) 202-7070
 www.ThomasEngineeringGroup.com

ANGELINA M. ROSENBERG

PROFESSIONAL ENGINEER
 February 22, 2017
 FLORIDA LICENSE NO. 06212
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

SP-3

	LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION
---	--

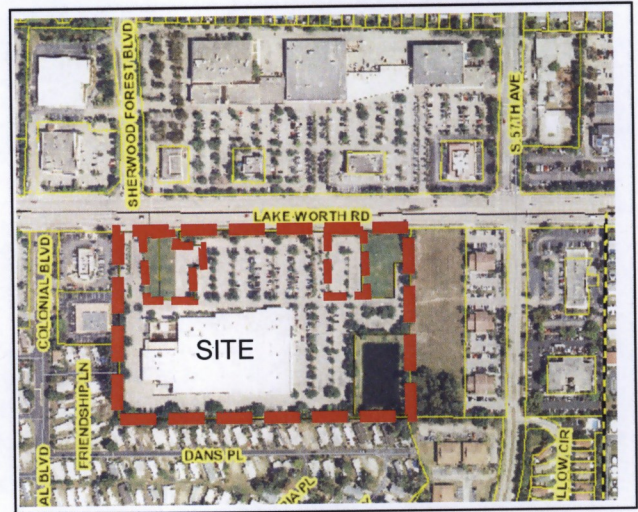
I. Project Description:

Project: Greenacres Target

Petitioner: Thomas Engineering.
 1000 Corporate Drive, Ste 250
 Ft. Lauderdale, Florida 33334
 as agent for the owners, Target Corporation/Dayton Hudson Corp.

Request: Amendment to the approved Site and Development Plan of Greenacres Target

Location: 5900 Lake Worth Road.



II. Site Data:

Parcel Control Number: 18-42-44-26-22-001-0000
 18-42-44-26-22-002-0000
 18-42-44-26-22-003-0000
 18-42-44-26-22-023-0000

Parcel Size: 15.238 acres (663,767.28 sq. ft.)

Existing Use: Retail Department Store w/ 2 Outparcels

Future Land Use Designation: Commercial (CM)

Zoning: Commercial (CI)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction:	Existing Land Use	Future Land Use	Zoning District
North	Woodlake Plaza	Commercial (CM)	Commercial Intensive (CI)
South	Colonial Coach Estates Mobile Home Park	Residential-Medium Density (RS-MD)	Residential Mobile Home (RMH)
East	Vacant	Commercial (CM)	Commercial Intensive (CI)
West	Commercial Center of Greenacres & Colonial Coach Estates Mobile Home Park	Commercial (CM) and Residential-Medium Density (RS-MD)	Commercial General (CG) and Residential Mobile Home (RMH)

III. Annexation/Zoning History:

The site was originally approved (through SP-96-01) as a 143,940 square foot commercial retail building with two (2) outparcels (a 5,040 square foot restaurant and a 3,500 square foot drive-in/fast food restaurant) on three (3) parcels of land with an area of 15.238 acres. Parcel #1 consisted of approximately 7.63 acres, was annexed into the City in 1985 as ANX-85-01, and received a Commercial Intensive (CI) zoning designation with a Planned Shopping Center (PSC) overlay in 1986. Parcel #2 consisted of approximately 2.55 acres, was annexed into the City in 1994 as ANX-93-03, and received a Commercial Intensive (CI) zoning designation. Parcel #1 and Parcel #3 were rezoned to Commercial Intensive (CI) at the same time through petition ZC-96-01. Parcel# 3 consisted of approximately 5.10 acres, was annexed into the City in 1981 as ANX-81-03, and received a Commercial Intensive (CI) zoning designation with a PSC overlay in 1990. The site was then platted, combining the original Parcels #1, #2 and #3.

Since then, the site has received a variance approval on January 13, 1998 to add additional square feet to the copy area of the building signs through petition BA-97-07, which was enacted via permit issuance. In addition, the site was granted approval for a variance (BA-08-01) on August 26, 2008 to allow a parking waiver, but the approval expired on March 17, 2009 when the applicant failed to get a site plan (SP-96-01A) approved to revise the Target store to increase the retail area by 8,839 square feet, eliminate the garden area (11,420 square feet), and make other site layout changes. The applicant initiated the process again to request a variance (BA-13-04), site plan amendment (SP-96-01B), and a replat on October 11, 2013, but the applications were administratively withdrawn due to inaction on January 29, 2015.

The site was developed as a Target retail store with 124,400 square feet of retail, a garden area totaling 11,000 square feet, and two (2) undeveloped out parcels (3,500 sq. ft. drive-in/fast food restaurant in the northwest corner of the site and 5,040 sq. ft. restaurant in the northeast corner of the site). Concurrent with this petition is a proposal by the owners (SP-96-01C) for two (2) special exception requests to allow a fast food restaurant with drive-thru (SE-16-04), a retail tire discount store (SE-16-05) and a site and development plan (SP-96-01C) approval to construct a 3,847 square foot fast food restaurant with a drive-thru and a 7,373 square foot tire discount retail store at the northwest and northeast corners of the Target site.

IV. Applicable City Code Provisions:

Sec. 16-196 through 16-202 pertaining to Site and Development Plans

Sec. 16-496 through 16-506 pertaining to the Commercial Intensive (CI) zoning district

Sec 16-931 through 16-994 pertaining to sign regulations

Sec. 16-1241 through 16-1312 pertaining to landscaping

Sec. 16-1331 through 16-1340 pertaining to off-street parking

V. Summary of Proposed Site and Development Plan Details:

The petitioner's concept plan stamp-dated February 24, 2017 depicts the following:

1. A total land area of 15.28 acres (665,597 square feet).

2. The existing 123,533 square feet target retail store plus 11,415 square feet garden center and the construction of a 7,373 sq. ft. tire store and a 3,847 sq. ft. (90 seats) drive-thru fast food restaurant.
3. 605 parking spaces for the overall site, including 24 handicapped spaces.
4. Two (2) existing vehicular access points for Target site and two (2) new pedestrian connections to Lake Worth Road.
5. Landscape Plan.
6. Building Plans and Elevations.
7. Photometric Plan.
8. Conceptual Engineering Plan.
9. Boundary and Topographic Survey.

Area:	Square Footage:	Acreage:	Percentage:
Building Lot Coverage (including covered canopies)	136,041	3.12	20.4%
Site Impervious Area (excluding building lot coverage)	406,942	9.34	61.1%
Site Landscape Area	72,472	1.66	10.9%
<i>Total</i>	665,597	15.28	100%
<i>Total Floor Area</i>	136,041	3.12	0.20 FAR

VI. Staff Analysis:

Background:

The site was constructed as a 124,400 square foot Target retail building with a retail garden center of 11,000 square feet, and reserved the approval to build two (2) out parcels (3,500 sq. ft. drive-in/fast food restaurant in the northwest corner of the site and 5,040 square foot restaurant in the northeast corner of the site). Concurrent with this petition is a proposal by the owners for one (1) additional special exception request to allow a retail tire discount store (SE-16-05) and a site and development plan amendment (SP-96-01C) approval to construct a 3,847 square foot fast food restaurant (Zaxby's) and a 7,373 square foot tire discount retail store (Discount Tire) at the northwest and northeast corners of the Target site.

The proposed Site Plan Amendment (SP-96-01) is to construct a 3,847 square foot fast food restaurant with a drive-thru and a 7,373 square foot tire discount retail store at the northwest and northeast corners of the Target site. Target currently has two access points on Lake Worth Road. The proposed Site Plan Amendment will have adequate ingress and egress to the site through two (2) connections to the sites parking and circulation aisles.

On January 12 and January 19, 2017, Land Development Staff reviewed this petition and recommended approval subject to the conditions of approval listed below:

Land Development Staff Comments:

Planning and Engineering Dept.:	Incorporated into the staff report.
Building Department:	Incorporated into the staff report.

Fire Rescue Department:	No comment.
Public Works Department	No comment.
PBSO District 16:	No comment.

Other Agencies:

PBC Traffic Division:	Project meets traffic performance standards.
PBC Water Utilities:	Water and sewer service is provided to the existing building by the Palm Beach County Water Utilities Department.
MPO / Palm Tran:	No objections.
LWDD:	No objections.

Standards and Staff Findings:

1. Minimum Lot Requirement: The site area of 15.28 acres **meets** the minimum lot requirements for the CI district.
2. Maximum Lot Coverage: Building lot coverage of 20.4% **does not exceed** the maximum allowable lot coverage of 30%.
3. Minimum Yard Requirements: Building setbacks **meet** all yard requirements of 50' front (Lake Worth Road), 20' side interior (east and west), and 30' rear (south).
4. Height Restrictions: The building height of the Zaxby's is 24'-8" for the proposed building **does not exceed** the allowable height of 35'. The building height of the Discount Tire is 29'-0" for the proposed building **does not exceed** the allowable height of 35'.
5. Off-Street Parking & Loading: The 605 parking spaces provided **exceed** the code requirement of 411 spaces based on a parking rate of the sum of the individual uses. The 11,415 square feet garden center @ 1 space per 1000 square feet, the 3,847 square feet / 90 seat fast food restaurant with drive-thru @ 1 space per 3 seats, and the 7,373 square feet @ 1 space per 200 square feet. The 123,533 square feet Target retail @ 2.7 spaces per 1000 square feet based upon the approval of variance BA-16-06.
6. Landscaping: The landscaping plan **complies** with the landscape code requirements.
7. Sign Regulations: Permits **shall be obtained** prior to installation of any

signs and **shall conform** to the sign conditions listed below.

8. Utilities: The proposed water, sanitary sewer and drainage systems **will meet** code requirements subject to final permitting.
9. Concurrency: Project **meets** traffic concurrency. Water and Sewer service and capacities **are available** to serve the site.
10. Comprehensive Plan: The proposed development **is consistent** with the Commercial (CM) future land use classification. The proposed floor area ratio of 0.20 **does not exceed** the maximum of 0.35 FAR for the CI zoning district.
11. Color Scheme: The color of the building **shall be** in accordance with the Site and Development Plans submitted.
12. Site and Building Design: The project layout and architectural design **comply** with the site and building design requirements of the code. The proposed new buildings and canopy will be consistent and compatible with the existing commercial development.

VII. Staff Recommendation:

Approval of SP-15-06 with the following conditions:

1. The most stringent requirements of Exhibit "A" Land Development Staff Report and Recommendation dated March 10, 2017 and Exhibit "B" Site and Development Plan stamp-dated February 23, 2017, as hereafter defined shall apply. (Planning)
2. The site shall be developed in accordance with the approved Special Exceptions (SE-16-04 & SE-16-05) and Variance (BA-16-06). (Planning)
3. Permits or permit modifications from the South Florida Water Management District (SFWMD), the Lake Worth Drainage District (LWDD), and the Florida Department of Transportation (FDOT), as required, for the stormwater management system must be obtained prior to the issuance of building permits. (Engineering and Building)
4. Permits from the Health Department for modifications to the water and sewer system must be obtained prior to the issuance of building permits. (Engineering and Building)
5. Complete drainage calculations addressing water quality and quantity in accordance with the requirements of SFWMD must be submitted for review along with complete paving

- and drainage construction plans and subsurface investigation with percolation test prior to the issuance of building permits. (Engineering and Building)
6. Driveway connection and/ or right-of-way construction permits from Palm Beach County Land Development and the Florida Department of Transportation (FDOT) must be obtained prior to issuance of building permits. Any existing driveway connections onsite that become redundant shall be removed and replaced with curbing, etc. to match adjacent conditions. (Engineering and Building)
 7. The site plan shall be revised as necessary to reflect all conditions of approval and resubmitted prior to the issuance of building permits. (Planning and Building)
 8. In accord with the requirements of the National Pollution Discharge Elimination System (NPDES), a Storm Water Pollution Prevention Plan, Owner/ Operator Certification, and Notice of Intent shall be submitted and accepted by the City prior to the issuance of building permits. (Building and Public Works)
 9. The parcels shall be joined with a Unity of Title on a form acceptable to the City of Greenacres or the site shall be platted in accord with Chapter 12 of the City Code prior to the issuance of building permits. (Planning and Building)
 10. The project shall participate in the City Tree Dedication Program per Section 16-1293; at the time of issuance of building permits one (1) tree to be donated per 1,000 sq. ft. of building area or fraction thereof, therefore twelve (12) Live Oaks or equivalent cash payment shall be donated to the City subject to the following specification: Live Oak, Florida Grade #1 Container Grown; minimum 12 ft. high; 2 inch diameter trunk at 4 ft.; and 5 ft. spread. (Planning and Building)
 11. The project shall be required to pay the City's impact fee of \$2.80 per square foot of gross floor area per Section 16-201. The amount of \$31,416 shall be paid at the time of issuance of building permits. (Building)
 12. The 10' X 30' easement depicted on the site plan shall be provided to accommodate the existing bus stop to the west on Lake Worth Road. The easement shall be dedicated to Palm Tran, in a form acceptable to the City Attorney, and recorded prior to the issuance of building permits. A standard City of Greenacres bus shelter shall be acquired and installed by the developer in this location prior to the issuance of a Certificate of Occupancy. The shelter is the permanent maintenance obligation of the property owner, including trash collection and electricity for the shelter security light. (Planning and Building)
 13. The existing 6' high stucco finished masonry buffer wall along the south property line shall be repaired as necessary, cleaned, and painted on both sides to match the approved colors. Maintenance of the wall is the responsibility of the proposed Convenience Store with Fuel Sales. (Planning)

14. Utilities shall be provided underground and sufficient in size to properly serve the site. Appurtenances to these systems which require above-ground installation must be effectively screened from view. (Planning, Engineering and Building)
15. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the City. (Engineering and Building)
16. Any portions of the existing site drainage system to remain shall be cleaned to ensure efficient operation. Existing stormwater drain pipes that are no longer in service shall be removed. (Engineering)
17. Both outparcel buildings must be provided with an automatic fire sprinkler system and a monitored fire alarm system. In addition, the building shall have a Knox box keyed for the City of Greenacres at the entrance. The order form shall be obtained from the City's Fire Marshal. (Public Safety)
18. All roof top equipment shall be screened on all four sides consistent with the architecture of the building; no equipment shall be taller than the proposed screening. All ground mounted mechanical equipment (air conditioning, backflow preventer, etc.) shall be screened on all four sides; no equipment shall be taller than the proposed screening. (Planning and Building)
19. Building wall signs shall be internally illuminated individual channel letters or reverse channel letters. No raceways or box signs will be permitted. (Planning)
20. A bicycle rack accommodating a minimum of 5 bikes shall be provided at each outparcel building. (Planning)
21. The dumpster enclosure walls shall match the finish, color, and design elements of the building walls and trim for each outparcel building. At a minimum, the dumpster enclosure gates shall be of solid 3/4" deep galvanized corrugated 22 gauge steel matching the building color. (Planning)
22. The approved landscape plan shall be installed according to plan. Additions to the existing landscaping plan may be necessary to meet Code requirements if existing material to remain is unsuitable, missing, and or dead for buffer purposes. (Planning)
23. All existing trees shown to remain on the approved landscape plans shall be maintained in perpetuity. In the event they should die, they shall be replaced with like species of a size and quantity in accord with the tree credits in Table 16-1271 of the City of Greenacres Code. (Planning)
24. All existing invasive non-native plants shall be removed from the property. It shall be the responsibility of the property owner to maintain the site free from invasive plants. (Planning and Building)

25. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of December 31, 2020 unless a revised traffic study with a later build-out date has been approved by the County and a copy of the approval provided to the City of Greenacres. (Planning and Building)
26. The existing easements and agreements shall be maintained and/or modified as necessary to ensure cross-access and cross-parking throughout the entire master site. (Planning)
27. No outdoor speakers shall be permitted, except as necessary to comply with safety or handicap accessibility requirements for the drive-thru menu board for the drive-in/ fast food restaurant. (Building)
28. Outdoor storage of materials and equipment (i.e. merchandise, pallets, etc.) is prohibited. (Planning and Building)
29. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the "City of Greenacres". (Planning)
30. Non-compliance with any of the conditions of approval will result in withholding of the issuance of building permits or a Certificate of Occupancy. (Planning and Building)

PLANNING COMMISSION RECOMMENDATION

CITY COUNCIL ACTION

Samuel J. Ferreri, Mayor

Attest:

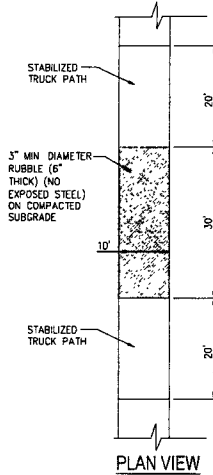
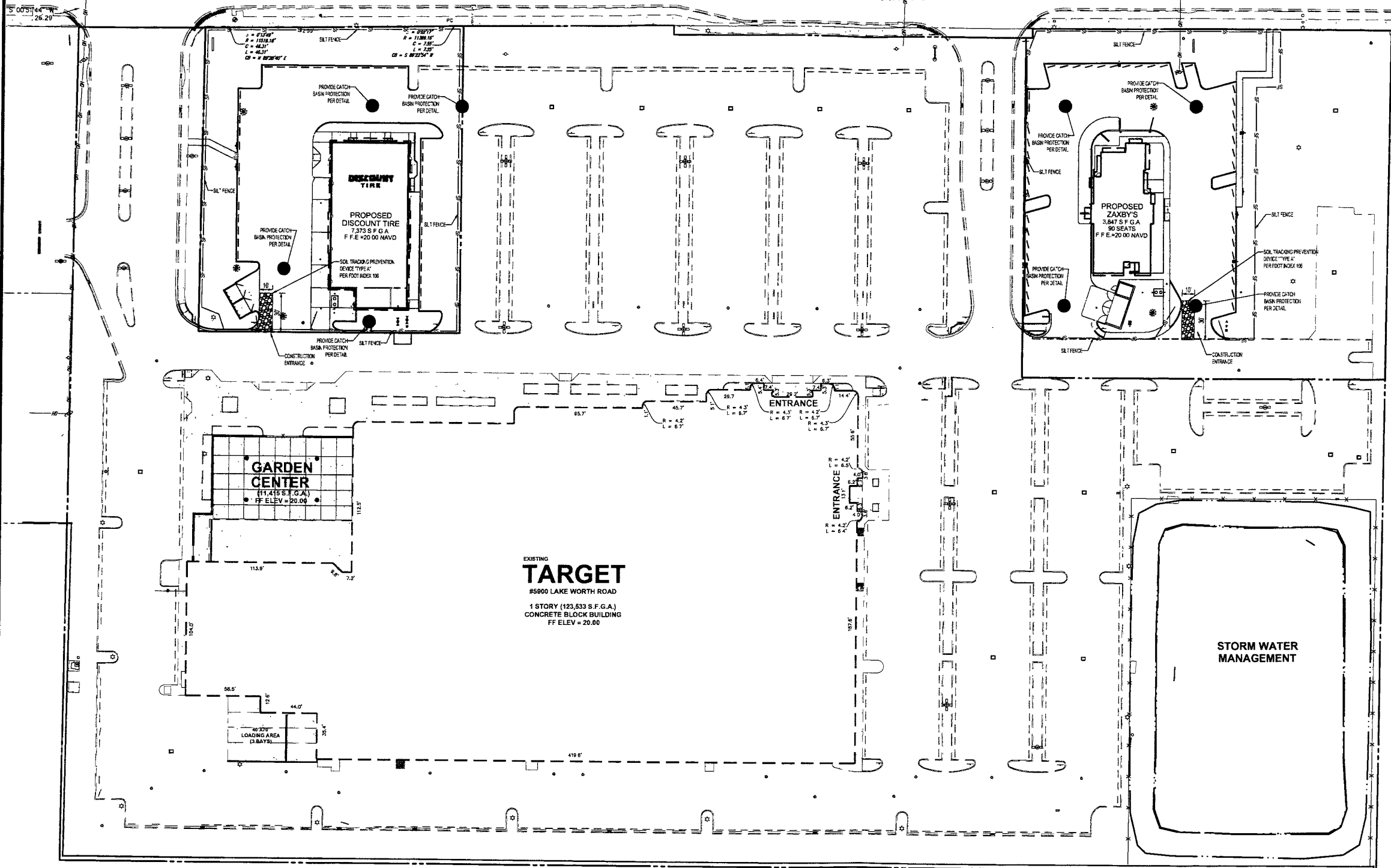
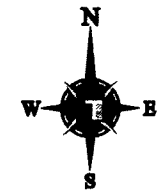
Joanna Cunningham, City Clerk

Attachments:

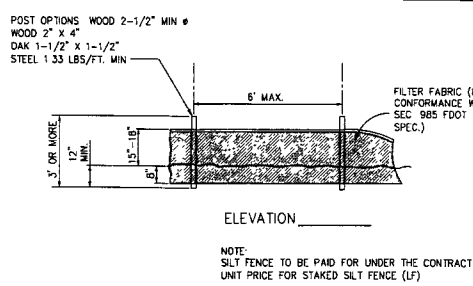
1. Site and Development Plan Packet

SHERWOOD FOREST BLVD.

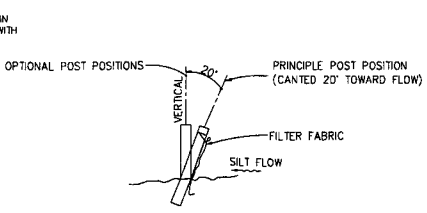
LAKE WORTH RD.
(STATE ROAD NO 802)



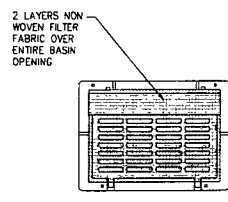
PLAN DESIGNATION CALLOUT
TRUCK RUBBLE STRIP AREA



SILT FENCE DETAIL
(F.D.O.T. INDEX 102, SHEET 03 OF 03)



SECTION



CATCH BASIN PROTECTION

- NOTES:
- 1) SILT FENCE TO BE CONSTRUCTED WHEREVER OFFSITE AREAS ARE LOWER THAN ADJACENT ONSITE ELEVATIONS.
 - 2) CATCH BASIN FABRIC TO BE PLACED ON AREA INLETS SUBJECT TO SEDIMENTATION FROM THIS PROJECT.
 - 3) ALL EROSION CONTROL DEVICES SUCH AS RUBBLE STRIPS, TURBIDITY BARRIERS, SILT FENCE AND OTHER BMPs SHALL BE INSTALLED PRIOR TO DEMOLITION & CONSTRUCTION.

THOMAS
ENGINEERING GROUP
1000 CORPORATE DR. SUITE 200
FORT LAUDERDALE, FL 33334
PH (954) 202-7000
FX (954) 202-7070
WWW.THOMASENGINEERINGGROUP.COM

REV	DATE	DESCRIPTION	BY

811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
www.callsunshine.com

PROJ NO: FJ100021
DRAWN BY: CAD
CHECKED BY: ROT
DATE: 11/15/2018
PROJECT: FJ100021-SOIL EROSION

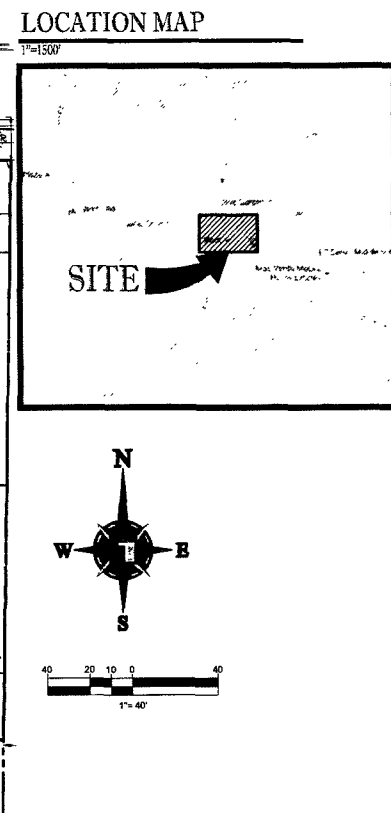
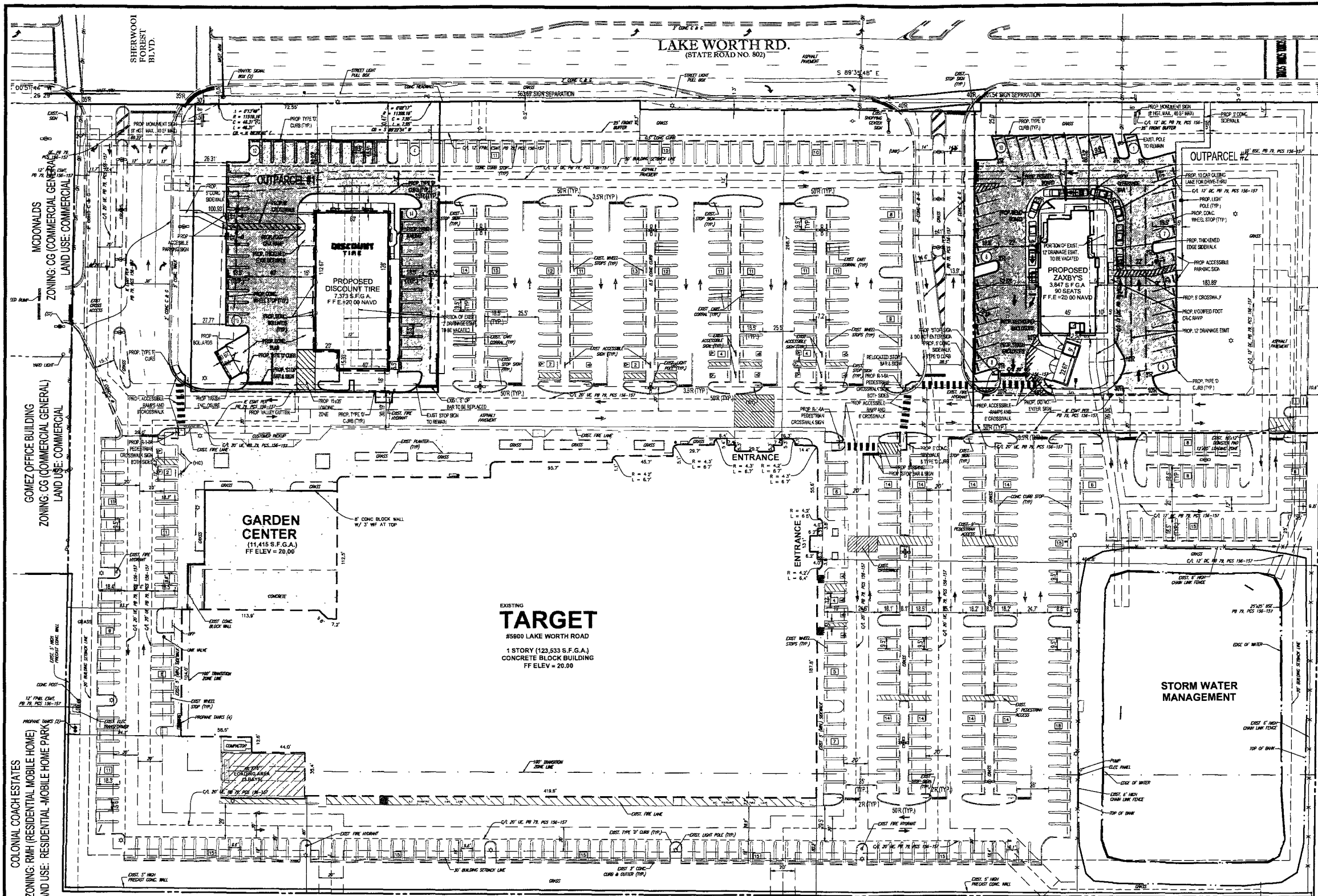
TARGET GREENACRES
FOR
TARGET CORPORATION
CITY OF GREENACRES
PALM BEACH COUNTY, FLORIDA

THOMAS
RADICE III
1000 CORPORATE DRIVE, SUITE 250
FORT LAUDERDALE, FL 33334
PH (954) 202-7000
FX (954) 202-7070
WWW.THOMASENGINEERINGGROUP.COM

ANGELINA M. ROSENBERG
PROFESSIONAL ENGINEER
February 22, 2017
FLORIDA LICENSE No. 69212
FLORIDA BUSINESS CERT. OF AUTH No. 27528

SOIL EROSION CONTROL PLAN
SP-2

Printed on Recycled Paper, February 22, 2017, 2:28 PM by Angelina Rosenberg



DEVELOPMENT SUMMARY

PROJECT DESCRIPTION: DEVELOPMENT OF TWO (2) OUTPARCELS
 ADDRESS: 5900 LAKE WORTH RD., GREENACRES, FL 33463
 PARCEL CONTROL NUMBERS: 18-42-44-26-22-001-0000, 18-42-44-26-22-002-0000, 18-42-44-26-22-003-0000, 18-42-44-26-22-004-0000

LOT:	SQUARE FOOTAGE:	ACREAGE:	PERCENTAGE:
MAIN (TARGET BUILDING)	490,477 SF	11.26 AC	73.7%
OUTPARCEL 1 (DISCOUNT TIRE)	47,923 SF	1.10 AC	7.2%
OUTPARCEL 2 (ZAXBY'S)	77,055 SF	1.77 AC	11.6%
STORMWATER MANAGEMENT	50,142 SF	1.15 AC	7.5%
GROSS AREA OF LOTS:	665,597 SF	15.28 AC	100%

SITE AREA:	SQUARE FOOTAGE:	ACREAGE:	PERCENTAGE:
BUILDING (INC COVERED CANOPIES)	136,041 SF	3.12 AC	20.4%
PAVEMENT & CONCRETE (EXCLUDING BLDG LOT COVERAGE)	406,942 SF	9.34 AC	61.1%
STORMWATER MANAGEMENT POND	50,142 SF	1.15 AC	7.5%
TOTAL SITE IMPERVIOUS AREA:	593,125 SF	13.62 AC	89.1%
TOTAL SITE PERVIOUS AREA (LANDSCAPING):	72,472 SF	1.66 AC	10.9%
GROSS SITE AREA:	665,597 SF	15.28 AC	100.0%

ZONING: CI (COMMERCIAL INTENSIVE)
LAND USE: CM (COMMERCIAL)
JURISDICTION: CITY OF GREENACRES

PARKING SUMMARY

USE (SQUARE FEET GROUND AREA):	PARKING RATIO:	TOTAL:
TARGET STORE (123,533 SFGA)	@5 SPACES / 1,000 SF*	= 618 SPACES
GARDEN CENTER (11,415 SFGA)	@1 SPACE / 1,000 SF	= 11 SPACES
FAST FOOD (3,847 SFGA)	@1 SPACE / 3 SEATS	= 30 SPACES
TIRE STORE (7,373 SFGA)	@1 SPACE / 200 SF	= 37 SPACES
TOTAL REQUIRED PARKING:		= 696 SPACES

PROPOSED PARKING

USE (SQUARE FEET GROUND AREA):	STANDARD SPACES:	ACCESSIBLE SPACES:
TARGET STORE (123,533 SFGA)	496*	16*
GARDEN CENTER (11,415 SFGA)	9	2
FAST FOOD (3,847 SFGA)	41	2
TIRE STORE (7,373 SFGA)	41	2
TOTAL PROVIDED PARKING (609 SP.):	587	22

NOTES

1. CI ZONING BULK REQUIREMENTS:

	MAX. ALLOWED:	PROVIDED:
TOTAL LOT COVERAGE (INCLUDING COVERED CANOPIES)	30%	20.4%
TOTAL FLOOR AREA:	0.35	0.22
TOTAL BUILDING HEIGHT:	35 FT (25' w/ TRANSITIONAL ZONE)	30 FT

2. HOURS OF OPERATION:
 TARGET - 8:00 AM TO 10:00 PM. SPECIAL HOURS APPLY ON HOLIDAYS AND PRE-CHRISTMAS.
 ZAXBY'S - 10:30 AM - 10:30 PM (SUNDAY - THURSDAY)
 10:30 AM - 11:00 PM (FRIDAY - SATURDAY)
 DISCOUNT TIRE - 8:00 AM - 6:00 PM (MONDAY - FRIDAY)
 8:00 AM - 5:00 PM (SUNDAY), CLOSED SUNDAY

3. SEATING: TARGET = 40 SEATS
 ZAXBY'S = 90 SEATS

4. NUMBER OF EMPLOYEES: TARGET = 70
 ZAXBY'S = 12
 DISCOUNT TIRE = 18

5. PARKING
 ALL REGULAR STALLS ARE 9.5' x 18.5' WITH 25' DRIVE AISLES
 HANDICAP SPACES ARE 12' x 18.5' WITH 5' STRIPED SIDE ACCESS WAYS
 WHEELSTOPS OR TYPE 'D' CURBS TO BE PROVIDED FOR ALL STALLS NOT ABUTTING LANDSCAPE AREAS.

6. UTILITIES
 ALL UTILITIES SHALL BE PROVIDED UNDERGROUND.

7. MINIMUM FINISHED FLOOR ELEVATION = 20.00' NAVD (21.50' NGVD)

8. FEMA FLOOD ZONE X, REPRESENTS AREAS OUTSIDE OF THE 500-YEAR FLOOD PLAIN WITH LESS THAN 0.2% ANNUAL PROBABILITY OF FLOODING

* VARIANCE BA-1606 FOR 4 SPACES PER 1,000 SF (494 SPACES)

- VARIANCE REQUEST TO ARTICLE VIII, SECTION 16-13336 FOR A REDUCTION IN REQUIRED PARKING FOR THE EXISTING RETAIL STORE (TARGET) FROM 1 SPACE PER 200 SF OF GFA TO 1 SPACE PER 250 OF GFA.

- SPECIAL EXCEPTION REQUEST TO ARTICLE III, SECTION 16-499 TO ALLOW DRIVE-IN / FAST FOOD RESTAURANT USE.

- SPECIAL EXCEPTION REQUEST TO ARTICLE III, SECTION 16-499 TO ALLOW A TIRE STORE USE

THOMAS
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 1000 CORPORATE DR. SUITE 200 FORT LAUDERDALE, FL 33334
 1000 W. KENNEDY BLVD. SUITE 206 WEST PALM BEACH, FL 33411
 P: (954) 202-7070 F: (954) 202-7070

REV.	DATE	DESCRIPTION	BY:

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
 www.callsunshine.com

FJ160021 CAD ROT
 11/15/2016 FJ160021-SITE

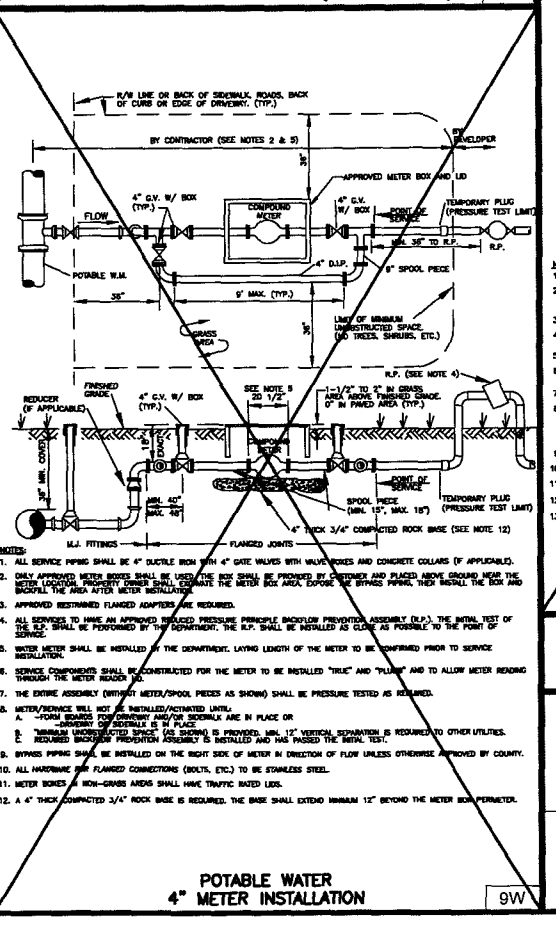
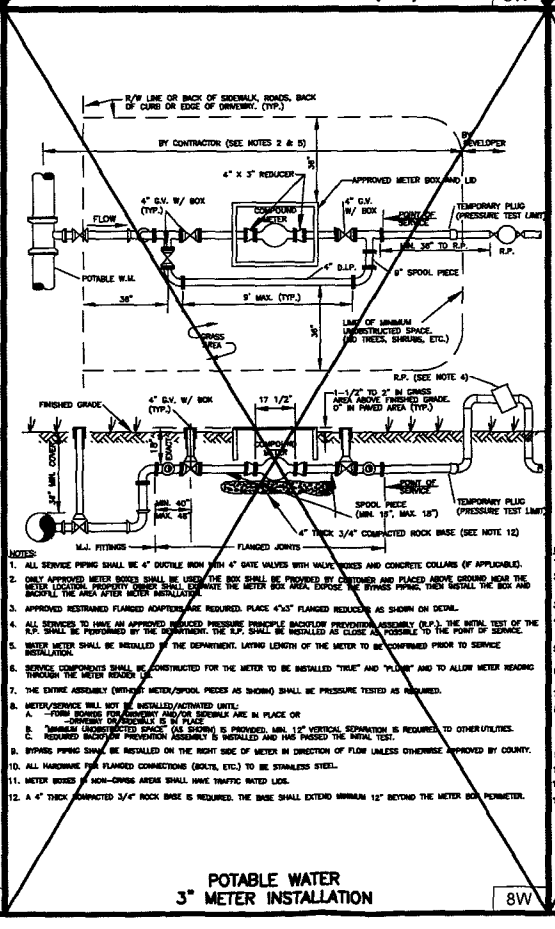
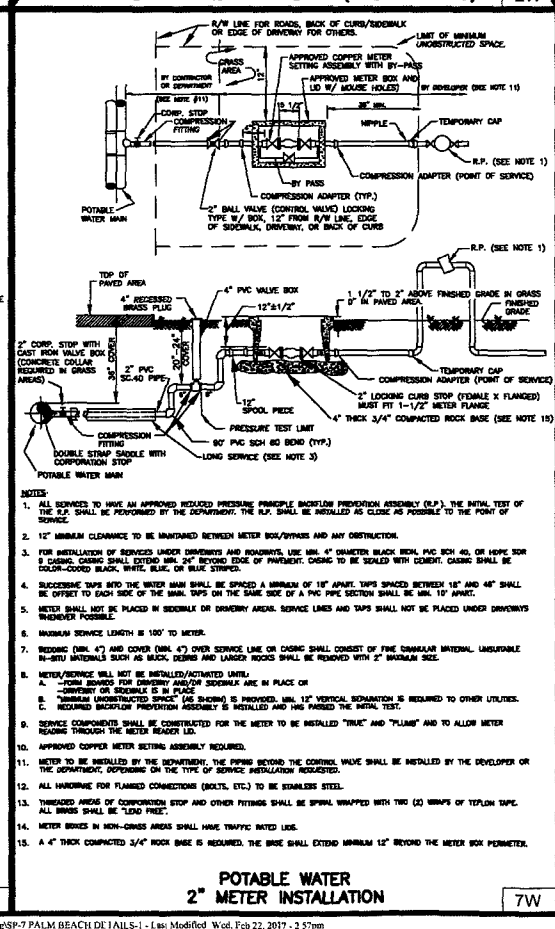
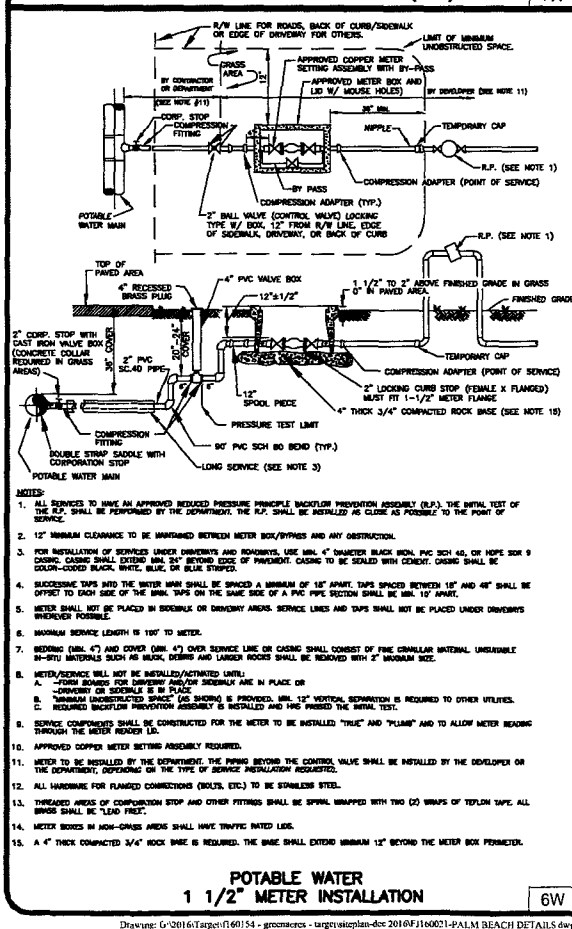
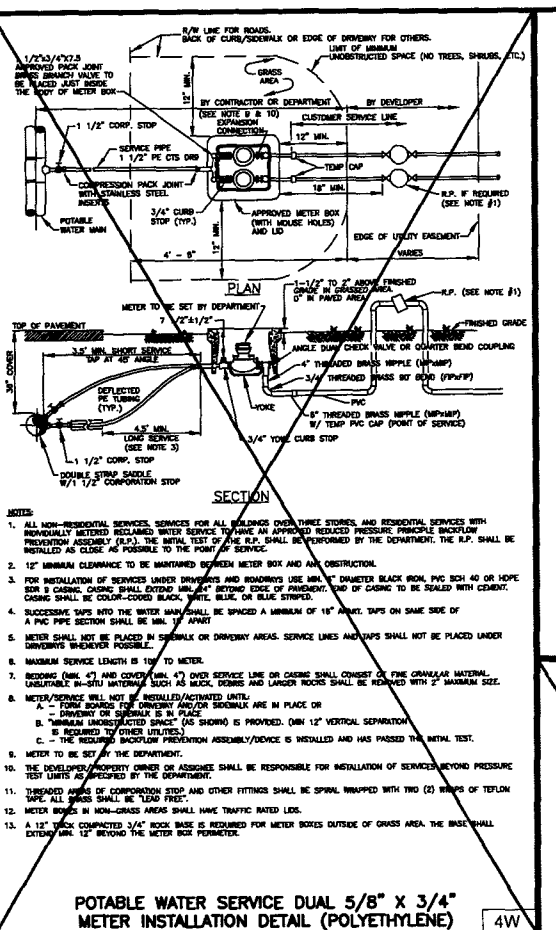
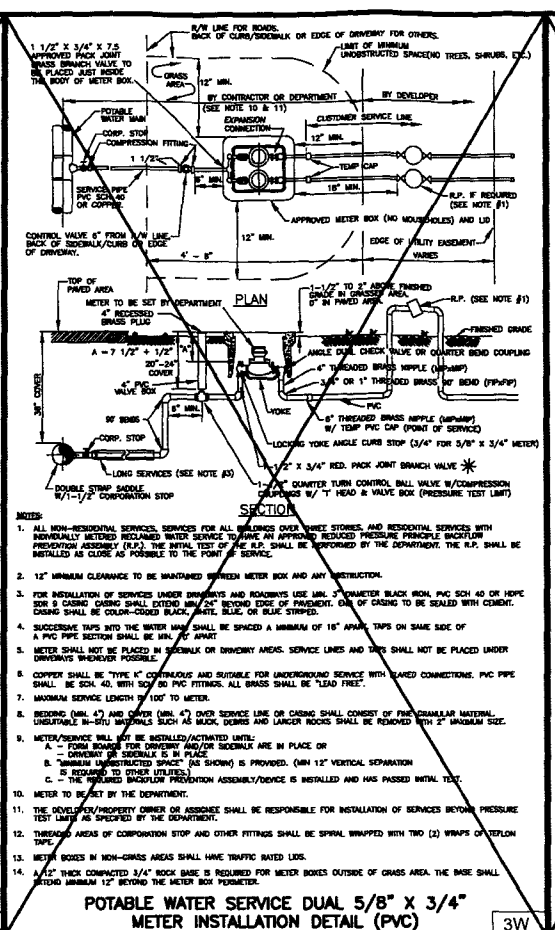
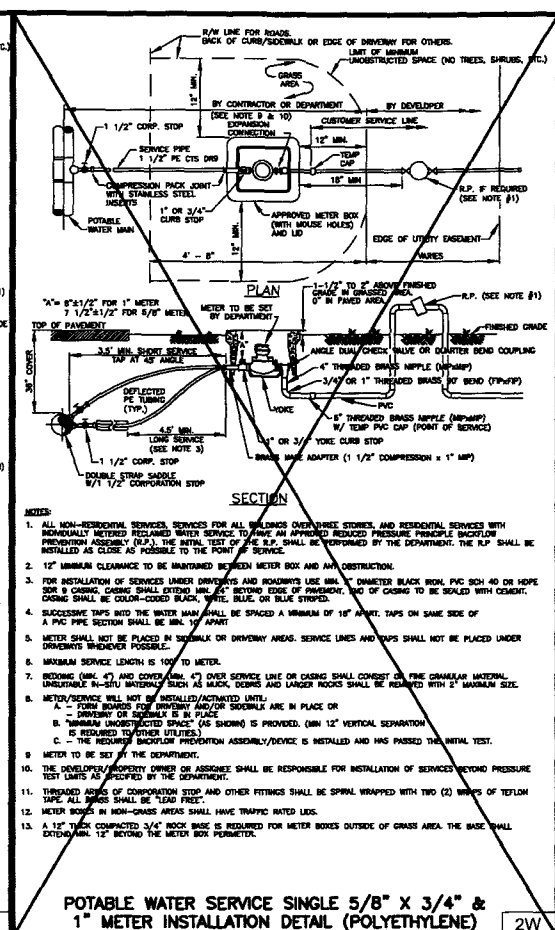
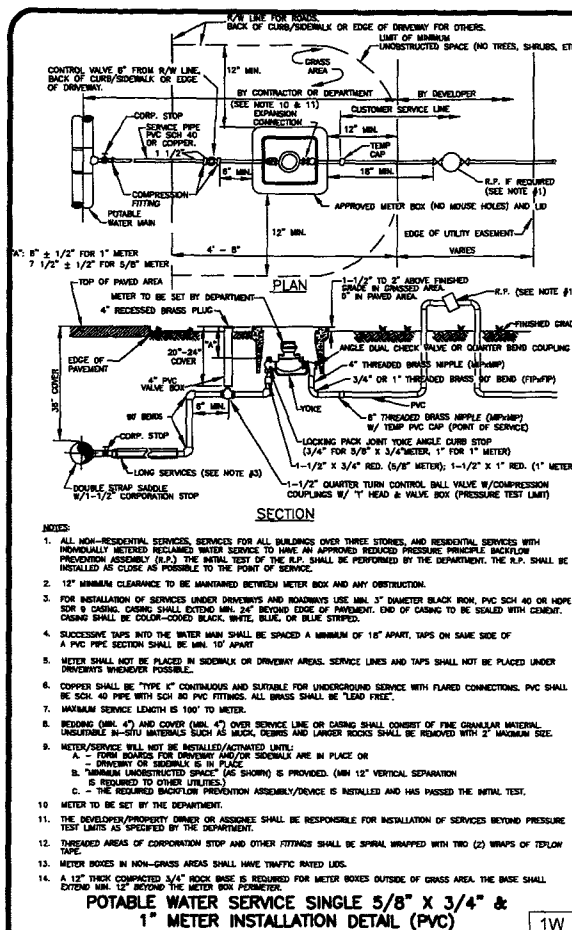
TARGET GREENACRES
 FOR
TARGET CORPORATION

CITY OF GREENACRES
 PALM BEACH COUNTY, FLORIDA

THOMAS
 RADICE III
 1000 CORPORATE DRIVE, SUITE 250
 FORT LAUDERDALE, FL 33334
 PH: (954) 202-7070
 FX: (954) 202-7070
 www.ThomasEngineeringGroup.com

ANGELINA M. ROSENBERG
 PROFESSIONAL ENGINEER
 February 22, 2017
 FLORIDA LICENSE NO. 68212
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27238

OVERALL SITE PLAN
SP-3



POTABLE WATER TYPICAL CONNECTION FOR MULTIPLE SERVICES

NOTES:

- SERVICE PIPING LARGER THAN 4" WILL NOT BE ACCEPTED FOR SERVICE LINE UNDER PAVEMENT UNLESS 4" SCH 40 BLACK RIGID PIPE OR HOPE SDR 9 CASING.
- METER LOCATION MUST CORRESPOND TO UNIT/WHY COMPARISON TO AVOID SERVICE CROSSINGS.
- METER/SERVICE WILL NOT BE INSTALLED/ACTIVATED UNTIL:
 - FORM BORDERS FOR DRIVEWAY AND/OR SIDEWALK ARE IN PLACE OR
 - MINIMUM UNOBSTRUCTED SPACE (AS SHOWN) IS PROVIDED.
 - REQUIRED BACKFLOW PREVENTION ASSEMBLY/DEVICE IS INSTALLED AND HAS PASSED THE INITIAL TEST.
- TYPICAL SERVICE INSTALLATION DETAILS APPLY.
- THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR SERVICE INSTALLATION BEYOND PRESSURE TEST LIMITS AS SPECIFIED BY THE DEPARTMENT.
- THREADED AREAS OF CORROSION STOP AND OTHER FITTINGS SHALL BE SPINAL WRAPPED WITH TWO (2) WRAPS OF TEFLON TAPE. ALL BRASS SHALL BE "LEAD FREE".
- MAX. 100' SERVICE LENGTH.
- PLEASE NOTE THAT ADDITIONAL UNOBSTRUCTED SPACE WILL BE REQUIRED FOR THE INSTALLATION OF A BACKFLOW PREVENTION ASSEMBLY (R.P.A.).

POTABLE WATER #1 STANDARD DETAILS

NOTES:

- ALL SERVICE PIPING SHALL BE 4" DUCTILE IRON WITH 4" GATE VALVES WITH WAX PACKS AND CONCRETE COLLARS (IF APPLICABLE).
- ONLY APPROVED METER BOXES SHALL BE USED. THE BOX SHALL BE PROVIDED BY CONTRACTOR AND PLACED ABOVE GROUND NEAR THE METER. LOCATIONS FOR METER BOXES SHALL BE DETERMINED BY THE METER BOX AREA EXPOSED BY THE SERVICE PIPING. THEY SHALL BE SET AND THE METER SHALL BE INSTALLED.
- APPROVED RESTRAINED FLANGED ADAPTERS ARE REQUIRED.
- ALL SERVICES TO HAVE AN APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (R.P.A.) THE INITIAL TEST OF THE R.P.A. SHALL BE PERFORMED BY THE DEPARTMENT. THE R.P.A. SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF SERVICE.
- METER SHALL NOT BE INSTALLED IN THE DEPARTMENT. LAYING LENGTH OF THE METER TO BE COMPARED PRIOR TO SERVICE INSTALLATION.
- SERVICE COMPARTMENTS SHALL BE CONSTRUCTED FOR THE METER TO BE INSTALLED "TRUE" AND "PLUMB" AND TO ALLOW METER READING THROUGH THE METER WINDOW.
- THE EXISTING ASSEMBLY (WITHOUT METER/SPOOL PIPES AS SHOWN) SHALL BE PRESSURE TESTED AS REQUIRED.
- METER/SERVICE WILL NOT BE INSTALLED/ACTIVATED UNTIL:
 - FORM BORDERS FOR DRIVEWAY AND/OR SIDEWALK ARE IN PLACE OR
 - MINIMUM UNOBSTRUCTED SPACE (AS SHOWN) IS PROVIDED. (MIN. 12" VERTICAL SEPARATION IS REQUIRED TO OTHER UTILITIES.
 - REQUIRED BACKFLOW PREVENTION ASSEMBLY/DEVICE IS INSTALLED AND HAS PASSED THE INITIAL TEST.
- BIWAS PIPING SHALL BE INSTALLED ON THE RIGHT SIDE OF METER IN DIRECTION OF FLOW UNLESS OTHERWISE APPROVED BY COUNTY.
- ALL HARDWARE AND FLANGED CONNECTIONS (BOLTS, ETC.) TO BE STAINLESS STEEL.
- METER BOXES IN NON-GRASS AREAS SHALL HAVE TRAFFIC RATED LIDS.
- A 4" THICK COMPACTED 3/4" ROCK BASE IS REQUIRED. THE BASE SHALL EXTEND MINIMUM 12" BEYOND THE METER BOX PERIMETER.
- THIS DETAIL IS NOT APPLICABLE FOR BLACK WATER SERVICE CONNECTIONS.

CONSULTANT:

DESIGNED BY: WUD
 DRAWN BY: WUD CADD
 CHECKED BY: A. GALICKI
 APPROVED BY: WUD

IT'S THE LAW!
 CALL 48 HOURS BEFORE YOU DIG
 1-800-432-4770
 SONNENSHINE STATE ONE CALL OF FLORIDA, INC.
 UTILITIES NOTIFICATION CENTER

PROJECT 00-000
PROJECT NAME
PALM BEACH COUNTY WATER UTILITIES DEPARTMENT
P.O. BOX 10007
WEST PALM BEACH, FL 33410
(561)460-0000

REVISION / REMARKS

NO.	DATE	GENERAL REVISION
1	FEB. 2015	GENERAL REVISION

STD DETAILS
 SHEET NUMBER: **SP-7**
 DATE: Feb 22, 2017



POTABLE WATER MAIN/FORCE MAIN PRESSURE PIPE CONFLICT

NOTES:

- STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LEAD TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF TWELVE (12) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE LOCATED FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY TWO JOINTS. BOTH PIPES SHALL BE D.I.P. AND THE MINIMUM VERTICAL SEPARATION SHALL BE 8 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM 12" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENTS, AS STATED ABOVE, SHALL BE MAINTAINED, AND BOTH PIPES SHALL BE D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
- WHENEVER POSSIBLE MAINTAIN MIN. TEN (10) FEET HORIZONTAL SEPARATION (SHALL TO WALL) BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN. A MIN. 8" SEPARATION MAY BE APPROVED ON A CASE BY CASE BASIS. MAINTAIN MIN. THREE (3) FEET HORIZONTAL SEPARATION (SHALL TO WALL) BETWEEN POTABLE WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER MAIN OR FORCE MAIN. A MINIMUM SEPARATION BETWEEN LINES AND JOINT ARRANGEMENTS, AS STATED ABOVE, SHALL BE MAINTAINED, AND BOTH PIPES SHALL BE D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
- POTABLE WATER CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LEAD TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF TWELVE (12) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE LOCATED FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY TWO JOINTS. BOTH PIPES SHALL BE D.I.P. AND THE MINIMUM VERTICAL SEPARATION SHALL BE 8 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM 12" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENTS, AS STATED ABOVE, SHALL BE MAINTAINED, AND BOTH PIPES SHALL BE D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
- FITTINGS SHALL BE RESTRICTED.
- THE LOCATION TYPE CROSSING IS RESTRICTED.
- DO NOT EXCEED THE MANUFACTURER'S RECOMMENDED MAXIMUM JOINT DEFLECTION FOR DUCTILE IRON PIPE. PVC PIPE CURVATURE MAY ONLY BE ACCOMPLISHED BY INSTALLING APPROPRIATE JOINTS.
- ALL EXPOSED STEEL SHALL BE COATED WITH COAL-TAR EPOXY.
- POTABLE WATER SERVICE LINES SHALL CROSS OVER WASTEWATER MAINS WITH MIN. 12" VERTICAL SEPARATION. WHERE THE MIN. SEPARATION CANNOT BE MAINTAINED, THE WATER SERVICE SHALL BE ENCASED IN A MIN. 1/2" LONG CASING CENTERED OVER THE CROSSING WITH MIN. 4" VERTICAL SEPARATION.
- WASTEWATER MAINS, WATER MAINS, STORM PIPES AND OTHER UTILITY PIPES SHALL CROSS PERPENDICULAR WHENEVER POSSIBLE.

POTABLE WATER, WASTEWATER MAIN AND STORM SEWER CONFLICT

NOTES:

- STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LEAD TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF TWELVE (12) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE LOCATED FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY TWO JOINTS. BOTH PIPES SHALL BE D.I.P. AND THE MINIMUM VERTICAL SEPARATION SHALL BE 8 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM 12" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENTS, AS STATED ABOVE, SHALL BE MAINTAINED, AND BOTH PIPES SHALL BE D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
- WHENEVER POSSIBLE MAINTAIN MIN. TEN (10) FEET HORIZONTAL SEPARATION (SHALL TO WALL) BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN. A MIN. 8" SEPARATION MAY BE APPROVED ON A CASE BY CASE BASIS. MAINTAIN MIN. THREE (3) FEET HORIZONTAL SEPARATION (SHALL TO WALL) BETWEEN POTABLE WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER MAIN OR FORCE MAIN. A MINIMUM SEPARATION BETWEEN LINES AND JOINT ARRANGEMENTS, AS STATED ABOVE, SHALL BE MAINTAINED, AND BOTH PIPES SHALL BE D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
- POTABLE WATER CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LEAD TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF TWELVE (12) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE LOCATED FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY TWO JOINTS. BOTH PIPES SHALL BE D.I.P. AND THE MINIMUM VERTICAL SEPARATION SHALL BE 8 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM 12" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENTS, AS STATED ABOVE, SHALL BE MAINTAINED, AND BOTH PIPES SHALL BE D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
- FITTINGS SHALL BE RESTRICTED.
- THE LOCATION TYPE CROSSING IS RESTRICTED.
- DO NOT EXCEED THE MANUFACTURER'S RECOMMENDED MAXIMUM JOINT DEFLECTION FOR DUCTILE IRON PIPE. PVC PIPE CURVATURE MAY ONLY BE ACCOMPLISHED BY INSTALLING APPROPRIATE JOINTS.
- ALL EXPOSED STEEL SHALL BE COATED WITH COAL-TAR EPOXY.
- POTABLE WATER SERVICE LINES SHALL CROSS OVER WASTEWATER MAINS WITH MIN. 12" VERTICAL SEPARATION. WHERE THE MIN. SEPARATION CANNOT BE MAINTAINED, THE WATER SERVICE SHALL BE ENCASED IN A MIN. 1/2" LONG CASING CENTERED OVER THE CROSSING WITH MIN. 4" VERTICAL SEPARATION.
- WASTEWATER MAINS, WATER MAINS, STORM PIPES AND OTHER UTILITY PIPES SHALL CROSS PERPENDICULAR WHENEVER POSSIBLE.

GREASE TRAP

NOTES:

- THE GREASE TRAP SHALL BE WATER TIGHT AND GAS TIGHT AND SHALL BE FABRICATED FROM STEEL, ACID RESISTANT COATED INTERIOR AND EXTERIOR.
- THE GREASE TRAP SHALL BE CERTIFIED AND TAGGED BY THE SEAL OF THE PLUMBING AND DRAINAGE INSTITUTE (PDI), AND FOR RATED AT 50 GPM FLOW RATE AND 150 LBS. GREASE CAPACITY. THE GREASE TRAP SIZE, DESIGN AND INSTALLATION MUST COMPLY OR EXCEED THE APPLICABLE BUILDING CODES AND REGULATIONS.
- THE GREASE TRAP MAY BE USED IF AN OIL/GREASE INTERCEPTOR IS NOT REQUIRED AND ONLY FOR APPLICATIONS UP TO 25 GPM FLOW RATE (ONE MINUTE FLOW) OR 50 GPM (TWO MINUTE FLOW), DETERMINED USING THE PDI 0-101 STANDARD. FOR HIGHER FLOW RATES OR GREASE CAPACITY GREATER THAN 50 LBS., AN APPROVED OIL/GREASE INTERCEPTOR WILL BE REQUIRED. A DESIGN CALCULATION SHALL BE SUBMITTED FOR APPROVAL WITH A SHOP DRAWING PRIOR TO PRE-CONSTRUCTION MEETING. THE SHOP DRAWING SHALL BE SIGNED BY THE DESIGNING ENGINEER AND BY THE CONTRACTOR. THE PROJECT NAME WITH STREET ADDRESS OF THE FACILITY (IF AVAILABLE) SHALL BE SHOWN ON THE SHOP DRAWING. OTHER DESIGNING MAY BE USED UPON APPROVAL OF SHOP DRAWINGS.
- THE GREASE TRAP SHALL BE LOCATED OUTDOORS, EAST ACCESSIBLE FOR MAINTENANCE AND SAMPLING, PREFERABLY IN GRASS AREA, NOT IN TRAFFIC AREA, PARKING SPACES OR SIDEWALKS. THE SURFACE SURROUNDING THE GREASE TRAP SHALL BE SLOPED TO DRAIN STORM WATER AWAY FROM THE GREASE TRAP.
- THE GREASE TRAP SHALL NOT BE USED FOR THE PURPOSE OF INTERCEPTING SAND AND OIL FROM NON-FOOD HANDLING ESTABLISHMENTS.
- THE PROPERTY OWNER/CUSTOMER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE GREASE TRAP.
- EACH FACILITY WITH A GREASE TRAP SHALL BE INDIVIDUALLY METERED THROUGH THE DEPARTMENT.
- EACH FACILITY WHICH IS REQUIRED TO INSTALL A GREASE TRAP SHALL HAVE A SEPARATE (NOT SHARED) GREASE TRAP.
- GREASE TRAPS (TWO-WAY CLEAN OUTS) SHALL BE EASILY ACCESSIBLE FOR INSPECTION AND SAMPLING.
- APPROXIMATE POINTS ("OIL/GREASE INTERCEPTOR") SHALL BE REQUIRED TO RECEIVE THE DRAINAGE FROM FITTURES AND EQUIPMENT (SINKS, DRAINWATERS, FLOOR DRAINS, CAN WASH AREAS, ETC.) WITH GREASE LOADS NOT LOCATED IN COMMERCIAL FOOD PREPARATION AREAS SUCH AS RESTAURANTS, HOTEL KITCHENS, HOSPITALS, SCHOOLS, KITCHENS, BARS, FACTORY CATERING, CLINICS, ETC.
- THE "GREASE TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE FITTURES AND EQUIPMENT GENERATING GREASE.
- THE "GREASE TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE FITTURES AND EQUIPMENT GENERATING GREASE.
- A "GRASS TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE REQUIRED TO RECEIVE THE DRAINAGE FROM FITTURES AND EQUIPMENT (SINKS, DRAINWATERS, FLOOR DRAINS, CAN WASH AREAS, ETC.) WITH GREASE LOADS NOT LOCATED IN COMMERCIAL FOOD PREPARATION AREAS SUCH AS RESTAURANTS, HOTEL KITCHENS, HOSPITALS, SCHOOLS, KITCHENS, BARS, FACTORY CATERING, CLINICS, ETC.
- THE "GREASE TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE FITTURES AND EQUIPMENT GENERATING GREASE.
- A "GRASS TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE REQUIRED TO RECEIVE THE DRAINAGE FROM FITTURES AND EQUIPMENT (SINKS, DRAINWATERS, FLOOR DRAINS, CAN WASH AREAS, ETC.) WITH GREASE LOADS NOT LOCATED IN COMMERCIAL FOOD PREPARATION AREAS SUCH AS RESTAURANTS, HOTEL KITCHENS, HOSPITALS, SCHOOLS, KITCHENS, BARS, FACTORY CATERING, CLINICS, ETC.
- MANHOLE LIDS SHALL BE MACHINED TO ACCEPT INFLOW PREVENTER.

SAND/OIL INTERCEPTOR

NOTES:

- SAND/OIL INTERCEPTORS SHALL BE WATER TIGHT AND GAS TIGHT AND SHALL BE FABRICATED FROM PRECAST CONCRETE WHICH HAS A DESIGN COMPRESSIVE STRENGTH OF MINIMUM 3000 PSI AFTER 28 DAYS CURE. THE DESIGN, SIZE AND CONSTRUCTION MUST CONFORM TO THIS STANDARD AND TO ALL APPLICABLE BUILDING CODE AND HEALTH DEPARTMENT REQUIREMENTS AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO, CHAPTER 648, FLORIDA ADMINISTRATIVE CODE, SHALL AND S.A.R. THICKNESS SHOWN ARE MINIMUMS, AND SHALL BE DETERMINED BY THE OWNER'S ENGINEER. THE CONCRETE BOX SHALL HAVE PRECAST HOLES AND CAST-IN ROOTS WHENEVER POSSIBLE.
- SHOP DRAWINGS ARE REQUIRED PRIOR TO PRECONSTRUCTION MEETING. OTHER DESIGNING MAY BE USED UPON SUBMITTAL AND APPROVAL OF SHOP DRAWINGS.
- INSPECTION PORTS (CLEAN OUTS) SHALL BE EASILY ACCESSIBLE FOR INSPECTION/SAMPLING.
- THE INTERCEPTOR SHALL BE LOCATED IN GRASS AREA/NON-TRAFFIC AREA WHENEVER POSSIBLE. THE SURFACE SURROUNDING THE INTERCEPTOR SHALL BE SLOPED TO DRAIN STORM WATER AWAY FROM THE INTERCEPTOR.
- THE CAPACITY DETERMINATION FOR THE INTERCEPTOR IS THE RESPONSIBILITY OF THE OWNER/CUSTOMER. THE MINIMUM VOLUME OF ANY GREASE INTERCEPTOR SHALL BE 750 GALLONS AND THE MAXIMUM VOLUME OF ANY SAND/OIL INTERCEPTOR SHALL BE 750 GALLONS, WHEN THE REQUIRED EFFECTIVE CAPACITY OF THE SAND/OIL INTERCEPTOR IS GREATER THAN 750 GALLONS, INSTALLATION OF SINGLE COMPARTMENT SAND/OIL INTERCEPTORS IN SERIES IS REQUIRED.
- THE PROPERTY OWNER/CUSTOMER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE INTERCEPTOR.
- SAND/OIL INTERCEPTOR SHALL NOT BE USED FOR THE PURPOSE OF INTERCEPTING GREASE FROM FOOD HANDLING ESTABLISHMENTS.
- EACH FACILITY REQUIRED TO HAVE A SAND/OIL INTERCEPTOR SHALL HAVE A SEPARATE INTERCEPTOR AND SHALL BE INDIVIDUALLY METERED THROUGH THE DEPARTMENT.
- MANHOLE LIDS SHALL BE MACHINED TO ACCEPT INFLOW PREVENTER.

OIL/GREASE INTERCEPTOR

NOTES:

- GREASE INTERCEPTORS SHALL BE WATER TIGHT AND GAS TIGHT AND SHALL BE FABRICATED FROM PRECAST CONCRETE WHICH HAS A DESIGN COMPRESSIVE STRENGTH OF MINIMUM 3000 PSI AFTER 28 DAYS CURE. THE DESIGN, SIZE AND CONSTRUCTION MUST CONFORM TO THIS STANDARD AND TO ALL APPLICABLE BUILDING CODE AND HEALTH DEPARTMENT REQUIREMENTS AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO, CHAPTER 648, FLORIDA ADMINISTRATIVE CODE, SHALL AND S.A.R. THICKNESS SHOWN ARE MINIMUMS, AND SHALL BE DETERMINED BY THE OWNER'S ENGINEER. THE CONCRETE BOX SHALL HAVE PRECAST HOLES AND CAST-IN ROOTS WHENEVER POSSIBLE.
- THE GREASE INTERCEPTOR SHALL BE USED FOR APPLICATIONS EXCEEDING 25 GPM FLOW RATE, DETERMINED USING THE PLUMBING AND DRAINAGE INSTITUTE (PDI) 0-101 STANDARD. A DESIGN CALCULATION MUST BE SUBMITTED FOR APPROVAL WITH A SHOP DRAWING PRIOR TO THE PRE-CONSTRUCTION MEETING. FOR APPLICATIONS UP TO 25 GPM FLOW RATE (ONE MINUTE FLOW) OR 50 GPM (TWO MINUTE FLOW), AN APPROVED OUTDOOR "GREASE TRAP" MAY BE USED OTHER DESIGNING MAY BE USED UPON SUBMITTAL AND APPROVAL OF SHOP DRAWINGS.
- INSPECTION PORTS (CLEAN OUTS) SHALL BE EASILY ACCESSIBLE FOR INSPECTION/SAMPLING.
- THE INTERCEPTOR AND CLEANOUT PORTS SHALL BE LOCATED OUTDOORS AND IN NON-TRAFFIC AREA WHENEVER POSSIBLE. THE SURFACE SURROUNDING THE INTERCEPTOR SHALL BE SLOPED TO DRAIN STORM WATER AWAY FROM THE INTERCEPTOR.
- NO BAFFLES IS REQUIRED IF THERE ARE MULTIPLE GREASE INTERCEPTORS INSTALLED IN SERIES. HOWEVER, CLEANOUT PORTS MUST BE INSTALLED ON EACH END OF EACH INTERCEPTOR.
- THE PROPERTY OWNER/CUSTOMER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE INTERCEPTOR.
- THE GREASE INTERCEPTOR SHALL NOT BE USED FOR THE PURPOSE OF INTERCEPTING SAND AND OIL FROM NON-FOOD HANDLING ESTABLISHMENTS.
- EACH FACILITY WITH AN OIL/GREASE INTERCEPTOR SHALL HAVE A SEPARATE (NOT SHARED) INTERCEPTOR AND SHALL BE INDIVIDUALLY METERED THROUGH THE DEPARTMENT.
- A "GRASS TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE REQUIRED TO RECEIVE THE DRAINAGE FROM FITTURES AND EQUIPMENT (SINKS, DRAINWATERS, FLOOR DRAINS, CAN WASH AREAS, ETC.) WITH GREASE LOADS NOT LOCATED IN COMMERCIAL FOOD PREPARATION AREAS SUCH AS RESTAURANTS, HOTEL KITCHENS, HOSPITALS, SCHOOLS, KITCHENS, BARS, FACTORY CATERING, CLINICS, ETC.
- THE "GREASE TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE FITTURES AND EQUIPMENT GENERATING GREASE.
- A "GRASS TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE REQUIRED TO RECEIVE THE DRAINAGE FROM FITTURES AND EQUIPMENT (SINKS, DRAINWATERS, FLOOR DRAINS, CAN WASH AREAS, ETC.) WITH GREASE LOADS NOT LOCATED IN COMMERCIAL FOOD PREPARATION AREAS SUCH AS RESTAURANTS, HOTEL KITCHENS, HOSPITALS, SCHOOLS, KITCHENS, BARS, FACTORY CATERING, CLINICS, ETC.
- MANHOLE LIDS SHALL BE MACHINED TO ACCEPT INFLOW PREVENTER.
- A "GRASS TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE REQUIRED TO RECEIVE THE DRAINAGE FROM FITTURES AND EQUIPMENT (SINKS, DRAINWATERS, FLOOR DRAINS, CAN WASH AREAS, ETC.) WITH GREASE LOADS NOT LOCATED IN COMMERCIAL FOOD PREPARATION AREAS SUCH AS RESTAURANTS, HOTEL KITCHENS, HOSPITALS, SCHOOLS, KITCHENS, BARS, FACTORY CATERING, CLINICS, ETC.
- MANHOLE COVER SHALL BE MACHINED TO ACCEPT INFLOW PREVENTER.

WASTEWATER SYSTEM STANDARD CUT-IN DETAILS

WASTEWATER #1 STANDARD DETAILS

NOTES:

- DUCTILE IRON FITTINGS (WYE, TEE, SLEEVES) ARE REQUIRED FOR DUCTILE IRON AND/OR C-900 PIPE.
- M.I. CUTTING-IN SLEEVE, METALLOUS OR EQUAL.
- CUT IN FITTING, METALLOUS OR EQUAL.
- DUCTILE IRON-METALLOUS JOINT (FORCE MAIN).
- METALLOUS OR EQUAL ARE REQUIRED THROUGHOUT ASSEMBLY.

PRESSURE TEST CRITERIA FOR WASTEWATER MAINS IN WELL FIELD AND FORCE MAIN

I. FORCE MAINS AND GRAVITY WASTEWATER MAINS WITH WELLFIELD PROTECTION ZONE

PRESTRESS TEST PROCEDURE TO FOLLOW THE CURRENT AWWA C-900 STANDARDS (100psi, (2) HOUR DURATION).

THESE SHALL BE NO PRESSURE DROP IN THE PIPE DURING THE TEST ("ZERO" FILL-UP TECHNIQUE).

II. FORCE MAINS OUTSIDE OF WELLFIELD PROTECTION ZONE

MAXIMUM QUANTITY OF WATER (GALLONS PER HOUR) THAT MAY BE SUPPLIED TO MAINTAIN PRESSURE WITHIN 5 P.S.I. OF THE SPECIFIED TEST PRESSURE (MECHANICAL OR PUSH-IN JOINT, 18 FT. NOMINAL LENGTHS, PER 1000 FT. OF PIPE)

AVE. TEST PRESS. (PSI)	2	3	4	6	8	10	12	14	16	18	20	24	30	36	42	48
100	0.19	0.14	0.10	0.27	0.87	0.48	0.58	0.84	0.73	0.83	0.92	1.10	1.38	1.85	2.33	2.20

FORMULA TO BE USED: $L = \frac{0.1 \times (P)^2 \times (D)^2 \times (L)^2}{2 \times 1000}$

L = MAXIMUM QUANTITY OF WATER TO BE ADDED (GALLONS PER HOUR)
 S = LENGTH OF PIPE TESTED (FEET)
 D = DIAMETER OF PIPE (INCHES)
 P = TEST PRESSURE (P.S.I.)

NOTES:

- TO OBTAIN THE MAXIMUM QUANTITY OF WATER FOR PIPE WITH 20 FT. NOMINAL LENGTHS, MULTIPLY THE QUANTITY CALCULATED FROM THE TABLE BY 0.9.
- THE MAXIMUM QUANTITY OF ADDED WATER PER HOUR AS CALCULATED BY MULTIPLYING THE QUANTITY PER HOUR AS OBTAINED FROM THE ABOVE TABLE BY THE DURATION OF THE TEST IN HOURS AND BY THE TOTAL LENGTH OF THE LINE BEING TESTED DIVIDED BY LOAD, IF THE LINE UNDER TEST CONTAINS SECTIONS OF VARIOUS DIAMETERS, THE MAXIMUM QUANTITY ADDED WILL BE THE SUM OF THE COMPUTED QUANTITIES FOR EACH SIZE.
- MAXIMUM TEST LENGTH = 2,500 FEET PER SECTION.
- THIS STANDARD SHALL REFLECT ANY REVISION OF AWWA C-900, HOWEVER, THE MAXIMUM QUANTITY OF WATER ADDED SHALL NOT EXCEED 50% OF THE RECOMMENDED LIMIT FOR APPLICABLE AWWA C-900 STANDARD.
- STANDARD TEST PRESSURE = 100 P.S.I.
- PRESSURE TEST DURATION TO BE MIN. 2 HOURS.

OPEN CUT PIPE INSTALLATION THROUGHFARE ROAD

CONSTRUCTION PROCEDURES:

THE BEDDING FOR THE FIRST AND SECOND STAGES SHALL BE PLACED IN 8" LIFTS (1) SET IMMEDIATELY TO THE CONSTRUCTION COORDINATION DIVISION. RESULTS SHALL BE SUBMITTED TO CONSTRUCTION COORDINATION DIVISION AS PART OF THEIR FIELD REVIEW.

STAGE 1:

THE CONTRACTOR SHALL PROVIDE ADEQUATE COMPACTED FILL BEDDING MATERIAL (MIN. 1 1/2") SUITABLE FOR THIS PURPOSE. THIS CONSTRUCTION APPLIES TO THE MATERIAL PLACED BENEATH THE HALVES OF THE PIPE AND ABOVE ANY BEDDING REQUIRED.

STAGE 2:

THE CONTRACTOR SHALL OBTAIN A WELL-COMPACTED BED AND FILL ALONG THE SIDES OF THE PIPE AND TO A POINT INDICATING THE TOP OF SUB-GRADE MATERIAL.

CONSTRUCTION NOTES:

- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING WITH EQUAL OR GREATER STRUCTURAL INTEGRITY AS EXISTING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
- REPLACED BASE MATERIAL (PER LAND DEVELOPMENT DESIGN STANDARDS) OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE OR 12" MINIMUM, WHICHEVER IS GREATER.
- ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWN AND BUTT-JOINTED.
- BASE MATERIAL SHALL BE PLACED IN TWO OR THREE LAYERS (8" MAX. PER LAYER) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO THE SPECIFIED DENSITY.
- SURFACE RESTORATION AREA OVER PAVEMENT OR WELLSURFACE FOR A DISTANCE OF 20' ON BOTH SIDES OF THE OPEN CUT AND FOR A FULL LANE WIDTH.
- 1" SB ASPHALT CONCRETE OVER 1 1/2" S1 ASPHALT CONCRETE WITH RC-70 PRIME COAT AT 0.10 GAL/SQ. YD.
- PIPE SHALL BE PLACED IN A DRY TRENCH.

GENERAL NOTES:

- ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY PPM# EL-0-3605.
- IDENTITY TESTS SHALL BE TAKEN IN 1 FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM (1) SET IMMEDIATELY TO THE CONSTRUCTION COORDINATION DIVISION. RESULTS SHALL BE SUBMITTED TO CONSTRUCTION COORDINATION DIVISION AS PART OF THEIR FIELD REVIEW.
- ENGINEERS-OF-RECORD WILL PROVIDE FULL-TIME INSPECTION DURING THE ENTIRETY OF THE OPEN-CUT OPERATION, BEGINNING WITH THE EXCAVATION AND CONTINUING THROUGH THE COMPLETION OF THE PAVEMENT.
- IF THE PAVEMENT IS NOT COMPLETELY RESTORED IMMEDIATELY FOLLOWING THE OPEN CUT, A SMOOTH TEMPORARY PATCH (OR THE "FLUSH" PATCH) SHALL BE INSTALLED, PROPERLY MATCHING THE EXISTING CROWN OF THE ROADWAY. THE TEMPORARY PATCH SHALL BE ALLOWED TO REMAIN IN PLACE AND BE MAINTAINED FOR A PERIOD NO LONGER THAN 90 DAYS. THE COUNTY WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE TEMPORARY PATCH (STEEL PLATES OR OTHERS) MAY BE APPROVED BY THE CONSTRUCTION COORDINATION DIVISION.
- THE FINAL RESTORATION OF THE ROAD SHALL BE MAILED/RESURFACED FOR A FULL LANE WIDTH OF THE TRAVEL LANES AND SHOULD BE COMPLETED IMMEDIATELY FOLLOWING THE COMPLETION OF THE PAVEMENT. THE PAVEMENT SHALL BE MAILED AND RESURFACED PER CONSTRUCTION NOTE 8.
- APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE COUNTY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.
- CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE COUNTY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.
- CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE COUNTY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.

OPEN CUT PIPE INSTALLATION NON-THROUGHFARE ROAD

CONSTRUCTION PROCEDURES:

THE BEDDING FOR THE FIRST AND SECOND STAGES SHALL BE PLACED IN 8" LIFTS (1) SET IMMEDIATELY TO THE CONSTRUCTION COORDINATION DIVISION. RESULTS SHALL BE SUBMITTED TO CONSTRUCTION COORDINATION DIVISION AS PART OF THEIR FIELD REVIEW.

STAGE 1:

THE CONTRACTOR SHALL PROVIDE ADEQUATE COMPACTED FILL BEDDING MATERIAL (MIN. 1 1/2") SUITABLE FOR THIS PURPOSE. THIS CONSTRUCTION APPLIES TO THE MATERIAL PLACED BENEATH THE HALVES OF THE PIPE AND ABOVE ANY BEDDING REQUIRED.

STAGE 2:

THE CONTRACTOR SHALL OBTAIN A WELL-COMPACTED BED AND FILL ALONG THE SIDES OF THE PIPE AND TO A POINT INDICATING THE TOP OF SUB-GRADE MATERIAL.

CONSTRUCTION NOTES:

- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING WITH EQUAL OR GREATER STRUCTURAL INTEGRITY AS EXISTING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
- REPLACED BASE MATERIAL (PER LAND DEVELOPMENT DESIGN STANDARDS) OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE OR 12" MINIMUM, WHICHEVER IS GREATER.
- ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWN AND BUTT-JOINTED.
- BASE MATERIAL SHALL BE PLACED IN TWO OR THREE LAYERS (8" MAX. PER LAYER) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO THE SPECIFIED DENSITY.
- SURFACE MATERIAL WILL BE CONSISTENT WITH THE EXISTING SURFACE OR 1 1/2" S1 ASPHALT CONCRETE WITH RC-70 PRIME COAT AT 0.10 GAL/SQ. YD.
- PIPE SHALL BE PLACED IN A DRY TRENCH.

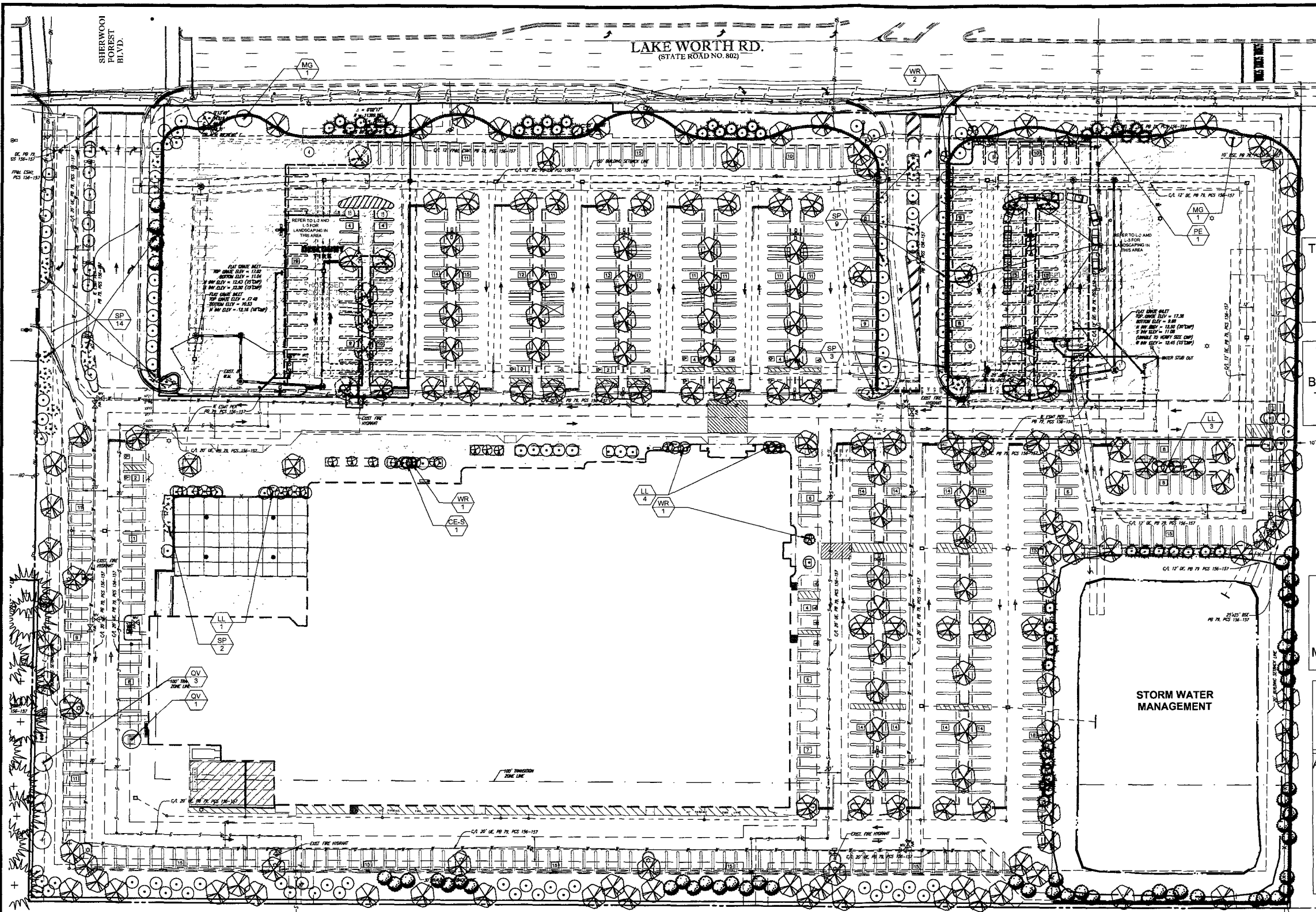
GENERAL NOTES:

- ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY PPM# EL-0-3605.
- IDENTITY TESTS SHALL BE TAKEN IN 1 FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM (1) SET IMMEDIATELY TO THE CONSTRUCTION COORDINATION DIVISION. RESULTS SHALL BE SUBMITTED TO CONSTRUCTION COORDINATION DIVISION AS PART OF THEIR FIELD REVIEW.
- ENGINEERS-OF-RECORD WILL PROVIDE FULL-TIME INSPECTION DURING THE ENTIRETY OF THE OPEN-CUT OPERATION, BEGINNING WITH THE EXCAVATION AND CONTINUING THROUGH THE COMPLETION OF THE PAVEMENT.
- IF THE PAVEMENT IS NOT COMPLETELY RESTORED IMMEDIATELY FOLLOWING THE OPEN CUT, A SMOOTH TEMPORARY PATCH (OR THE "FLUSH" PATCH) SHALL BE INSTALLED, PROPERLY MATCHING THE EXISTING CROWN OF THE ROADWAY. THE TEMPORARY PATCH SHALL BE ALLOWED TO REMAIN IN PLACE AND BE MAINTAINED FOR A PERIOD NO LONGER THAN 90 DAYS. THE COUNTY WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE TEMPORARY PATCH (STEEL PLATES OR OTHERS) MAY BE APPROVED BY THE CONSTRUCTION COORDINATION DIVISION.
- THE FINAL RESTORATION OF THE ROAD SHALL BE MAILED/RESURFACED FOR A FULL LANE WIDTH OF THE TRAVEL LANES AND SHOULD BE COMPLETED IMMEDIATELY FOLLOWING THE COMPLETION OF THE PAVEMENT. THE PAVEMENT SHALL BE MAILED AND RESURFACED PER CONSTRUCTION NOTE 8.
- APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE COUNTY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.
- CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE COUNTY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.
- CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE COUNTY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.

TYPICAL TRENCH DETAIL RUBBLE RIPRAP DETAIL

NOTES:

- RUBBLE RIPRAP TO MEET F.O.T.D. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND F.O.T.D. DESIGN STANDARDS.
- DUMP RUBBLE IN PLACE FORMING A COMPACT LAYER CONFORMING TO THE CANAL DESIGN SECTION. INSURE THAT RUBBLE DOES NOT SEGREGATE SO THAT SMALLER PIPES EVENLY FILL THE VOIDS BETWEEN LARGER PIECES.
- ALTERNATIVE DESIGN WILL BE CONSIDERED, SUBJECT TO APPROVAL BY THE CANAL PROPERTY OWNER.



THE USE OF SISAL STRAPPING/ROPE IS REQUIRED TO BE INCORPORATED AROUND THE TREE WHEN WELLINGTON TAPE IS USED TO STABILIZE THE PLANTING.

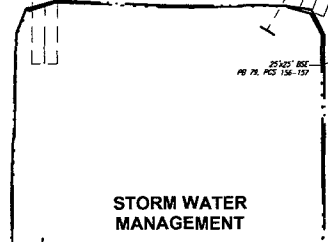
POLES AND TIES ARE TO BE REMOVED PRIOR TO PLANTING. TREES ARE TO BE ABLE TO STAND WITHOUT SUPPORT. THOSE THAT CANNOT STAND UPRIGHT ALONE WILL BE REJECTED.

PLEASE REFER TO SHEET L-4 FOR LANDSCAPE GENERAL NOTES

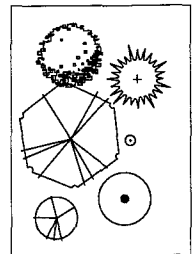
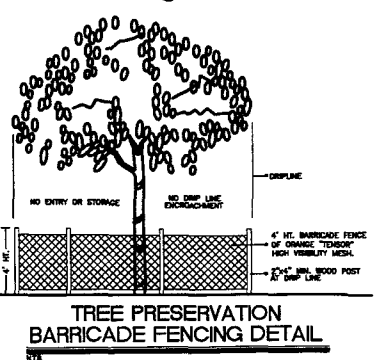
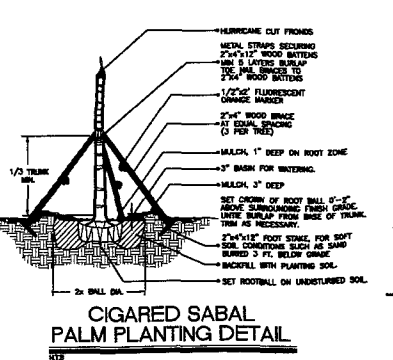
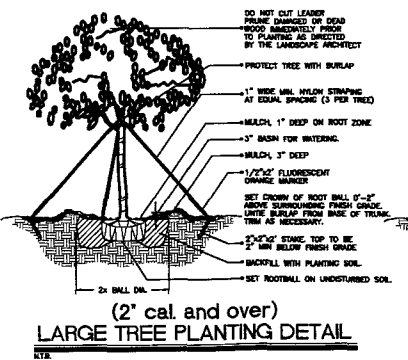
ALL MECHANICAL EQUIPMENT, BACKFLOW PREVENTERS, DUMPSTER ENCLOSURES, A/C UNITS, ETC., SHALL BE SCREENED IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS.

THE USE OF CYPRESS MULCH IS DISCOURAGED AND ALL MULCH IS TO BE KEPT AT A MINIMUM 6" FROM THE BASE OF ALL PLANT MATERIALS.

ALL LANDSCAPE AREAS ARE COVERED BY AN EXISTING AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL CONTINUE TO ADEQUATELY COVER ALL LIVING PLANT MATERIAL, SUCH SYSTEM SHALL HAVE A RAIN SENSOR. CONTRACTOR TO VERIFY CONDITION OF EXISTING SYSTEM AND REPAIR WHERE NECESSARY.



TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DIA	HEIGHT	SPREAD	NATIVE	ZONIC	REMARKS
1	1	Silver Button Wood	Conocarpus erectus var. strictus	45 gal	2" DBH	12 ft	5	Yes	High	5 CT
2	1	Glossy Privet	Ligustrum lucidum	20 gal	1 1/2" DBH	8 ft	5	No	High	5 CT
3	1	Magnolia 'Silverstar'	Magnolia grandiflora	B & B	2" DBH	16 ft	8	Yes	High	5 CT
4	1	Slash Pine	Pinus slashii	B & B	2 1/2" DBH	10-12 ft	5-6	Yes	Medium	
5	1	Southern Live Oak	Quercus virginiana	B & B	2" DBH	12 ft	5	Yes	High	5 CT
PALM TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DIA	HEIGHT	SPREAD	NATIVE	ZONIC	REMARKS
1	26	Cabbage Palmetto	Sabal palmetto	B & B	10-14 ct	8' spread		Yes	High	BOOTHED
2	4	Mexican Fan Palm	Washingtonia robusta	B & B	16-20 ct			No	High	Noted



EXISTING TREES, PALMS AND ACCENTS PER CITY COUNCIL APPROVED LANDSCAPE PLAN, DATED 4-15-96, PETITION #SP-96-01.

ADDITIONAL MATERIALS ARE BEING ADDED TO REPLACE LANDSCAPING MISSING AS PART OF THIS PLAN.

THOMAS
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 1000 CORPORATE DR. SUITE 600 FORT LAUDERDALE, FL 33304
 P: (954) 202-7000 F: (954) 202-7070
 1795 W. INDIANTOWN RD. SUITE 206 FORT LAUDERDALE, FL 33304
 P: (954) 202-7000 F: (954) 202-7070

REV.	DATE	COMMENT	BY

811 KNOW WHATS BELOW ALWAYS CALL 811 BEFORE YOU DIG
 www.callsunshine.com

PROJECT No	FJ180021
DRAWN BY	CAD
CHECKED BY	ROT
DATE	1/15/2018
CAD/D	FJ180021-RESTORATION

TARGET GREENACRES
 FOR
TARGET CORPORATION

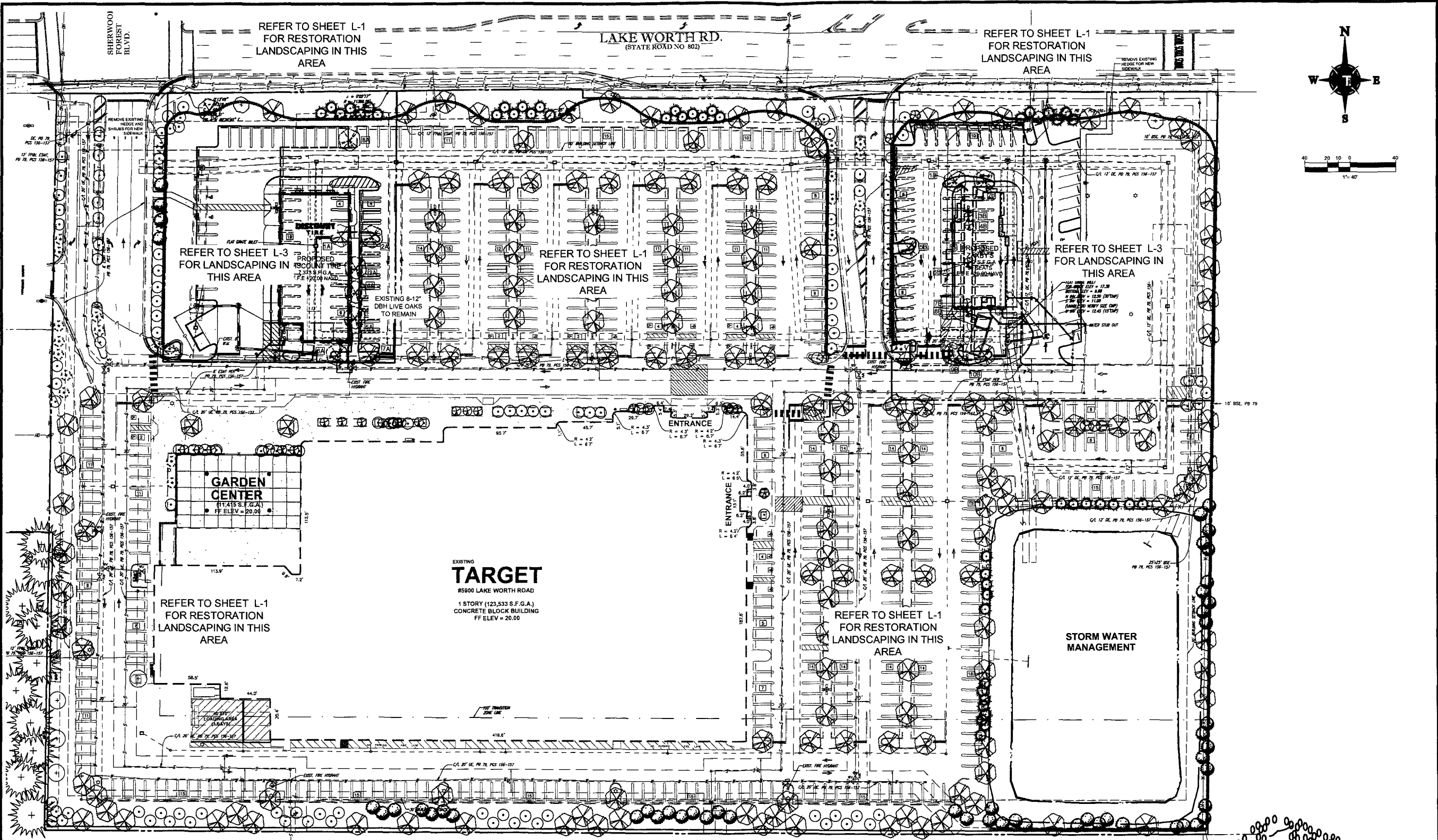
CITY OF GREENACRES
 PALM BEACH COUNTY, FLORIDA

THOMAS
 RADICE III
 1000 CORPORATE DRIVE, SUITE 250
 FORT LAUDERDALE, FL 33304
 PH: (954) 202-7000
 FX: (954) 202-7070
 www.ThomasEngineeringGroup.com

MICHAEL D. GROSSWIRTH
 REGISTERED LANDSCAPE ARCHITECT
 February 22, 2017
 FLORIDA LICENSE NO. 6696971
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

SHEET TITLE
OVERALL LANDSCAPE RESTORATION PLAN

SHEET NUMBER
L-1



THOMAS
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 4950 W. KENNEDY BLVD. SUITE 600 FORT LAUDERDALE, FL 33334
 PH: (954) 262-7000 FAX: (954) 262-7070
 125 W. INDIANTOWN RD. SUITE 200 FORT LAUDERDALE, FL 33304
 PH: (954) 262-7000 FAX: (954) 262-7070

REV.	DATE	COMMENT	BY

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
 www.callsunshine.com

PROJECT No: FJ180021
 DRAWN BY: CAD
 CHECKED BY: ROT
 DATE: 1/15/2018
 CAD I D: FJ180021-PARCEL LANDSCAPE

TARGET GREENACRES
 FOR
TARGET CORPORATION
 CITY OF GREENACRES
 PALM BEACH COUNTY, FLORIDA

THOMAS
 RADICE III
 1000 CORPORATE DRIVE, SUITE 250
 FORT LAUDERDALE, FL 33334
 PH: (954) 262-7000
 FX: (954) 262-7070
 www.ThomasEngineeringGroup.com

MICHAEL D. GROSSWIRTH
 REGISTERED LANDSCAPE ARCHITECT
 February 22, 2017
 FLORIDA LICENSE NO. 0666871
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

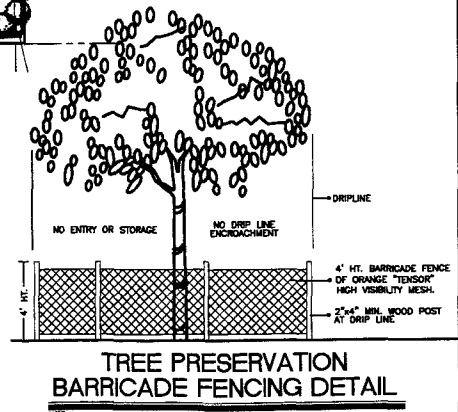
SHEET TITLE
OUTPARCELS TREE DISPOSITION PLAN
 SHEET NUMBER
L-2

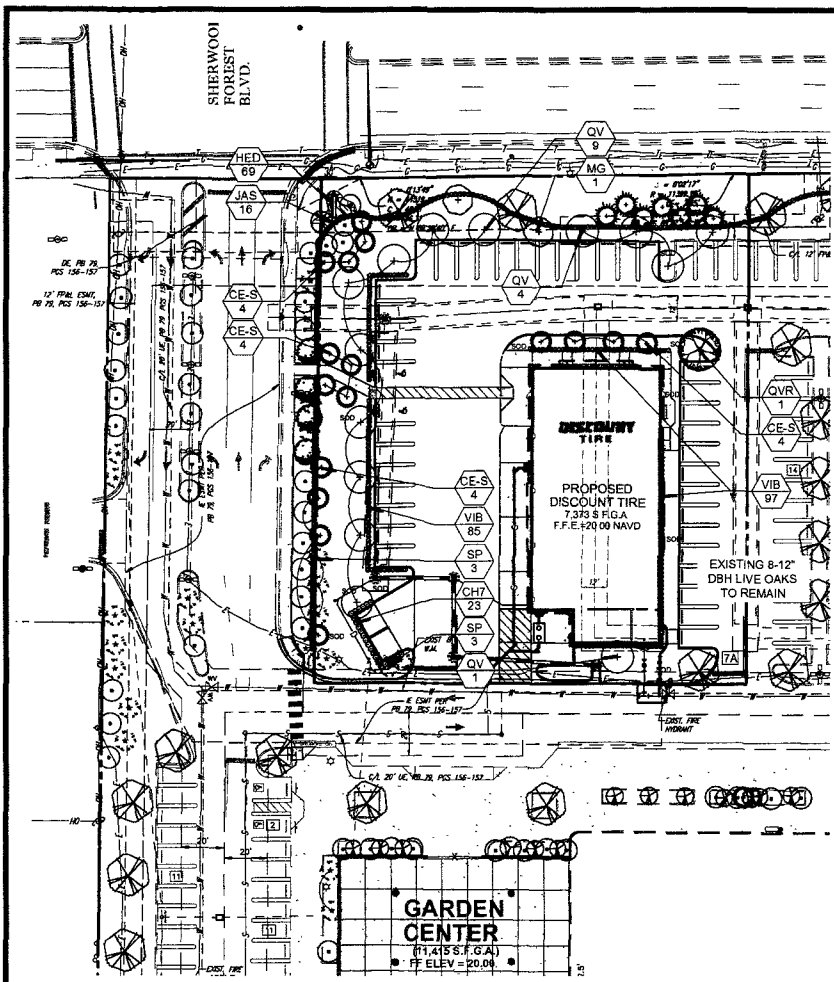
EXISTING TREE DISPOSITION CHART
 TARGET CENTER - Green Acres

TREE NO.	BOTANICAL NAME	COMMON NAME	DBH (ins)	HT (ft)	SPR (ft)	CANOPY %	CONDITION	DISPOSITION	COMMENTS
1A	Quercus virginiana	Live Oak	10	25	30	707	Good	remove	New Construction
2A	Quercus virginiana	Live Oak	4	15	19	79	Good	Retrocote	New Construction
3A	Quercus virginiana	Live Oak	18	25	30	707	Good	remove	New Construction
4A	Quercus virginiana	Live Oak	10	25	30	707	Good	remove	New Construction
5A	Quercus virginiana	Live Oak	10	25	30	707	Good	remove	New Construction
6A	Quercus virginiana	Live Oak	10	25	30	707	Good	remove	New Construction
7A	Quercus virginiana	Live Oak	10	25	30	707	Good	REMAIN	
8A	Quercus virginiana	Live Oak	10	25	30	707	Good	remove	New Construction
1B	Quercus virginiana	Live Oak	10	25	25	491	Fair	remove	New Construction
2B	Quercus virginiana	Live Oak	6	18	12	113	Fair	remove	New Construction
3B	Ligustrum lucidum	Glossy Privet	multi	10	10	79	poor	remove	New Construction
4B	Ligustrum lucidum	Glossy Privet	multi	10	10	79	poor	remove	New Construction
5B	Quercus virginiana	Live Oak	4	15	12	113	Fair	remove	New Construction
6B	Ligustrum lucidum	Glossy Privet	multi	10	10	79	poor	remove	New Construction
7B	Ligustrum lucidum	Glossy Privet	multi	10	10	79	poor	remove	New Construction
8B	Ligustrum lucidum	Glossy Privet	multi	10	10	79	Fair	remove	New Construction
9B	Quercus virginiana	Live Oak	6	20	20	314	Fair	remove	New Construction
10B	Quercus virginiana	Live Oak	6	20	20	314	Fair	REMAIN	

GENERAL NOTES:

- Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
- Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4770 Two Full Business Days prior to digging for underground utility locations.
- Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.





AREA A (DISCOUNT TIRE)

THE USE OF SISAL STRAPPING/ROPE IS REQUIRED TO BE INCORPORATED AROUND THE TREE WHEN WELLINGTON TAPE IS USED TO STABILIZE THE PLANTING.

POLES AND TIES ARE TO BE REMOVED PRIOR TO PLANTING. TREES ARE TO BE ABLE TO STAND WITHOUT SUPPORT. THOSE THAT CANNOT STAND UPRIGHT ALONE WILL BE REJECTED.

PLEASE REFER TO SHEET L-1 FOR OVERALL LANDSCAPE RESTORATION PLAN; SHEET L-2 FOR TREE DISPOSITION PLAN, AND; SHEET L-4 FOR LANDSCAPE GENERAL NOTES.

ALL MECHANICAL EQUIPMENT, BACKFLOW PREVENTERS, DUMPSTER ENCLOSURES, A/C UNITS, ETC., SHALL BE SCREENED IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS.

THE USE OF CYPRESS MULCH IS DISCOURAGED AND ALL MULCH IS TO BE KEPT AT A MINIMUM 6" FROM THE BASE OF ALL PLANT MATERIALS.

PLANT SCHEDULE DISCOUNT TIRE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CA/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
CE-S	10	Silver Button Wood	Conocarpus erectus serotenus	45 gal	2" DBH	12' HI	5'	Yes	High	5' CT
MG	1	Magnolia "Blanchard"	Magnolia grandiflora	B & B	3" DBH	16' HI	8'	Yes	High	6' CT
QV	14	Southern Live Oak	Quercus virginiana	B & B	2" DBH	12' HI	5'	Yes	High	5' CT
QVR	1	Southern Live Oak	Quercus virginiana	B & B	Varies	Varies	Varies	Yes	Medium	TREE 1A
PALM TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CA/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
SP	6	Cabbage Palmetto	Sabal palmetto	B & B		10-14' c.t., staggered		Yes	High	BOOTED
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
CH7	23	Red Tip Coccolup	Chrysobalanus icaco "Red Tip"	NA	30"	42"	30"	Yes	High	full to base
VIB	182	Standara Viburnum	Viburnum suspensum	NA	24"	24"	24"	No	High	Full to base
SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
JAS	16	Downey Jasmine	Jasminum multiflorum	na	24"	24"	18"	No	Medium	Full
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
HED	69	Cucurbitaceae Sunflower	Helenium abailis	na	14"	8-10"	8-10"	Yes	High	

CITY OF GREENACRES, FL - LANDSCAPE CODE REQUIREMENTS

GREENACRES CODE, PART II, CHAPTER 16, ARTICLE VII-LANDSCAPING

Area A (Discount Tire) Requirements

Tree: 12' HI x 2" cal. 5' c.t. 2" dbp
 Shrubs: 24" HI x 24" W x 1-1/2' spacing
 Mulch: 1" Deep
 Total Site Area: 47,500 sq ft (1.11 Acres)
 VUA Area: 20,400 sq ft (0.47 Acres)
 Minimum 2' Spacing Required (1' Spacing Allowed)

REQUIRED	PROVIDED
2,047 TREES	EXCEEDS
21 TREES	21 TREES
4 TREES	4 TREES
7 TREES	7 TREES
36 TREES	36 TREES
3 TREES	3 TREES
TOTALS	4 TREES 34 TREES

PLANT SCHEDULE ZAXBY'S

TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CA/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
CE-S	2	Silver Button Wood	Conocarpus erectus serotenus	45 gal	2" DBH	12' HI	5'	Yes	High	5' CT
LL	3	Glossy Privet	Ligustrum lucidum	25 gal	multi-trunk	8' HI	6'	No	High	3' CT
QV	11	Southern Live Oak	Quercus virginiana	B & B	2" DBH	12' HI	5'	Yes	High	5' CT
PALM TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CA/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
SP	3	Cabbage Palmetto	Sabal palmetto	B & B		10-14' c.t., staggered		Yes	High	BOOTED
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
CH7	28	Red Tip Coccolup	Chrysobalanus icaco "Red Tip"	NA	30"	42"	30"	Yes	High	full to base
DRM	3	Red Edged Dracaena	Dracaena marginata	10 gal	As Shown	5-6' HI	2-3'	No	High	5 canes min
SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
DUR	75	Sky Flower	Durandea repens "Dwarf Golden"	na	24"	16-18"	16-18"	Yes	High	Full
JAS	47	Downey Jasmine	Jasminum multiflorum	na	24"	24"	18"	No	Medium	Full
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
HED	149	Cucurbitaceae Sunflower	Helenium abailis	na	14"	8-10"	8-10"	Yes	High	

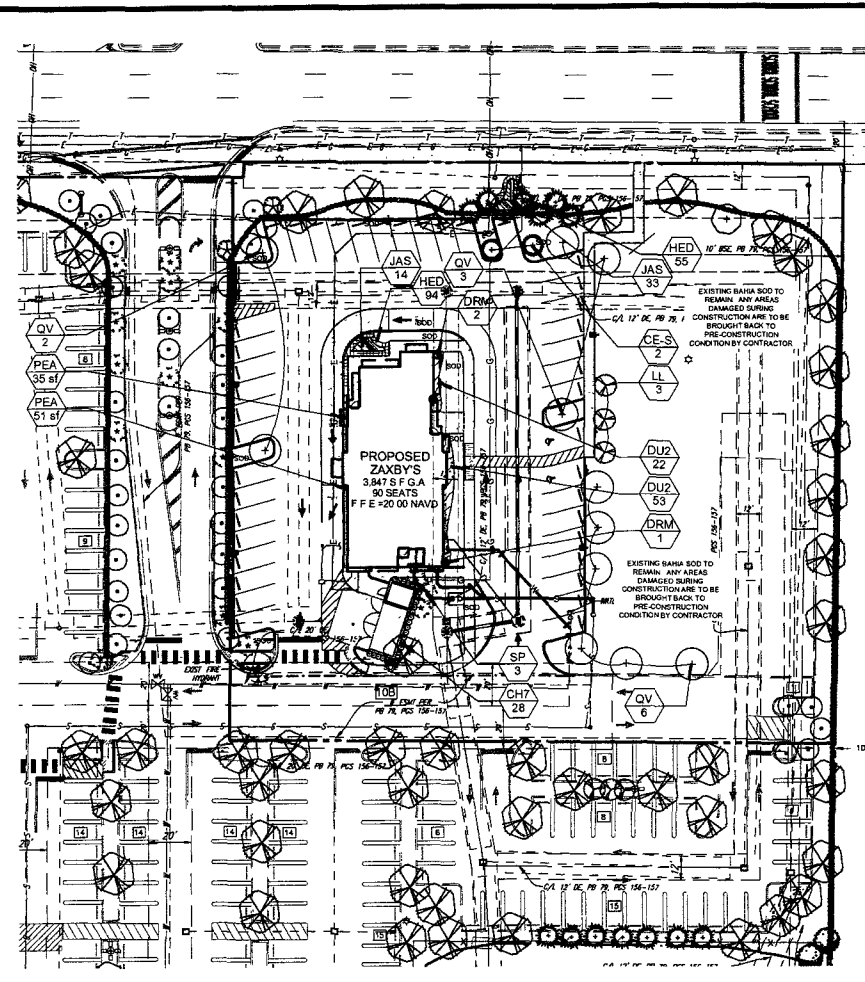
CITY OF GREENACRES, FL - LANDSCAPE CODE REQUIREMENTS

GREENACRES CODE, PART II, CHAPTER 16, ARTICLE VII-LANDSCAPING

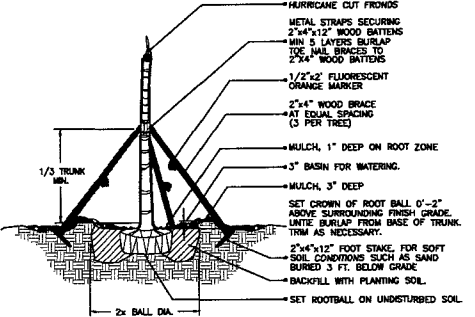
Area B (Zaxby's) Requirements

Tree: 12' HI x 2" cal. 5' c.t. 2" dbp
 Shrubs: 24" HI x 24" W x 1-1/2' spacing
 Mulch: 1" Deep
 Total Site Area: 11,100 sq ft (0.25 Acres)
 VUA Area: 35,970 sq ft (0.82 Acres)
 Minimum 2' Spacing Required (1' Spacing Allowed)

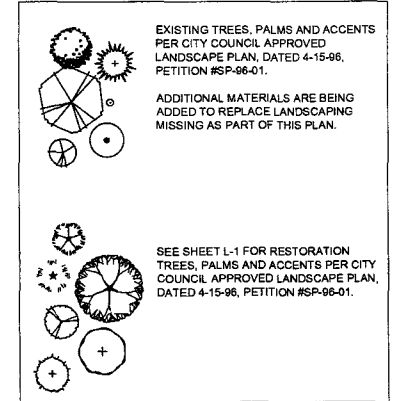
REQUIRED	PROVIDED
3,535 TREES	EXCEEDS
34 TREES	34 TREES
4 TREES	4 TREES
42 TREES	42 TREES
120 TREES	120 TREES
TOTALS	17 TREES 17 TREES



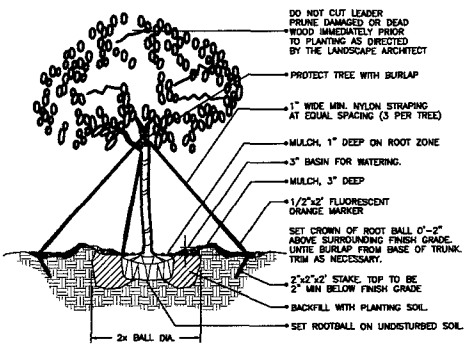
AREA B (ZAXBY'S)



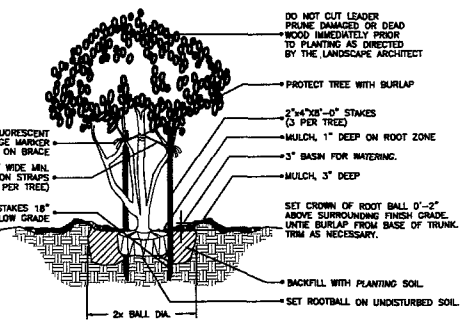
CIGARED SABAL PALM PLANTING DETAIL



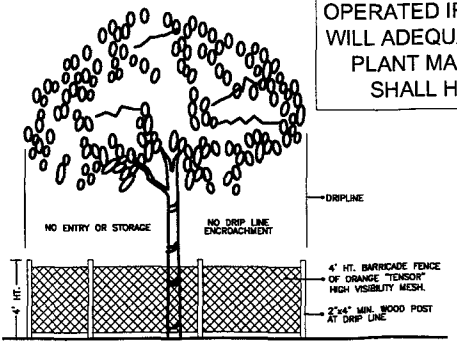
SHRUB PLANTING DETAIL



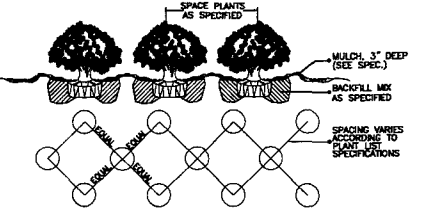
(2' cal. and over) LARGE TREE PLANTING DETAIL



MULTI-TRUNK AND SMALL TREE (2' cal. and under) PLANTING DETAIL



TREE PRESERVATION BARRICADE FENCING DETAIL



SHRUB / GROUND COVER SPACING / PLANTING DETAIL

ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL, SUCH SYSTEM SHALL HAVE A RAIN SENSOR.

THOMAS
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 1000 CORPORATE DRIVE, SUITE 200
 FORT LAUDERDALE, FL 33334
 PHONE: (954) 202-7070
 FAX: (954) 202-7070
 WWW: www.thomasengr.com

REV	DATE	REVISIONS	COMMENT	BY

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
 www.callsunshine.com

PROJECT No: FJ160021
 DRAWN BY: CAD
 CHECKED BY: ROT
 DATE: 11/15/2016
 CAD I.D.: FJ160021-PARCEL LANDSCAPE

TARGET GREENACRES
 FOR
TARGET CORPORATION

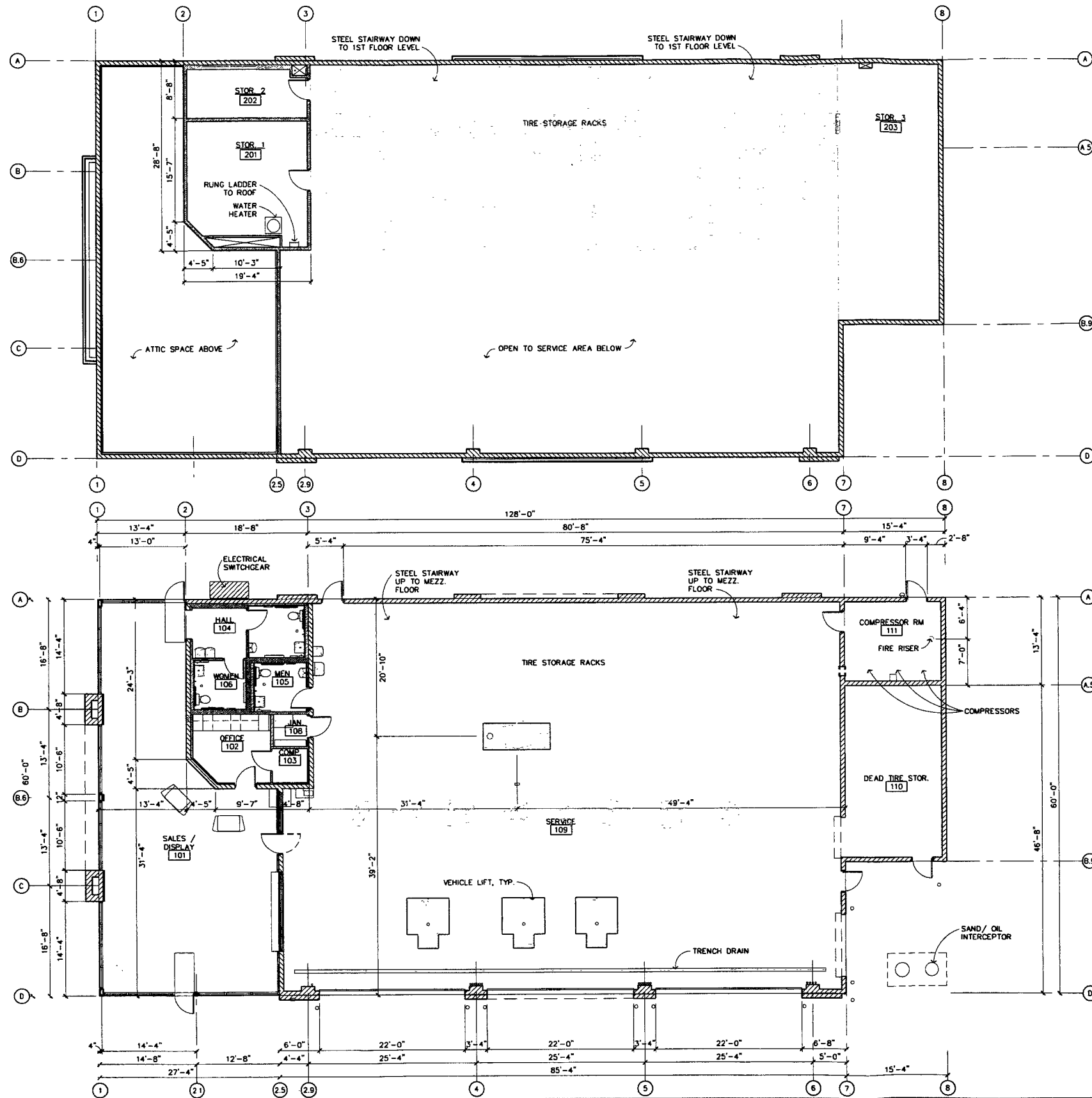
CITY OF GREENACRES
 PALM BEACH COUNTY, FLORIDA

THOMAS
 RADICE III
 1000 CORPORATE DRIVE, SUITE 250
 FORT LAUDERDALE, FL 33334
 PHONE: (954) 202-7070
 FAX: (954) 202-7070
 WWW: www.thomasengr.com

MICHAEL D. GROSSWIRTH
 REGISTERED LANDSCAPE ARCHITECT
 February 22, 2017
 FLORIDA LICENSE NO. 0660871
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

SHEET TITLE
OUTPARCELS LANDSCAPE PLAN
 SHEET NUMBER
L-3

Printed on Wednesday, February 22, 2017, 4:31 PM by Angeline Rosenthal



Building Area Breakdown	
GROUND FLOOR AREA	
M OCCUPANCY	
SALES / DISPLAY	1,173.14 S.F.
OFFICE	115.30 S.F.
COMPUTER	27.71 S.F.
HALL	62.88 S.F.
MEN	65.86 S.F.
WOMEN	57.80 S.F.
EMPLOYEE	57.81 S.F.
JANITOR ROOM	26.43 S.F.
S-1 OCCUPANCY	
SERVICE	4791.01 S.F.
RECYCLE TIRE	381.33 S.F.
COMPRESSOR ROOM	176 S.F.
6,835.97 S.F. (NET AREA / USABLE)	
TOTAL GROUND FLOOR AREA 7,418 S.F. (BLDG FOOTPRINT)	
MEZZANINE LEVEL AREA	
S-1 OCCUPANCY	
STORAGE #1	320.14 S.F.
STORAGE #2	131.32 S.F.
STORAGE #3	502.89 S.F.
WALKING GRATE	1100.40 S.F.
2,243.75 S.F. (NET AREA / USABLE)	



CONCEPTUAL MEZZ. FLOOR PLAN

SCALE: 1/8" = 1'-0"

RECEIVED by
CITY OF GREENACRES

DEC 13 2016

PLANNING & ENGINEERING



CONCEPTUAL 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"

ALT - 2L

REV:
DATE: 12.12.16
JOB # A.1611019



THIS PLAN IS PROPERTY OF PLUMP GROUP ARCHITECTURE & ENGINEERING. THIS DRAWING IS LOANED WITHOUT OTHER CONSIDERATION THAN THE AGREEMENT AND CONDITION THAT IT IS NOT TO BE REPRODUCED, COPIED, OR OTHERWISE DISPOSED OF, DIRECTLY OR INDIRECTLY, AND IS NOT TO BE USED IN WHOLE OR IN PART TO ASSIST IN MAKING OR TO FURNISH ANY INFORMATION FOR THE MAKING OF DRAWINGS, PRINTS, APPARATUS OR PARTS THEREOF. THE ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITIONS.

CONCEPTUAL FLOOR PLANS

Outparcel 1 / Target Development
5900 Lake Worth Rd
GREENACRES, FL 33463

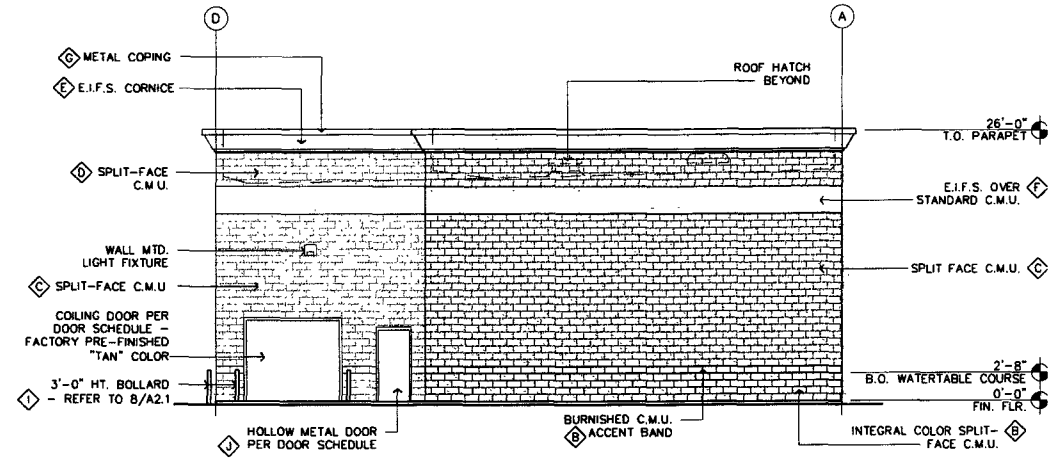
PLUMPGROUP.COM
ARCHITECTURE & ENGINEERING
914 E. KATELLA AVENUE, ANAHEIM, CA 92805
P (714) 385-1835 F (714) 385-1834
www.plumpgroup.com

Sheet No.

A.1

12/13/16

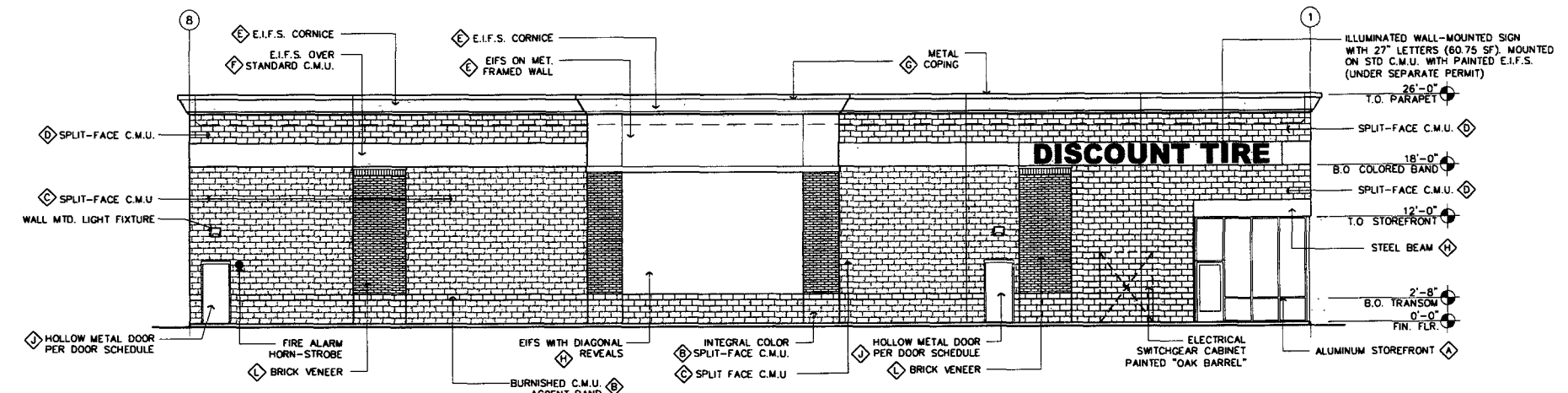
FINISH LEGEND	
◇	ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
◇	INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) COLOR TO MATCH "OAK BARREL"
◇	GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS #7714 "OAK BARREL"
◇	GRAY SPLIT-FACE CMU - PAINT SHERWIN WILLIAMS "ANTIQUE WHITE"
◇	PAINT - SHERWIN WILLIAMS #6119 "ANTIQUE WHITE"
◇	E.I.F.S. BAND PAINT SHERWIN WILLIAMS SW#7585 "SUNDRIED TOMATO"
◇	METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH BERRIDGE "SIERRA TAN" COLOR
◇	EXPOSED STEEL / EIFS - PAINTED TO MATCH "OAK BARREL"
◇	STEEL BOLLARDS - PAINTED TO MATCH "OAK BARREL"
◇	HOLLOW METAL DOORS - PAINTED TO MATCH "OAK BARREL"
◇	ELECTRICAL SWITCHGEAR CABINET - PAINTED TO MATCH "OAK BARREL"
◇	BRICK MASONRY UNIT (STRUCTURAL/FACE BRICK) - QUIK-BRIK 4" HIGH UNITS, COLOR: "SANDALWOOD" WITH STD. GRAY GROUT



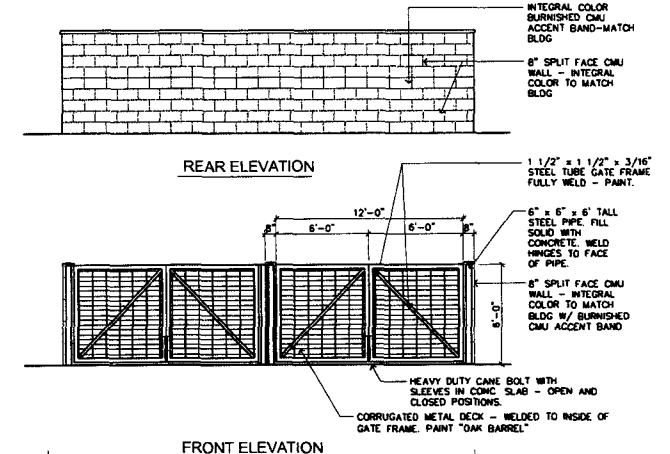
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



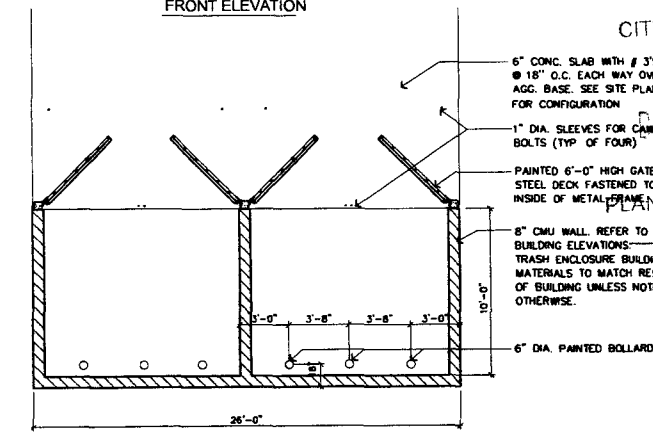
NORTH ELEVATION (Lake Worth Rd)
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

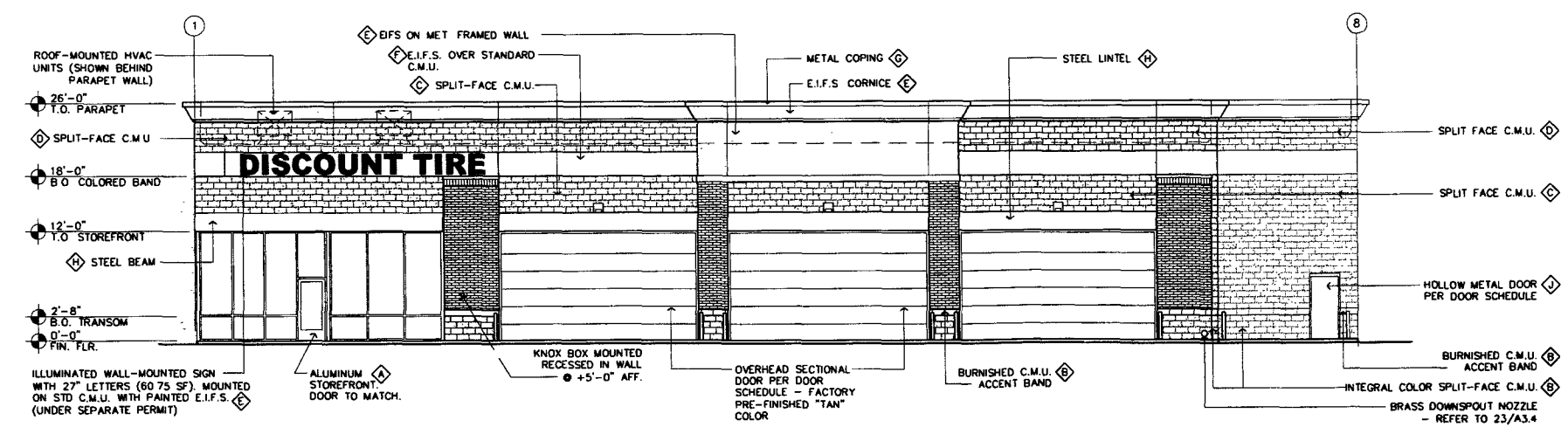


REAR ELEVATION



FRONT ELEVATION

TRASH ENCLOSURE PLAN / ELEVATIONS
SCALE: 1/8" = 1'-0"



WEST ELEVATION (Sherwood Forest Blvd)
SCALE: 1/8" = 1'-0"

RECEIVED by
CITY OF GREENACRES
JAN 13 2016
PLANNING & ENGINEERING
REV: DATE: 12.12.16 JOB # A.1611019

ALT - 2L



THIS PLAN IS PROPERTY OF PLUMP GROUP ARCHITECTURE & ENGINEERING. THIS DRAWING IS LOANED WITHOUT OTHER CONSIDERATION THAN THE AGREEMENT AND CONDITION THAT IT IS NOT BE REPRODUCED, COPIED, OR OTHERWISE DISPOSED OF, DIRECTLY OR INDIRECTLY, AND IS NOT TO BE USED IN WHOLE OR IN PART TO ASSIST IN MAKING OR TO FURNISH ANY INFORMATION FOR THE MAKING OF DRAWINGS, PRINTS, APPARATUS OR PARTS THEREOF. THE ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITIONS.

CONCEPTUAL ELEVATIONS
Outparcel 1 / Target Development
5900 Lake Worth Rd
GREENACRES, FL 33463

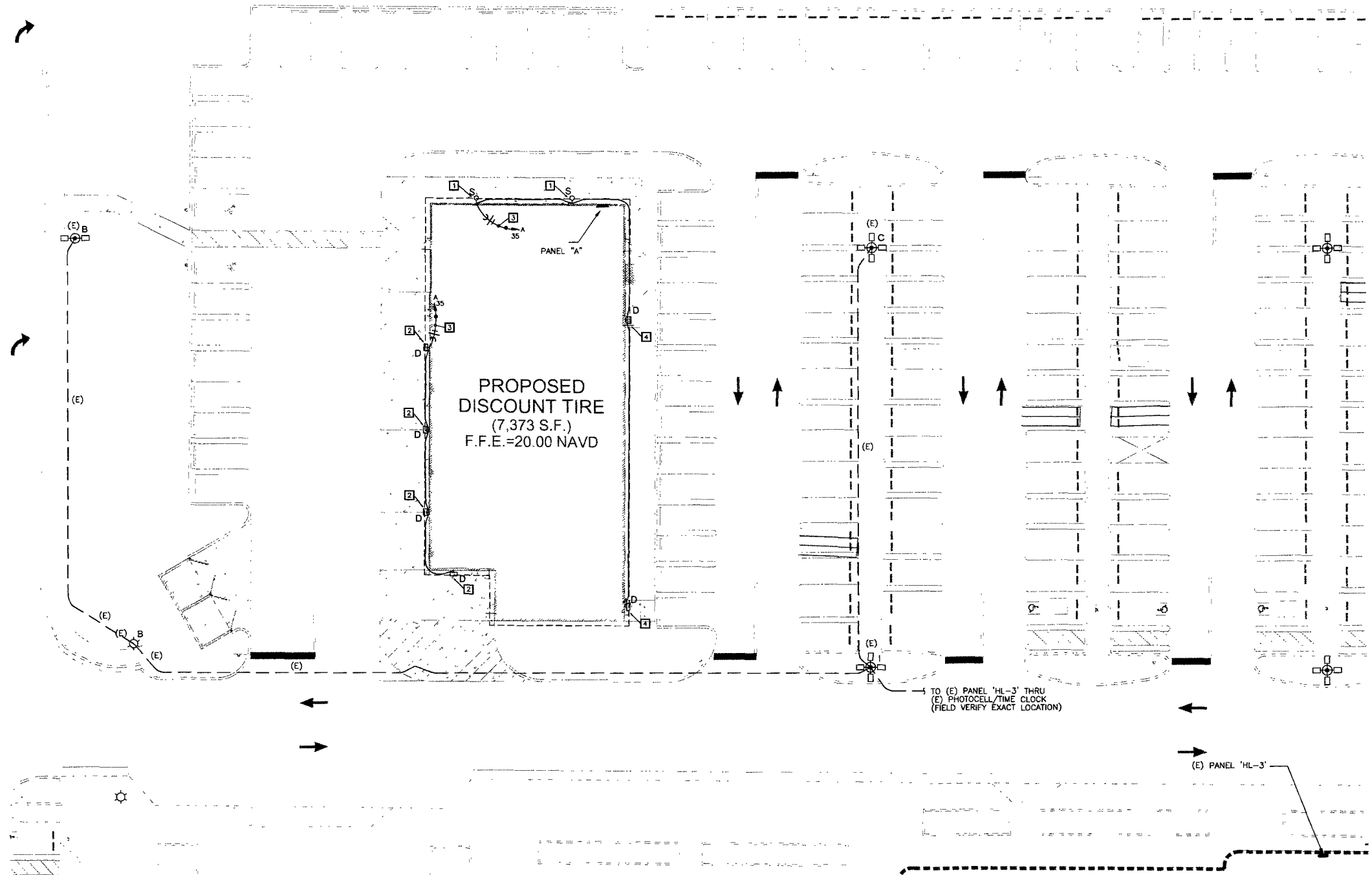
PLUMPGROUP
ARCHITECTURE & ENGINEERING
914 E. KATELLA AVENUE, ANAHEIM, CA 92805
P (714) 385-1835 F (714) 385-1834
www.plumpgroup.com

Sheet No.
A.2

12-12-16

LAKE WORTH ROAD

- SITE PLAN ELECTRICAL NOTES**
- 1 CENTER OF FIXTURE @ +10'-0" A.F.F. OR AS REQUIRED BY EXTERIOR ARCHITECTURE. SEE EXTERIOR LIGHT FIXTURE SCHEDULE, SHEET E3.1 FOR FIXTURE INFORMATION.
 - 2 CENTER OF FIXTURE @ +14'-6" A.F.F. OR AS REQUIRED BY EXTERIOR ARCHITECTURE. SEE LIGHT FIXTURE SCHEDULE, SHEET ES1.0 FOR FIXTURE INFORMATION.
 - 3 ROUTE HOMERUN CIRCUITS THROUGH CONTACTOR TIME CLOCK AND PHOTOCELL. REFER TO DISCOUNT TIRE ELECTRICAL PLAN FOR WIRING & DETAILS.
 - 4 CENTER OF FIXTURE @ +10'-6" A.F.F. OR AS REQUIRED BY EXTERIOR ARCHITECTURE. SEE LIGHT FIXTURE SCHEDULE, SHEET ES1.0 FOR FIXTURE INFORMATION.



ELECTRICAL SITE PLAN
SCALE: 1/16"=1'-0"
NORTH

RECEIVED by
CITY OF GREENACRES

DEC 13 2016

PLANNING & ENGINEERING

REV:
DATE: 12.12.16
JOB # A.161109

ALT - 2L



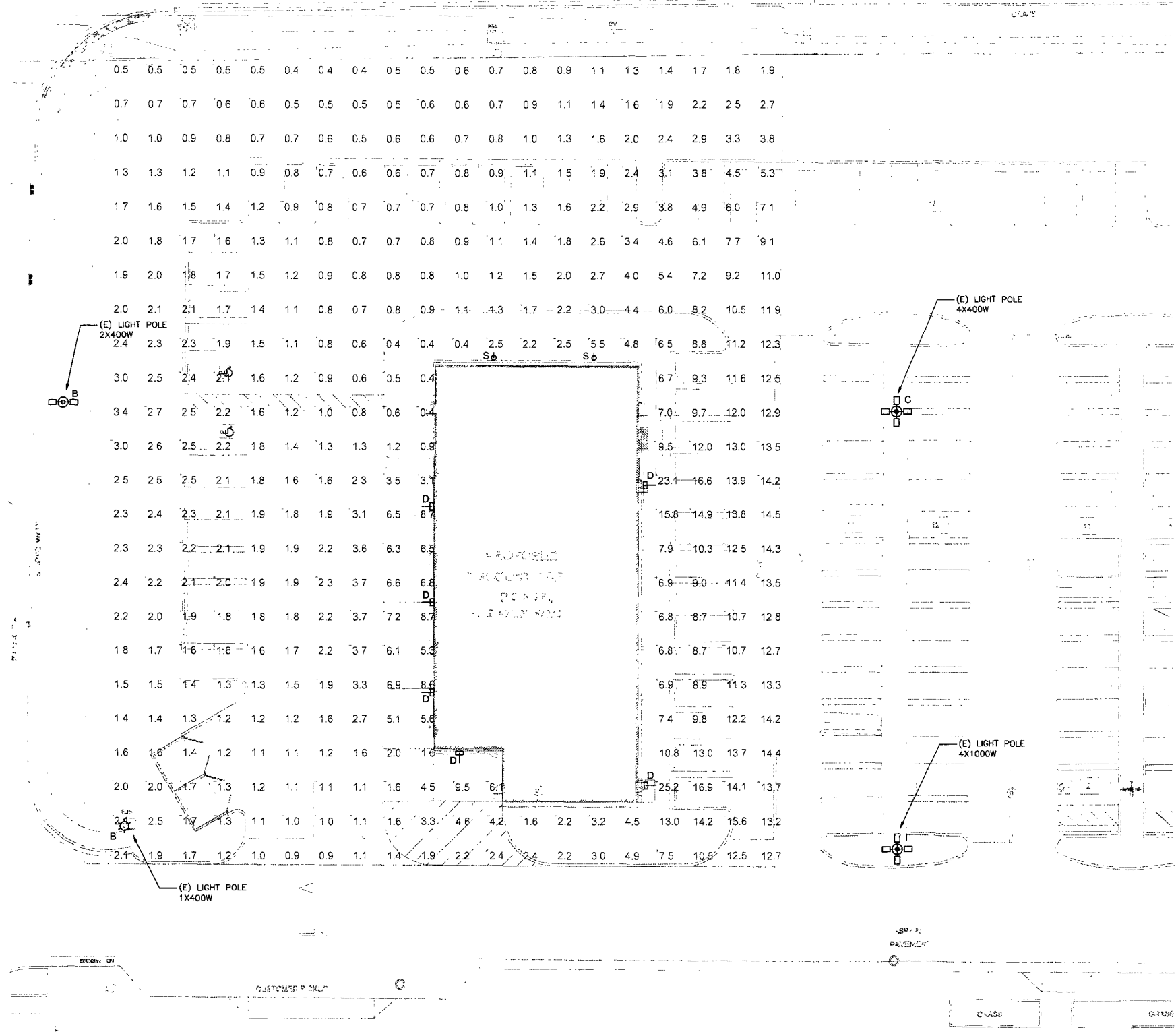
THIS PLAN IS PROPERTY OF PLUMP GROUP ARCHITECTURE & ENGINEERING. THIS DRAWING IS LOANED WITHOUT OTHER CONSIDERATION THAN THE AGREEMENT AND CONDITION THAT IT IS NOT TO BE REPRODUCED, COPIED, OR OTHERWISE DISPOSED OF DIRECTLY OR INDIRECTLY, AND IS NOT TO BE USED IN WHOLE OR IN PART TO ASSIST IN MAKING OR TO FURNISH ANY INFORMATION FOR THE MAKING OF DRAWINGS, PRINTS, APPARATUS OR PARTS THEREOF. THE ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITIONS.

Outparcel 1 / Target Development
5900 Lake Worth Rd
GREENACRES, FL 33463

PLUMPGROUP .COM
ARCHITECTURE & ENGINEERING
a division of Plump Engineering, Inc.
914 E. KATELLA AVENUE, ANAHEIM, CA 92805
P (714) 385-1835 F (714) 385-1834
www.plumpgroup.com

Sheet No.
ES1.0

LAKE WORTH ROAD



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Footcandle	Lumens Per Lamp	Light Loss Factor	Wattage
	I	4	Existing	Existing	SQUARE AREA LIGHT SYMMETRIC DISTRIBUTION @35' HEIGHT	MH1000B737 1000-WATT	1		431,200	0.7	4,000
	B	2	Existing	Existing	SQUARE AREA LIGHT SYMMETRIC DISTRIBUTION @35' HEIGHT	MS400 400-WATT	1		80,000	0.7	800
	C	4	Existing	Existing	SQUARE AREA LIGHT SYMMETRIC DISTRIBUTION @35' HEIGHT	MS400 400-WATT	1		160,000	0.7	1,600
	D	4	COOPER LIGHTING - LUMARK	XTORA-N	LUMARK CROSSTOUR MAXX LED 80W - 3500K FULL CUT-OFF		1	XTORA-N 100	5455 800	1	83.8
	S	2	Hudson Lighting, Inc. Chesapeake VA 24075-2500	B716-S-70MH	DEVINE ROUND B700 SERIES ARCHITECTURAL ROUND PENDENT HD DOWNLIGHT	70 WATT COATED METAL HALIDE MEDIUM BASE	1	B716-S-70MH 100	5800	1	92

Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc Zone #1	+	3.7 fc	25.2 fc	0.4 fc	63.0	9.3	0.1

B700 SERIES CYLINDERS

DEVINE LIGHTING

ORDERING INFORMATION

EXAMPLE: B712-4-70MH - 120 - 800 - B

Series	Height	Wattage	Color
B712-4-70MH	120"	70W	800K
B712-4-100MH	120"	100W	800K
B712-4-150MH	120"	150W	800K
B712-4-200MH	120"	200W	800K
B712-4-250MH	120"	250W	800K
B712-4-300MH	120"	300W	800K
B712-4-350MH	120"	350W	800K
B712-4-400MH	120"	400W	800K
B712-4-450MH	120"	450W	800K
B712-4-500MH	120"	500W	800K
B712-4-550MH	120"	550W	800K
B712-4-600MH	120"	600W	800K
B712-4-650MH	120"	650W	800K
B712-4-700MH	120"	700W	800K
B712-4-750MH	120"	750W	800K
B712-4-800MH	120"	800W	800K
B712-4-850MH	120"	850W	800K
B712-4-900MH	120"	900W	800K
B712-4-950MH	120"	950W	800K
B712-4-1000MH	120"	1000W	800K

LUMARK

XTORA-N

D

XTOR CROSSTOUR LED

Cooper Lighting

RECEIVED BY CITY OF GREENACRES

DEC 13 2016

PLANNING & ENGINEERING

PHOTOMETRIC SITE PLAN
SCALE: 1/16"=1'-0"



ALT - 2L

REV: DATE: 12.12.16
JOB # A.161109

Sheet No.

ES2.0



THIS PLAN IS PROPERTY OF PLUMP GROUP ARCHITECTURE & ENGINEERING. THIS DRAWING IS LOANED WITHOUT OTHER CONSIDERATION THAN THE AGREEMENT AND CONDITION THAT IT IS NOT TO BE REPRODUCED, COPIED, OR OTHERWISE DISPOSED OF, DIRECTLY OR INDIRECTLY, AND IS NOT TO BE USED IN WHOLE OR IN PART TO ASSIST IN MAKING OR TO FURNISH ANY INFORMATION FOR THE MAKING OF DRAWINGS, PRINTS, APPARATUS OR PARTS THEREOF. THE ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITIONS.

Outparcel 1 / Target Development
5900 Lake Worth Rd
GREENACRES, FL 33463

PLUMPGROUP ARCHITECTURE & ENGINEERING
a division of Plump Engineering, Inc.
914 E. KATELLA AVENUE, ANAHEIM, CA 92805
P (714) 385-1835 F (714) 385-1834
www.plumpgroup.com

PROJECT RESPONSIBILITY

ITEM	SUPPLY		INSTALL		REMARKS
	OWNER	GC	OWNER	GC	
SITE / EXTERIOR ITEMS:					
SITE WORK					
SITE TRASH DUMPSTER/COMPACTOR					
BUILDING FOUNDATION					
BUILDING EXTERIOR SHELL					
ROOFING					
EXTERIOR DOORS					
STOREFRONT DOORS AND WINDOWS					
EXTERIOR STUCCO/E.I.F.S					
EXTERIOR MASONRY					
EXTERIOR SIGNAGE - PYLON & DIRECTIONAL SIGNS					SEE CONTRACTOR TO OBTAIN SIGN PERMITS
EXTERIOR SIGNAGE - OVER ENTRANCE					
EXTERIOR MENU BOARD					SEE NOTE #2 BELOW
AWNINGS, INCL. FRAME & BLOCKING					
DMX SYSTEM W/ SPEAKER MENU BOARD					REFER TO OWNER'S SPEC. FOR DETAILS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS. PROVIDE ALL NECESSARY MATERIALS AND LABOR.
UNSTRUCTURE CANOPY & HEIGHT BAR					
LIGHTING ITEMS:					
SITE LIGHTING					
CASCADE LIGHT FIXTURES					E. SAM JONES P. 800-624-7649 OR ADDISON & PARKER P. 770-464-9911
GOOSE-NECK LIGHT FIXTURES					
DROPPED LIGHT FIXTURES					
INTERIOR ITEMS:					
INTERIOR H.V.A.C					
INTERIOR SECURITY/ALARM SYSTEM					(G.C. TO HELP SCHEDULE INSTALL)
INTERIOR SECURITY CAMERA SYSTEM					
INTERIOR DECOR PACKAGE					
INTERIOR DECOR - FLOORING					
INTERIOR DECOR - PAINT					
INTERIOR DECOR - WALL COVERINGS					
INTERIOR DECOR - MISC. (ART WORK)					PROVIDE BY ALTERNATE
INTERIOR WALL PARTITIONS					
INTERIOR WALL TILE					
INTERIOR MENU BOARD					
EQUIPMENT & FIXTURES:					
POINT OF SALE EQUIPMENT					G.C. TO DRILL HOLES COORD. W/ OWNER'S FUTURE SUPPLIER
DINING AREA FURNISHINGS					
CORE DRILLING @ TABLES					
PHONES & RELATED CONNECTIONS					SEE TO PROVIDE CONDUIT ETC. PER ELEC. DRAWINGS
KITCHEN EQUIPMENT (PER LEGEND)					SEE TO PROVIDE CONDUIT ETC. TO CONNECT SERVICES
EXHAUST HOOD & STAINLESS STEEL					SEE TO PROVIDE CONDUIT ETC. TO CONNECT SERVICES
EXHAUST HOOD FIRE SUPPRESSION SYSTEM					SEE TO PROVIDE CONDUIT ETC. TO CONNECT SERVICES
ALL OVER SHELVES IN PREP AREA					
2-COMP. DISPENSERS (CUP HOLDERS)					
KITCHEN SINKS (4 COMP., VEG. & HAND)					SEE NOTE #3 BELOW
MOP SINK					
WATER HEATER					SEE NOTE #3 BELOW
FAUCETS & KNEE PEDALS (4 COMP., VEG. & HAND)					
MOP SINK FAUCETS					
CAN WASH FAUCETS					
ROOF TOP CONDENSER RACK					
SAUCE CRADLES					
CAULKING FIXTURES AS REQ'D					
MISCELLANEOUS ITEMS:					
EMPLOYEE LOCKERS					K.E.S. TO REMOVE LEGS
SOAP & SANITIZER DISPENSERS (PREP & SERVING)					
PAPER TOWEL DISPENSERS (PREP & SERVING)					
FLY FAN					SEE NOTE #4 BELOW
FIRST AID KIT					
STAINLESS STEEL @ CAN WASH					K.E.S. TO CAULK
STAINLESS STEEL CORNER GUARDS					K.E.S. TO CAULK
STAINLESS STEEL PANELS @ MOP SINK					K.E.S. TO CAULK
RESTROOM ITEMS:					
TOILET FIXTURES AND ACCESSORIES					
BABY CHANGING STATION					
PAPER TOWEL DISPENSERS					
HAND DRYER					
SOAP / SANITIZER DISPENSERS					
TOILET PAPER DISPENSER					
GRAB BARS					
RECESSED TRASH RECEPTACLES					
MILLWORK:					
OFFICE DESK & SHELVING					SUPP. WILL SET, LEVEL & SECURE MILLWORK.
SERVING & CONDIMENT COUNTER & SUPPORTS					G.C. TO ROUTE & CONNECT SERVICES
REAR SERVING CABINET & DRIVE-THRU INFILL					G.C. TO COORD.
PASS-THRU COUNTERTOPS					MILLWORK TO SEAL SURROUNDING SURFACES.
PARTITIONS & RELATED HARDWARE IN RESTROOM					
VANITY TOPS & CAP IN RESTROOM					
APPROVED PRODUCTS LIST					
PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	STATE OF FLORIDA APPROVAL NUMBER	COMMENTS	
EXTERIOR DOORS	SWINGING	SCHLAGE	FL 12400.2-R4		
METAL ROOFING	NONSTRUCTURAL METAL ROOFING	BERRIDGE	NOA 11-0818.06 CRRC-0870-0001		
MEMBRANE ROOFING	SINGLE PLY	DURO-LAST	NOA 14-0617.05		
STOREFRONT DOORS	STOREFRONT WINDOWS	KAWNEER	NOA 11-0915.06	PROVIDE ENGINEERED SHOP DRAWINGS WHERE WIND LOADS ARE OVER THE TESTED LIMITS	
STOREFRONT DOORS	DOORS	KAWNEER	NOA 11-1013.03	PROVIDE ENGINEERED SHOP DRAWINGS WHERE WIND LOADS ARE OVER THE TESTED LIMITS	
HURRICANE CONNECTOR	HOLD DOWNS	SIMPSON	FL10456.29	WHERE REQUIRED BY CODE	
HURRICANE CONNECTOR	HOLD DOWNS	SIMPSON	FL10446-R2	WHERE REQUIRED BY CODE	
HURRICANE CONNECTOR	HOLD DOWNS	SIMPSON	FL11473-R2	WHERE REQUIRED BY CODE	



GREENACRES, FL
DESIGN PROPOSAL ONLY
ZAXBY'S - 90 MODEL

Applicable Codes

BUILDING: 2014 FLORIDA BUILDING CODE, 5TH EDITION
 MECHANICAL: 2014 FLORIDA MECHANICAL CODE, 5TH EDITION
 PLUMBING: 2014 FLORIDA PLUMBING CODE, 5TH EDITION
 ELECTRICAL: 2011 NATIONAL ELECTRIC CODE
 FIRE: 2014 FLORIDA FIRE PREVENTION CODE, 5TH EDITION
 ENERGY: 2014 FLORIDA ENERGY CONSERVATION CODE, 5TH EDITION

Building Design

Square Footage: 3,847 sq. ft. FBC 303.1
 Occupancy Classification: Assembly A-2 FBC Table 503
 Construction: Type: 5-B
 Required Max: 6,000 sq. ft.
 Provided: 3,847 sq. ft.

Fire Ratings

Type: 5-B FBC Table 601
 Structural Frame: 0 hrs
 Interior Walls: 0 hrs
 Bearing Walls (Ext & Int): 0 hrs
 Non Bearing Wall & Partitions: 0 hrs
 Floor Construction: 0 hrs
 Roof Construction: 0 hrs

Means of Egress

FBC 1004.1.1
 Occupant Load:
 Kitchen: 1281 sf @ 1:200 sf net = 90
 Office: = 6
 Standing Room: 50sf @ 1:5 sf net = 10

Total Occupancy = 107 people

Number of Exits: FBC Table 1019.1
 1 - 500 2 Exits

Egress Width: FBC Table 1005.1
 2 x 107 = 21.4' Required
 2 (Exits) x 35' = 70' Provided

Travel Distance FBC 1016.1
 250' Sprinkled max

Sprinkler Requirements FBC 903.2.1.2
 Required
 Required Min - 100 occupants
 Provided - 107 occupants

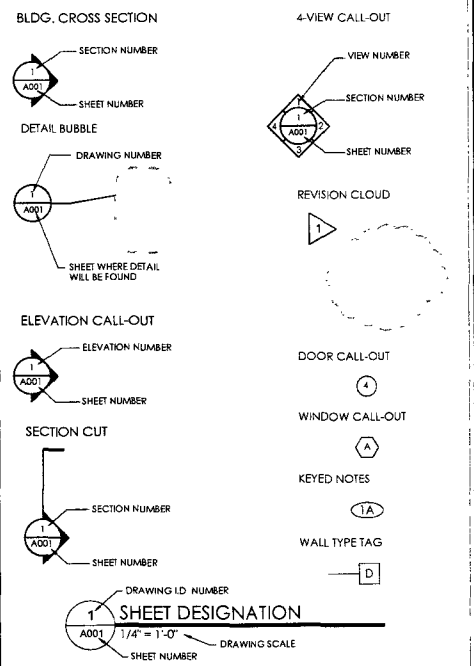
Bathrooms

(Table 2902.1)
 Male: WC 1 required 1 provided (1 Urinal)
 Male: Lav 1 required 3 provided
 Male: Urinals (50% substitution) 0 required 1 provided
 Female: WC 1 required 2 provided
 Female: Lav 1 required 3 provided
 Drinking Fountain: 1 required At Beverage Fountain & Employee Attended
 Service Sink: 1 required 2 provided

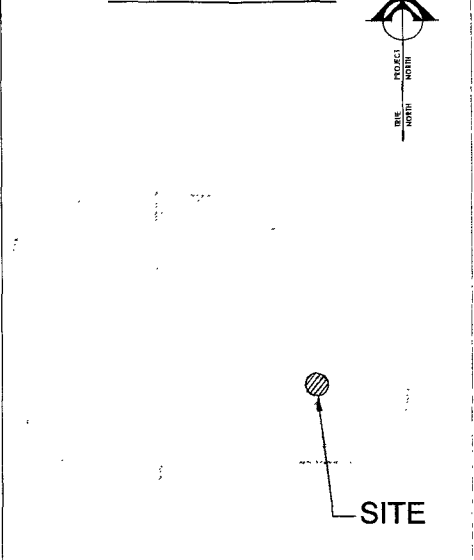
NOTES

- G.C. TO INCLUDE RESPONSIBILITIES IN THEIR BID. G.C. PROJECT RESPONSIBILITIES TO BE VERIFIED AND FINALIZED WITH OWNER AT PRE-CONSTRUCTION MEETING. SUPP. INCLUDES EQUIPMENT SUPPLIER
- G.C. TO PROVIDE CONDUIT, ETC. PER ELECTRICAL & SITE DRAWINGS. ALSO CHECK THE CONDITION OF THE MENU BOARD AND ENSURE THEY ARE NOT DAMAGED. K.E.S. WILL ASSEMBLE MENU BOARD AND STORE IN DUMPSTER ENCLOSURE
- G.C. TO SCHEDULE DELIVERY WITH PLUMBER ON SITE. K.E.S. TO MOUNT SINKS AFTER FAUCETS ARE INSTALLED. K.E.S. TO CAULK ALL SINKS.
- K.E.S. TO SUPPLY AND MOUNT THE FLY FAN. THE G.C. WILL HANDLE THE CONTROLLER AND FINAL CONNECTIONS

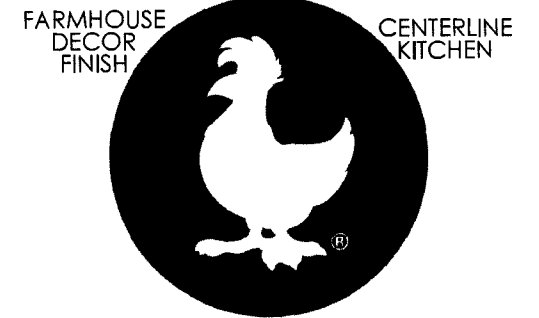
SYMBOL LEGEND



LOCATION MAP



ZAXBY'S



90 MODEL

FIRE DEPT. NOTES

- CONTACT THE CITY OF GREENACRES FIRE MARSHAL AT THE FIRE MARSHAL'S OFFICE (INSPECTION REQUEST LINE) AT (561) 642-2146 FOR FIRE RATED BARRIERS, FLOOR OR CEILING. (FINAL INSPECTION: ALL SYSTEMS, EQUIPMENT INSTALLED AND OPERATING, READY FOR OCCUPANCY). THE INSPECTION REQUEST MUST BE PHONED IN THE DAY PRIOR TO THE DATE THE INSPECTION IS NEEDED.
- OCCUPANCY CLASSIFICATION: A-2 TYPE OF CONSTRUCTION: 5-B SPRINKLED: YES FIRE ALARM: 1-HOUR PROTECTED BUILDING AREA IN SQUARE FEET: 3847 NUMBER OF STORES: 1 MEZZANINE: N/A CALCULATED LOAD FOR OCCUPANCY: 107
- FIRE ALARM NOT REQUIRED BECAUSE LESS THAN 300 OCCUPANTS.
- (DOORS) GENERAL SHALL MEET THE REQUIREMENTS OF THE NFPA 101 LIFE SAFETY CODE, CHAPTER 7 SEC. 7.2.1, 2006 EDITION. FIRE DOOR ASSEMBLIES SHALL CONFORM TO NFPA 80
- FIRE EXTINGUISHERS:** PROVIDE PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY IBC SECTION 906 IN ACCORDANCE W/ IFC 2006. THE SIZE SHALL BE A MINIMUM OF 2-20, 10B-C. SEE A100 AND 2 CLASS K 1.5 GAL. ROLL PORTABLE FIRE EXTINGUISHERS SEE A100 ARE REQUIRED AND SHALL BE INSTALLED AT A MAX. OF 48" ABOVE THE FINISHED FLOOR TO THE TOP OF THE HANDLE. TRAVEL DISTANCE TO A FIRE EXTINGUISHER SHALL NOT EXCEED 75' FOR CLASS A, C & D FIRES. FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. PREFERABLY THEY SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AREA. ALL WORK AND INSPECTIONS OF PORTABLE FIRE EXTINGUISHERS SHALL BE PERFORMED BY A STATE CERTIFIED AGENT
- THE STREET NUMBER/BUILDING NUMBER MUST BE VISIBLE FROM THE STREET THAT PROVIDES DRIVEWAY ACCESS TO THE PROPERTY AND PLACED ON A CONTRASTING BACKGROUND THAT PROVIDES 24 HOUR VISIBILITY. THE STREET NUMBER MUST ALSO MEET ONE OF THE FOLLOWING SIGN REQUIREMENTS: (1) IF THE STREET NUMBER OR PLACED WITHIN 15 FEET OR LESS OF THE CURB OR EDGE OF PAVEMENT OF THE STREET, THE STREET NUMBER SHALL BE POSTED IN FIGURES AT LEAST 4 INCHES IN HEIGHT. (2) IF THE STREET NUMBER IS PLACED MORE THAN 15 FEET FROM THE CURB OR EDGE OF PAVEMENT OF THE STREET, THE STREET NUMBER SHALL BE POSTED IN FIGURES AT LEAST 6 INCHES IN HEIGHT. INTERNATIONAL FIRE CODE, CHAPTER 5, SECTION 505.1, 2000 EDITION.

ACCESSIBILITY NOTES

- (SIGNAGE FOR RESTROOMS) SHALL BE RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL SIGNS. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS. SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHTS SHALL BE 60 INCHES ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN
- EVERY INTERIOR AND EXTERIOR DOOR IN THE BUILDING SHALL BE PROVIDED WITH HANDICAP HARDWARE (LEVERS, PANIC HARDWARE, OR U-SHAPE DESIGNED DEVICES, ETC.) ADA 4.1.3.9
- DOOR HARDWARE, HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT FINGERING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED OR PUSH-TYPE MECHANISMS AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. MAXIMUM MOUNTING HEIGHT IS 48" AFF. EXIT DOORS SHALL NOT BE SUBJECT TO THE USE OF A KEY OR REQUIRE SPECIAL KNOWLEDGE TO OPERATE PER NFPA 101 LIFE SAFETY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS, AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER.
- DO NOT SCALE ANY DRAWINGS. USE WRITTEN DIMENSIONS ONLY. ANY DISCREPANCIES, CONFLICTS, OMISSIONS OR ERRORS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION. DEVIATION FROM THE CONSTRUCTION DOCUMENTS WILL REQUIRE WRITTEN APPROVAL OF THE ARCHITECT / OWNER.
- THE ARCHITECT DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT IN ANY RESPECT OTHER THAN THAT THE ARCHITECTURAL WORK AND JUDGMENT RENDERED MEET THE STANDARDS OF CARE OF THE ARCHITECTURAL PROFESSION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.
- A SIGN CLEARLY STATING THAT SMOKING IS PROHIBITED SHALL BE CONSPICUOUSLY POSTED BY THE BUILDING OWNER, AGENT, OPERATOR, PERSON IN CHARGE OR PROPRIETOR AT EACH ENTRANCE OR IN A POSITION CLEARLY VISIBLE UPON ENTRY INTO THE BUILDING IN ACCORDANCE WITH LOCAL CODES. ACCEPTABLE SIGNS SHALL DISPLAY EITHER "NO SMOKING" OR THE INTERNATIONAL "NO SMOKING" SYMBOL (CONSISTING OF A PICTORIAL REPRESENTATION OF A BURNING CIGARETTE ENCLOSED IN A RED CIRCLE WITH A RED BAR ACROSS IT).

DEVELOPMENT CONTACTS

ZAXBY'S FRANCHISING
 SEBASTINE ELENDU
 ACRES II, LLC
 2123 BEAVER CREEK LANE
 SOUTH LAKE, TX 74092
 646.232.6626
 OBAZINC@YAHOO.COM

ARCHITECT
 JEFFREY HILL
 HILL FOLEY ROSSI & ASSOCIATES
 3680 PLEASANT HILL ROAD
 SUITE 200
 DULUTH, GEORGIA 30096
 770.622.9858

CIVIL ENGINEER
 ANGELINA M. ROSENBERG, PE
 THOMAS ENGINEERING GROUP
 1000 CORPORATE DRIVE
 SUITE 250
 FORT LAUDERDALE, FL 33334
 954.202.7000

STRUCTURAL ENGINEER
 PATRICK FOLEY, PE
 HILL FOLEY ROSSI & ASSOCIATES
 3680 PLEASANT HILL ROAD
 SUITE 200
 DULUTH, GEORGIA 30096
 770.622.9858

MECH - PLUMB - ELEC ENGINEERS
 J. PAUL KENNEY, PE
 BRIAN ARMENTA, PE
 PROFICIENT ENGINEERING
 6991 PEACHTREE INDUSTRIAL BOULEVARD
 BUILDING 700
 PEACHTREE CORNERS, GA 30092
 404.330.9798

SHEET INDEX

DRWG. NO.	TITLE	REVISION DATE
A000	COVER SHEET	
GENERAL DRAWINGS		
A100	FLOOR PLAN	
A100.1	SIDEWALK PLAN	
A101	FLOOR FINISH PLAN	
A102	WALL LAYOUT PLAN	
A103	REFLECTED CEILING PLAN	
A104	ROOF PLAN	
A104.1	ROOF DETAILS	
A105	FRONT & REAR EXTERIOR ELEVATIONS	
A106	DRIVE-THRU & RIGHT EXTERIOR ELEVATIONS	
A107	THRU-BUILDING SECTIONS & DTLS	
A108	WALL SECTIONS	
A109	WALL SECTIONS	
A110	WALL SECTIONS	
A111	WALL SECTIONS & DETAILS	
A112	RESTROOMS PLAN, ELEVATIONS & DTLS	
A113	INTERIOR ELEVATIONS	
A114	INTERIOR ELEVATIONS	
A115	DOOR SCHEDULE & DETAILS	
A116	INTERIOR DETAILS	
A117	WINDOW DETAILS	
A118	DUMPSTER ENCLOSURE DETAILS	
A118.1	DUMPSTER ENCLOSURE DETAILS	
A118.2	SIGNAGE DETAILS	
A119	SECTIONS & DETAILS	
A120	SECTIONS & DETAILS	
A121	WALL TYPES	
A122	WALL TYPES	
A122.1	WALL TYPES	
A123	SPECIFICATIONS	
A124	SPECIFICATIONS	
A125	SPECIFICATIONS	
A126	SPECIFICATIONS	
EQUIPMENT DRAWINGS		
Q100	EQUIPMENT LAYOUT PLAN	
Q101	WALK-IN PLAN AND DETAILS	
Q200	EQUIPMENT SCHEDULE & GEN. NOTES	
STRUCTURAL DRAWINGS		
S001	GENERAL STRUCTURAL NOTES	
S002	SPECIAL INSPECTION NOTES	
S101	FOUNDATION PLAN	
S201	ROOF FRAMING PLAN	
S301	FOUNDATION DETAILS	
S302	FRAMING DETAILS	
S303	FRAMING DETAILS	
S304	FRAMING DETAILS	
S305	FRAMING DETAILS	
MECHANICAL DRAWINGS		
M100	FLOOR PLAN - H.V.A.C	
M200	SCHEDULES - H.V.A.C	
M300	SPECIFICATIONS & DETAILS - H.V.A.C	
M400	KITCHEN HOOD DRAWING	
M401	KITCHEN HOOD DRAWING	
M402	KITCHEN HOOD DRAWING	
M403	KITCHEN HOOD DRAWING	
M404	KITCHEN HOOD DRAWING	
ELECTRICAL DRAWINGS		
E000	SPECS, NOTES, ABBREVS & SYMBOLS	
E001	ONE-LINE AND RISER DIAGRAM	
E002	SCHEDULES	
E003	SCHEDULES	
E004	LIGHTING CONTROL DIAGRAM & DTLS	
E005	LIGHTING CONTROL DIAGRAM & DTLS	
E101	FLOOR PLAN - POWER	
E102	FLOOR PLAN - LIGHTING	
E103	DETAILS	
E200	SITE LIGHTING PLAN	
E201	FIRE ALARM NOTES	
E202	FLOOR PLAN POWER	
PLUMBING DRAWINGS		
P000	GENERAL INFO & SPECS - PLUMBING	
P001	SCHEDULE - PLUMBING	
P100	FLOOR PLAN - WASTE & VENT	
P101	FLOOR PLAN - WATER & GAS	
P102	ROOF PLAN - PLUMBING	
P200	DETAILS - PLUMBING	
P201	DETAILS - PLUMBING	
P300	ISOMETRICS & RISERS - PLUMBING	

CONSULTANT COORDINATION

ZAXBY'S FRANCHISING
 SEBASTINE ELENDU
 ACRES II, LLC
 2123 BEAVER CREEK LANE
 SOUTH LAKE, TX 74092
 646.232.6626
 OBAZINC@YAHOO.COM

ARCHITECT
 JEFFREY HILL
 HILL FOLEY ROSSI & ASSOCIATES
 3680 PLEASANT HILL ROAD
 SUITE 200
 DULUTH, GEORGIA 30096
 770.622.9858

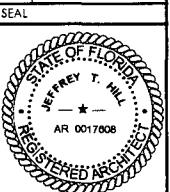
CIVIL ENGINEER
 ANGELINA M. ROSENBERG, PE
 THOMAS ENGINEERING GROUP
 1000 CORPORATE DRIVE
 SUITE 250
 FORT LAUDERDALE, FL 33334
 954.202.7000

STRUCTURAL ENGINEER
 PATRICK FOLEY, PE
 HILL FOLEY ROSSI & ASSOCIATES
 3680 PLEASANT HILL ROAD
 SUITE 200
 DULUTH, GEORGIA 30096
 770.622.9858

MECH - PLUMB - ELEC ENGINEERS
 J. PAUL KENNEY, PE
 BRIAN ARMENTA, PE
 PROFICIENT ENGINEERING
 6991 PEACHTREE INDUSTRIAL BOULEVARD
 BUILDING 700
 PEACHTREE CORNERS, GA 30092
 404.330.9798

HILL FOLEY ROSSI & ASSOCIATES
 ARCHITECTURE
 ENGINEERING
 3680 Pleasant Hill Road
 Suite 200
 Duluth, Georgia 30096
 p 770.622

NOT FOR CONSTRUCTION
ISSUE / REVISIONS:
DATE DESCRIPTION
11.16.14 CITY DESIGN PROPOSAL



PROJECT NAME & ADDRESS

ZAXBY'S
90 MODEL
5900 LAKE WORTH ROAD
GREENACRES, FL 33463

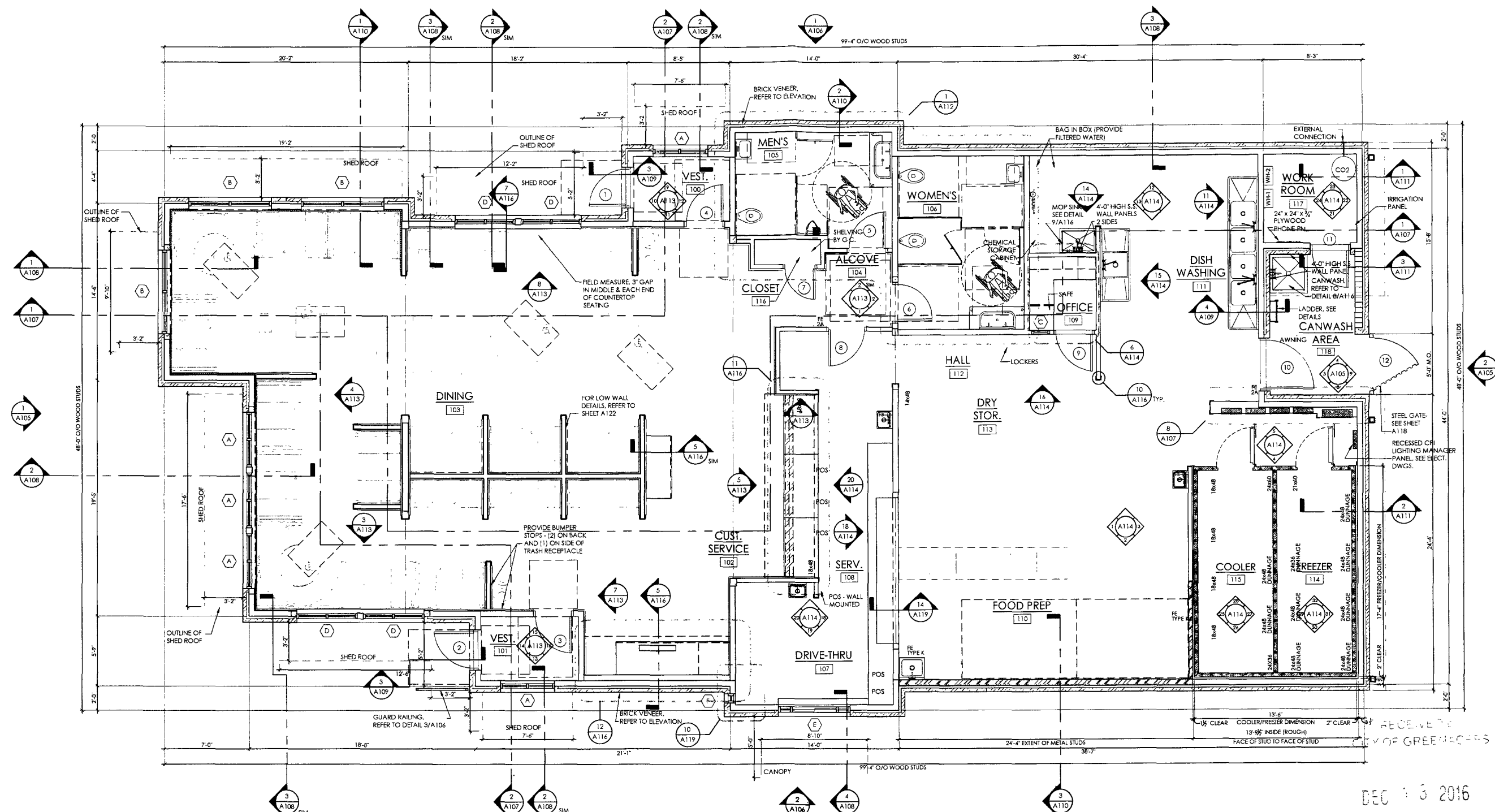
PROTOTYPE SERIES

90 WD SL (Z) - RDT

SHEET TITLE:
FLOOR PLAN

PROJECT #:
16-885.00

A100



GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BUILD PER ALL APPLICABLE CODES AND REGULATIONS; FEDERAL, STATE, AND LOCAL.
- ALL SUBCONTRACTORS INCLUDING MECHANICAL, PLUMBING, AND ELECTRICAL SHALL BE RESPONSIBLE FOR SECURING PERMITS FOR THEIR WORK & TRADE UTILITY. FURTHER DRAWINGS (IF REQUIRED) FOR PERMITS AND UTILITY HOOK-UPS SHALL ALSO BE BY THE SUBCONTRACTOR. THIS STATEMENT SHALL NOT GOVERN OVER MANUFACTURERS' WARRANTIES. THE GENERAL CONTRACTOR SHALL WARRANT HIS WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF OCCUPANCY & ACCEPTANCE OF WORK BY THE OWNER. DEFECTIVE OR INFERIOR MATERIALS OR WORKMANSHIP FOUND AT ANY TIME PRIOR TO FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND ALSO DURING THE WARRANTY PERIOD MAY BE REJECTED, REGARDLESS OF PREVIOUS INSPECTION. CORRECTIVE MEASURES WHEN REQUIRED SHALL BE EXECUTED AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIALS RELATED TO THIS WORK SHALL BE SHIPPED, STORED AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS.
- THE G.C. WILL LEAVE THIS SITE FREE AND CLEAR OF DEBRIS UPON COMPLETION OF THE WORK.
- WHERE THESE DOCUMENTS INDICATE TRADE OR MANUFACTURER NAMES, THE CONTRACTOR MAY SUBSTITUTE A PRODUCT OR METHOD OF BETTER OR EQUAL QUALITY UPON APPROVAL BY THE OWNER AND ZAXBY'S FRANCHISING.
- UPON COMPLETION OF BUILDING & ACCEPTANCE BY THE OWNER THE CONTRACTOR SHALL PROVIDE, PREPARE, ASSEMBLE, AND TRANSMIT TO THE OWNER THE FOLLOWING: MAINTENANCE MANUALS FOR MECHANICAL EQUIPMENT, WARRANTIES FOR ALL EQUIPMENT FOR A MINIMUM OF ONE YEAR FROM THE ACCEPTANCE DATE, KEYS WITH SCHEDULE AND DEMONSTRATE THE EQUIPMENT.
- TERMITE PROTECTION SHALL BE PROVIDED UNDER THE FLOOR SLAB. INSTALLATION AND WARRANTY SHALL BE PER THE INTERNATIONAL BUILDING CODE.

MUNICIPAL REQUIREMENTS

- PLANS AND DESIGN CRITERIA FROM THE ROOF TRUSS MANUFACTURER FOR ANY TRUSSES USED IN THE PROJECT SHALL BE SUBMITTED TO THE BUILDING INSPECTORS. THE DATA PROVIDED SHOULD BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER. THE PLANS SHOULD INCLUDE DEAD LOAD, LIVE LOAD, WIND LOAD, AND COLLATERAL LOADING FOR ALL COMPONENT SECTIONS.
- EXHAUST HOODS AND FIRE SUPPRESSION SYSTEMS ARE TO BE APPROVED BY THE APPROPRIATE AUTHORITIES (FIRE MARSHALL, ETC.). IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN APPROVALS.

1 FLOOR PLAN
A100 1/4" = 1'-0"

EXHAUST HOOD NOTES:

THE HOOD SHOWN HEREIN IS STRICTLY FOR GRAPHIC REPRESENTATION SHALL NOT BE SCALED. IT SHALL BE THE RESPONSIBILITY OF THE HOOD PROVIDER & INSTALLER TO VERIFY THE EXTENTS OF THE COOKING LINEUP AS PURCHASED, PRIOR TO FABRICATION TO INSURE PROPER COVERAGE.

SEE CONTINUED NOTES ON Q100.

NOTES

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE FOR THE PLACEMENT OF THE HOOD INSIDE THE BUILDING. THE G.C. SHALL COORDINATE WITH THE HOOD PROVIDER & SCHEDULING/PHASING OF ALL CONSTRUCTION TRADES TO INSURE THAT HOOD CAN BE MOVED INSIDE THE BUILDING WITHOUT CONFLICT WITH WALLS, OR OTHER ARCHITECTURAL ELEMENTS ONCE CONSTRUCTED.

LEGEND:

- FULL HEIGHT WALL
- COOLER WALL
- BRICK VENEER
- CMU WALL
- DOOR NUMBER
- GLAZING NUMBER
- FE - FIRE EXTINGUISHER
K - CLASS K
2A - CLASS A

KITCHEN EQUIPMENT IS FOR REFERENCE ONLY.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING KITCHEN EQUIPMENT, DESIGN AND INSTALLATION WITH A KITCHEN EQUIPMENT SUPPLIER. FINAL DESIGN MUST BE REVIEWED BY OWNER AND GENERAL CONTRACTOR AND ANY CHANGES OR DISCREPANCIES MUST BE DISCUSSED WITH ARCHITECT FOR ELECTRICAL/MECHANICAL COORDINATION AND CONSTRUCTION DOCUMENT UPDATES.

NOTE:
REFER TO CIVIL PLANS & SIDEWALK PLANS FOR SIDEWALKS, PLANTER AREAS, ETC.

NOTE:
FLOOR PLAN CUT IS TAKEN AT 3'-0" A.F.F., HOWEVER, WINDOWS ARE SHOWN CUT HIGHER FOR CLARITY.

DEC 13 2016

16-90-010

RECEIVED
CITY OF GREEN ACRES

DEC 14 2016

PLANNING & ENGINEERING

EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3-5/8" x 2-1/4" x 7-5/8" RUNNING BOND

- 1 COLOR: BRICK - COMMONWEALTH (GENERAL SHALE)
APPROVED ALTERNATE - M/S CHEROKEE NATCHEZ (CHEROKEE BRICK)
APPROVED ALTERNATE - BORAL BRICK (OLDE COLUMBIA)
MORTAR - "COOSA ANTIQUE BUFF"

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.
15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS. GOLD SHEATHING GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS INDICATED.
CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL, AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 3/2" O.C. MAX.

HOHMANN & BARNARD, INC. HORIZ REIN. ON CMU FENCE
HOHMANN & BARNARD, INC. DW-10 HIS TRIANGULAR MTL WALL TIES (OR EQUAL) @ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10-16 x 1-1/2" SCREWS.

- 2 STO TO HAVE MEDIUM TEXTURE FINISH ON FIELD E.F.S.*
STO TO HAVE FINE SAND TEXTURE @ ACCENTS
ICC EVALUATION REPORT NO. ESR-1720

2F = FIELD COLOR. STO STOLF 1.5 DARK STO NA13-0033 / SW 2839 "ROYCROFT COPPER RED" (NO SUBSTITUTIONS)

2A = ACCENT COLOR: EIFS CORNERS, CORNICE, FRIEZE & TRIM. DECORATIVE BRACKETS, BEAMS OR PURLINS. -STO FINE SAND #80310 -STO NA 13-0034 / SW 7037 "BALANCED BEIGE"

3 (HARDIE) TRIM BOARDS, CORNICE, FRIEZE & TRIM -PAINT SHERWIN WILLIAMS SW 7037 / "BALANCED BEIGE"

4 PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING
COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR
ROOFING @ REAR AWNING: GALVANIZED / GALVALUME
MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR 0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING.
ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:

- A. BERRIDGE MANUF. CO., HOUSTON, TX.
- B. PAC-CLAD
- C. MBCI
- D. MCELROY METAL CO., PEACHTREE CITY, GA.
- E. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

- 5 STOREFRONT: WINDOWS & ENTRANCE DOORS (CLEAR ANODIZED)

ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS
ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

GLAZING - UNCOATED TINTED GLASS						
APPEARANCE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.45	39.6	7.3
CLEAR-NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

- 6 SELF-CLOSING & TEMPERED GLASS
DRIVE-THRU WINDOW: ROUGH OPENING = 6'-0" WIDE x 5'-8" HIGH
QUICKSERV MODEL SC-4030 SELF CLOSING HORIZ. SLIDER WINDOW
FIT INTO A "STOREFRONT" FRAME. MATCH STOREFRONT IN COLOR & GLAZING.



WEATHERVANE
N
W
S

CUSTOM LOGO TOP CUTOUT OF A 12" MTL. DISK IN GALVALUME FINISH
STANDARD WEATHERVANE BASE FINISH TO MATCH ROOFING
WEATHERVANE DIRECTIONALS - INSTALL TO ALLOW FREE ROTATION
HEAVY NUT & WASHER
WEATHERVANE FINAL PREMAN WEATHERVANE FLASHING AS SUPPLIED BY WEATHERVANE MANUF. PROVIDE SILICONE SEALANT AS RECOMMENDED BY WEATHERVANE MANUF.
MOUNTING BRACKET SUPPLIED BY WEATHERVANE MANUF. SECURE BRACKET TO UNDERSIDE OF TRUSSES AS RECOMMENDED BY WEATHERVANE MANUF.

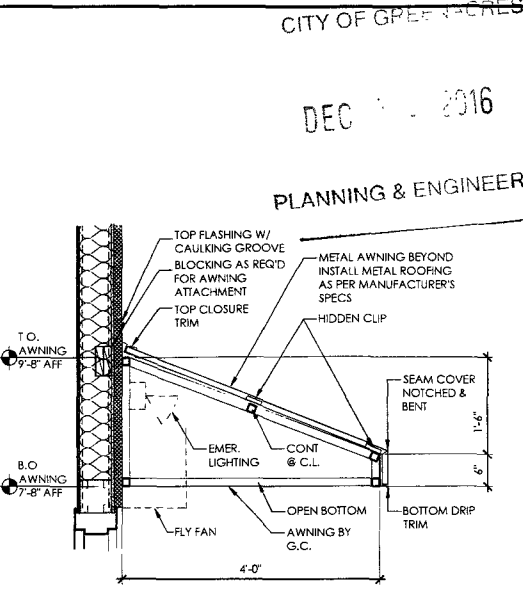
- 7 GALVALUME 22 GA. CORRUGATED FINISH METAL ROOF (MBCI PBC OR EQUIV.)

- 8 GALVANIZED METAL FINISH GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

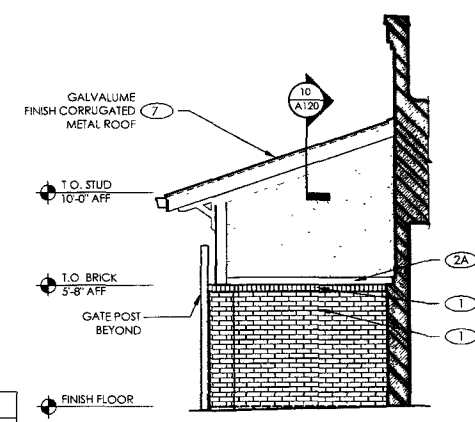
ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.

- 9 LADDER, PAINT FIELD COLOR
- GLAZING, REFER TO SHEET A117
- DOORS, REFER TO SHEET A115

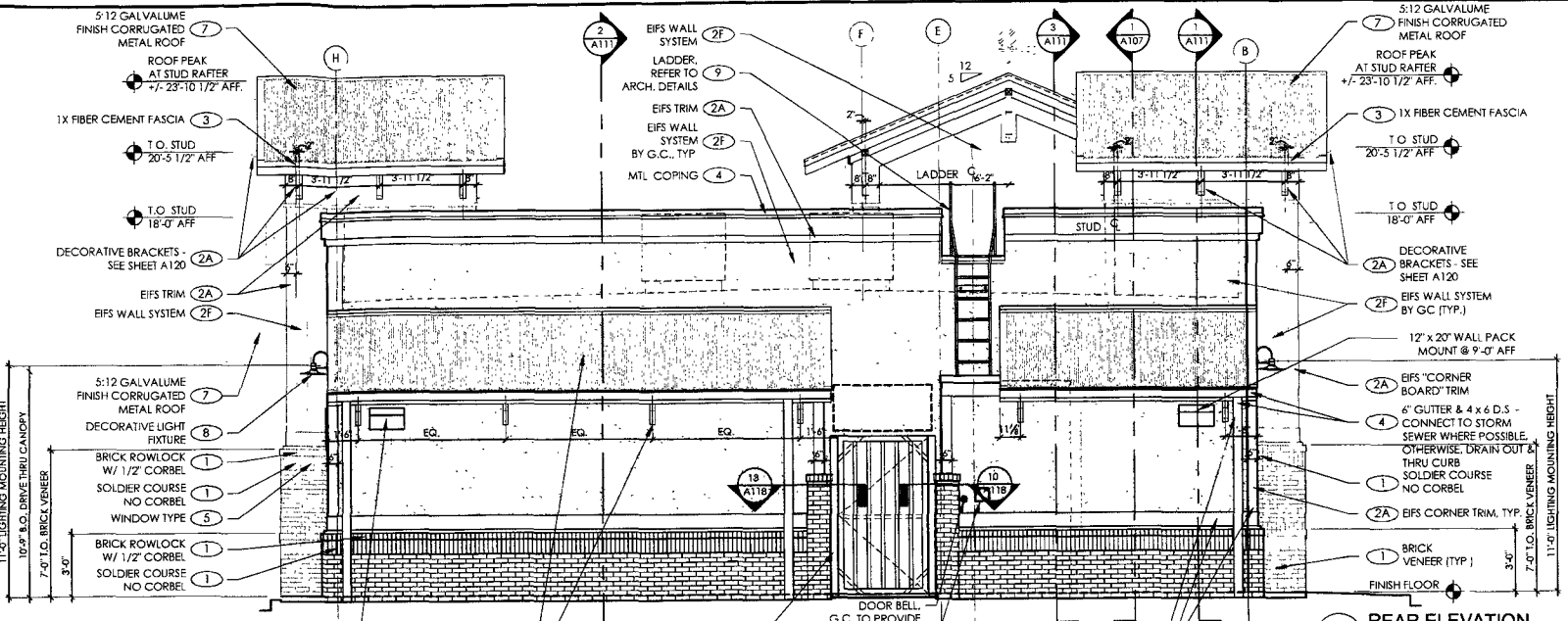
* E.F.S. NOTE:
THESE DRAWINGS USE "STO" BRAND E.F.S. SYSTEMS AS A BASIS OF DESIGN.
"DRYVIT" INSULATION PLUS MD SYSTEMS WILL BE ALLOWED AS AN ALTERNATE.
ICC EVALUATION REPORT # ESR-1543.



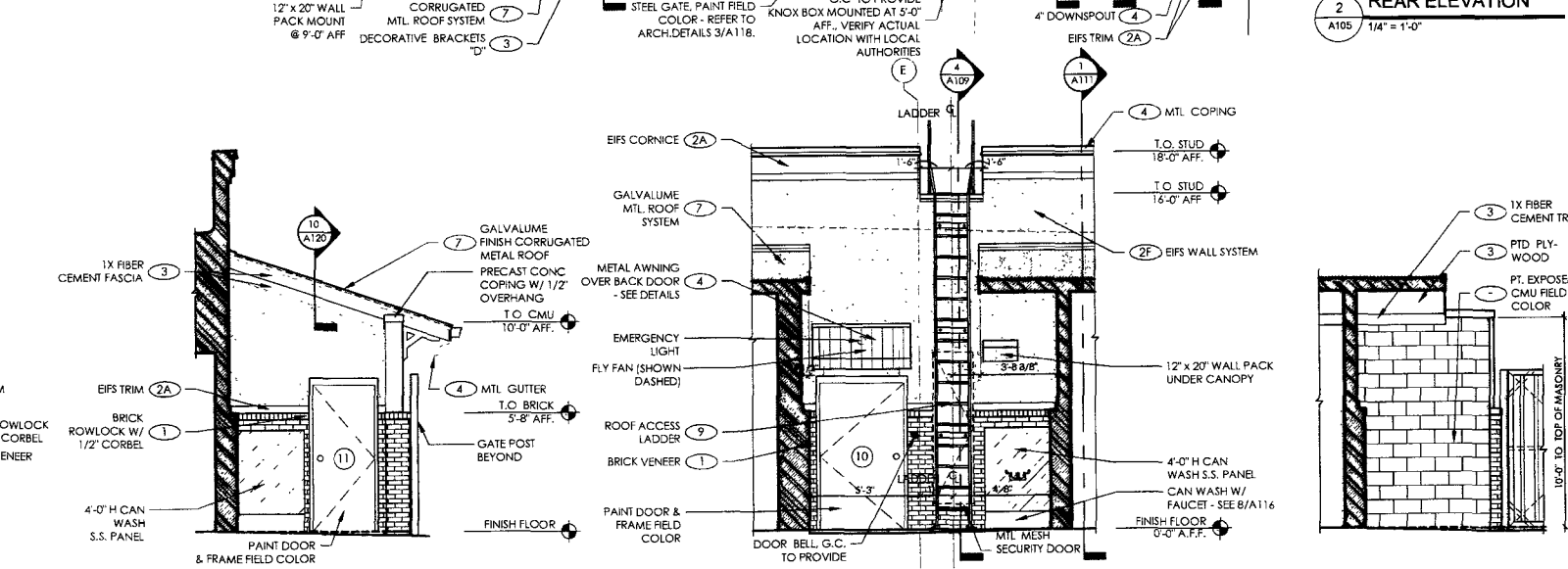
5 REAR AWNING DETAIL
A105 3/4" = 1'-0"



8 REAR ELEVATION @ CAN WASH
A105 1/4" = 1'-0"

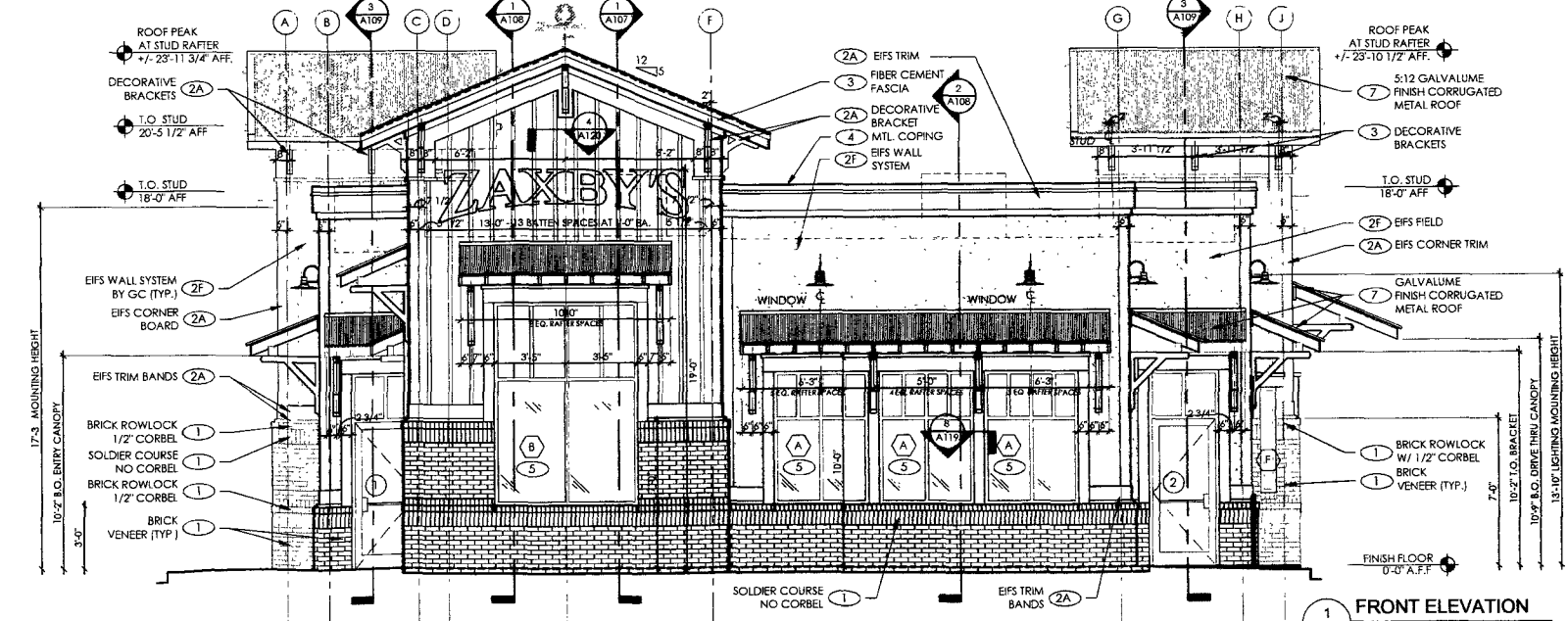


2 REAR ELEVATION
A105 1/4" = 1'-0"



3 REAR ELEVATION (HIDDEN)
A105 1/4" = 1'-0"

9 ELEVATION
A105 1/4" = 1'-0"



1 FRONT ELEVATION
A105 1/4" = 1'-0"

6 WEATHERVANE DETAIL
A105 1 1/2" = 1'-0"

TR ARCHITECTURE & ASSOCIATES
ENGINEERING
3680 Pleasant Hill Road
Suite 200
Duluth, Georgia 30096
p 770 422 9888
f 770 422 9833
www.trarchitecture.com

ZAXBY'S
90 MODEL
5900 LAKE WORTH ROAD
GREENACRES, FL 33463

NOT FOR CONSTRUCTION
ISSUE / REVISIONS:
DATE DESCRIPTION
11 15 16 CITY DESIGN PROPOSAL

SEAL:
JEFFREY T. HILL
REGISTERED ARCHITECT
AR 0017008

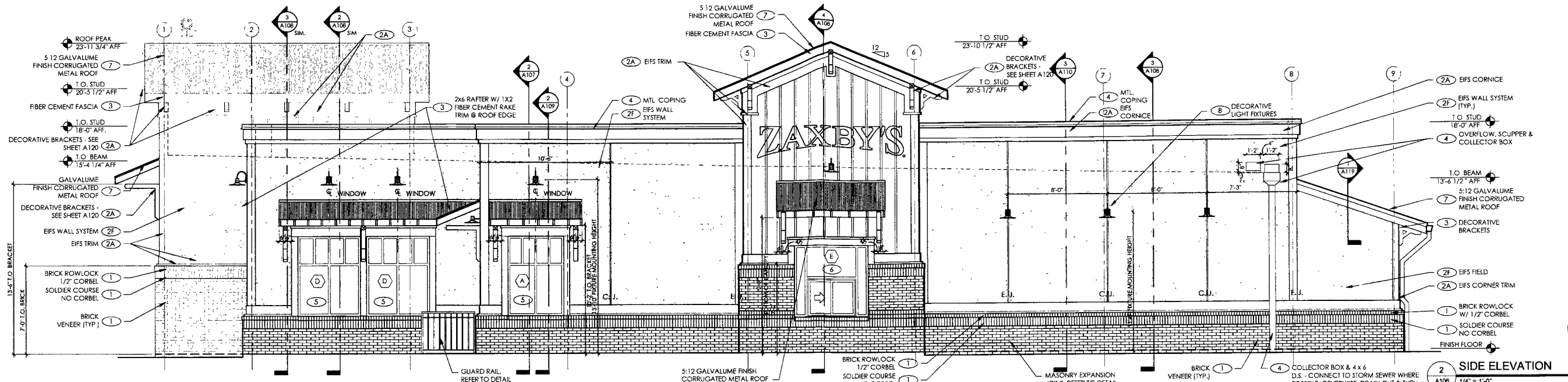
PROJECT NAME & ADDRESS
ZAXBY'S
90 MODEL
5900 LAKE WORTH ROAD
GREENACRES, FL 33463

PROTOTYPE SERIES
90 WD SL (Z) - RDT

SHEET TITLE
FRONT & REAR
EXTERIOR ELEVATIONS

PROJECT #:
16-885.00

A105



EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2 1/4" x 7 5/8" RUNNING BOND

COLOR: BRICK - COMMONWEALTH (GENERAL SHALE)
APPROVED ALTERNATE M/S CHEROKEE NATCHEZ (CHEROKEE BRICK)
MOP'AR "COOSA ANTIQUE BUFF"

1/8" THICK MORTAR JOINTS - ASTM C-270 TYPE N

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLID FENCE AND BELOW F.E. PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS THROUGH WALL FLASHING EPDM (BY W.R. GRACE) OR EQUAL AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CEILING TYPE WEEPS ABOVE FLASHING @ 32" O.C. MAX

DJR O WALL HORIZ REIN ON CMU FENCE
DUP O WALL DA 210 / DA 720 TRIANGULAR MTL WALL TIES (OR EQUAL)
3" x 2" O.C VERT & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS.
ATTACH TO STUDS WITH (2) 10 16 x 1 1/2" SCREWS

STC TO HAVE SWIRL FINISH
STC BRAND EPS ON CMU OR SHEATHING
STC ESSENCE SPEC E100
ICC EVALUATION REPORT NO. ESR 1720

2F = FIELD COLOR STC 130D STOUT DARK / SW 2839 ROY CROFT COPPER RED
NO SUBSTITUTIONS

2A = ACCENT COLOR EPS CORNERS, CORNICE FRIEZE & TRIM, DECORATIVE BRACKETS, BEAMS OR FURLINS PAINT SHERWIN WILLIAMS "BALANCED BEIGE" SW 7037

2 (HARDIE) CORNER BOARDS, CORNICE, FRIEZE & TRIM PAINT SHERWIN WILLIAMS "BALANCED BEIGE" SW 7037

4 PREFINISHED METAL COPING OR GRAVEL STOP & ROOFING COLOR: COPINGS MATCH SURROUNDING CORNICE COLOR

ROOFING & REAR AWNING: GALVANIZED / GALVALUME MATERIAL SHALL BE 24 GAUGE HOT DIPPED GALVANIZED STEEL OR 0.037" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING. ACCEPTABLE MANUFACTURERS ARE AS FOLLOWS:

- A. BERRIDGE MANUF. CO., HOUSTON, TX
- B. MM SYSTEMS TUCKER GA
- C. MBC
- D. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES FLASHING END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

STOREFRONT WINDOWS & ENTRANCE DOORS

ACCEPTABLE MANUFACTURER KAWNEER. REFER TO SPECIFICATIONS
ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

APPEARANCE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.45	39.6	7.2
CLAR NOT TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15

CONTACT PERSON & QUALITY GLASS, JOHNNY DOSTER # 706-548-4481

6 SELF-CLOSING & TEMPERED GLASS DRIVE THRU WINDOW. ROUGH OPENING = 6'-0" WIDE x 5'-8" HIGH QUICKSERV MODEL SC-4030 SELF CLOSING HORIZ. SLIDER WINDOW FIT INTO A "STOREFRONT" FRAME. MATCH STOREFRONT IN COLOR & GLAZING.

QUICKSERV-DIVISION OF MCE SYSTEMS CORP.
P O BOX 40466, HOUSTON, TX 77240-0466
P 800 358-6307 F 713 462-1936
STOREFRONT & SLIDER ALSO BY QUALITY GLASS P 706-548-4481

7 GALVALUME 22 GA. CORRUGATED FINISH METAL ROOF (MBC, PBC OR EQUIV.)

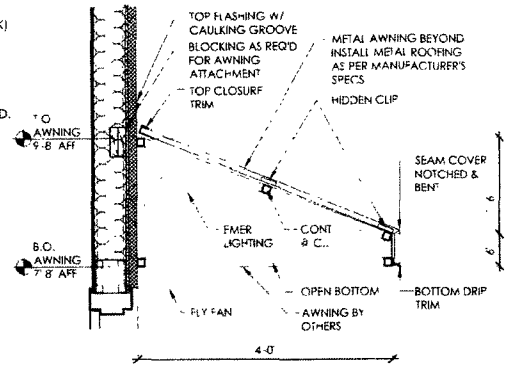
8 GALVANIZED METAL FINISH GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS

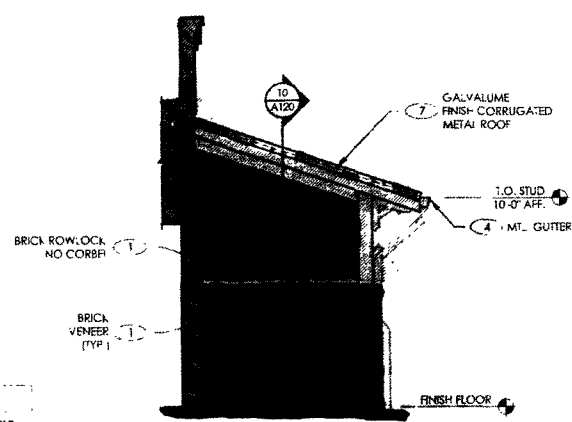
5 LADDER PAINT FIELD COLOR

GLAZING REFER TO SHEET A117

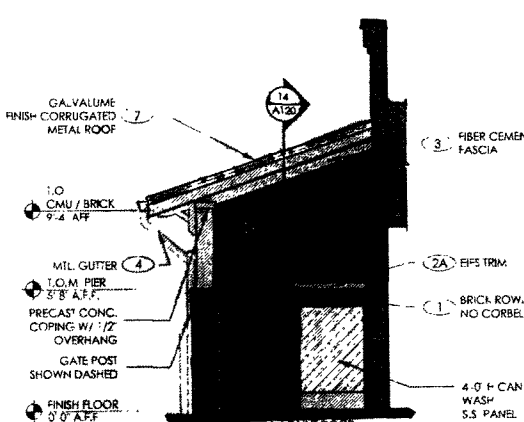
DOOR REFER TO SHEET A115



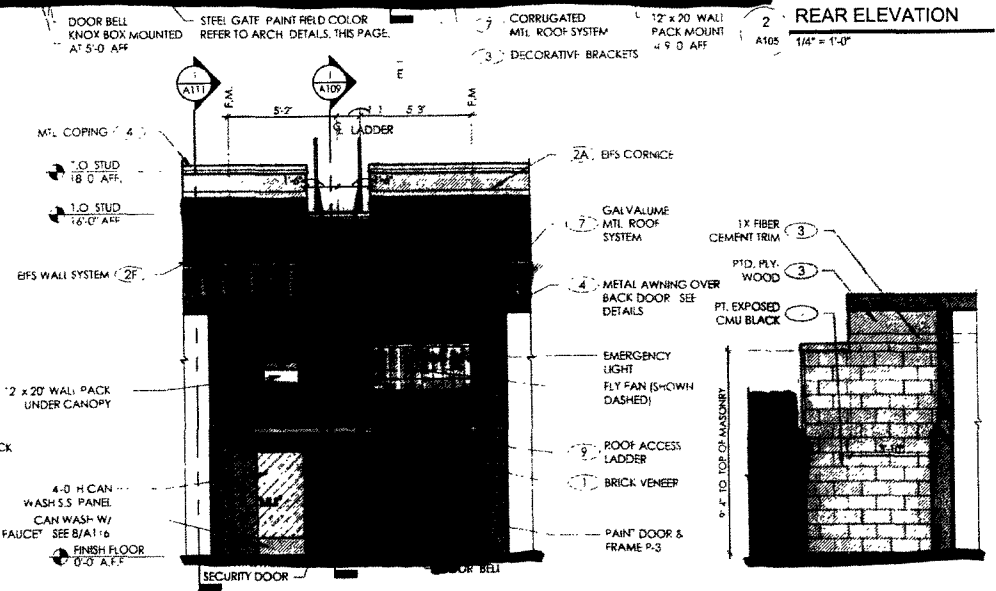
5 REAR AWNING DETAIL
A105 3/4" x 1'-0"



8 REAR ELEVATION @ CAN WASH
A105 3/4" x 1'-0"

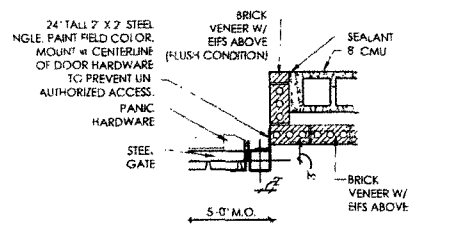


4 REAR ELEVATION @ CAN WASH
A105 1/4" x 1'-0"

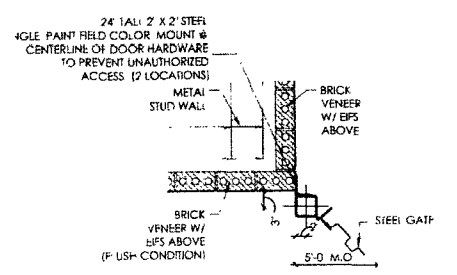


3 REAR ELEVATION (HIDDEN)
A105 1/4" x 1'-0"

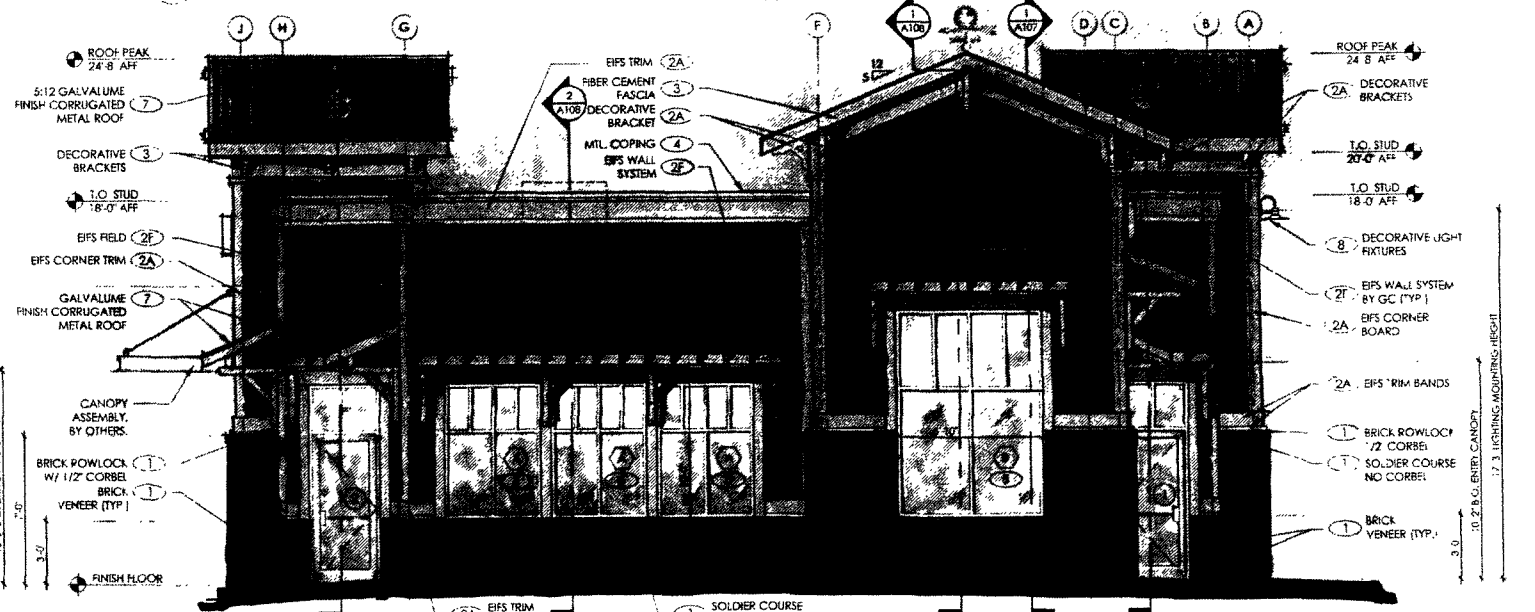
9 ELEVATION
A105 1/4" x 1'-0"



6 GATE STRIKE JAMB DETAIL
A105 3/4" x 1'-0"



7 GATE HINGE JAMB DETAIL
A105 3/4" x 1'-0"



1 FRONT ELEVATION
A105 1/4" x 1'-0"

HTR
HILLIARY THOMAS & ASSOCIATES
ARCHITECTURE
ENGINEERING

ZAXBY'S
ENGINEERING

RECEIVED BY
OFFICE OF GREENACRES
2016
NOT FOR CONSTRUCTION
ISSUE / REVISIONS

PROJECT NAME & ADDRESS

PROTOTYPE SERIES

90 SL (C) - SDT

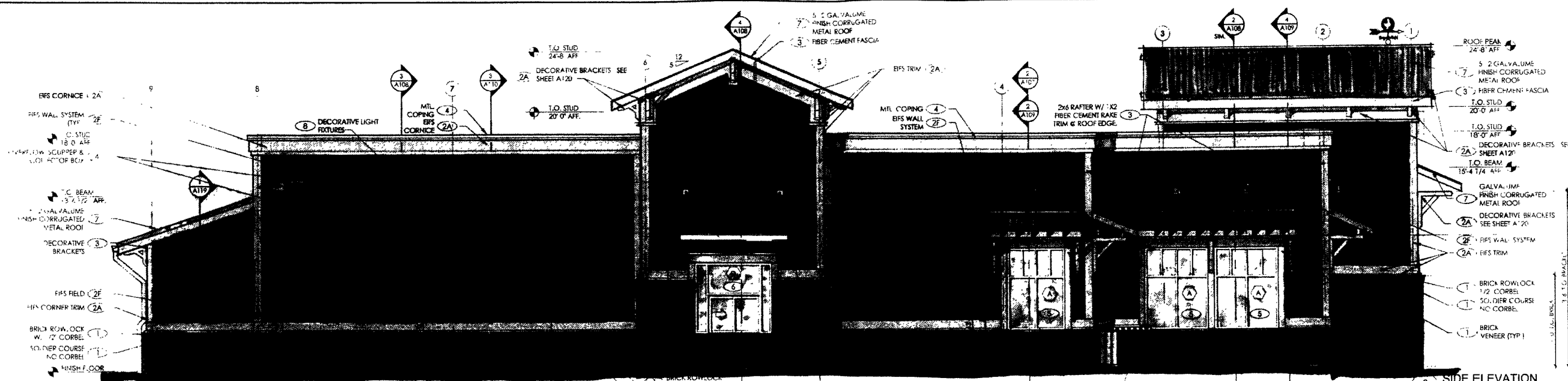
SHEET TITLE

FRONT & REAR EXTERIOR ELEVATIONS

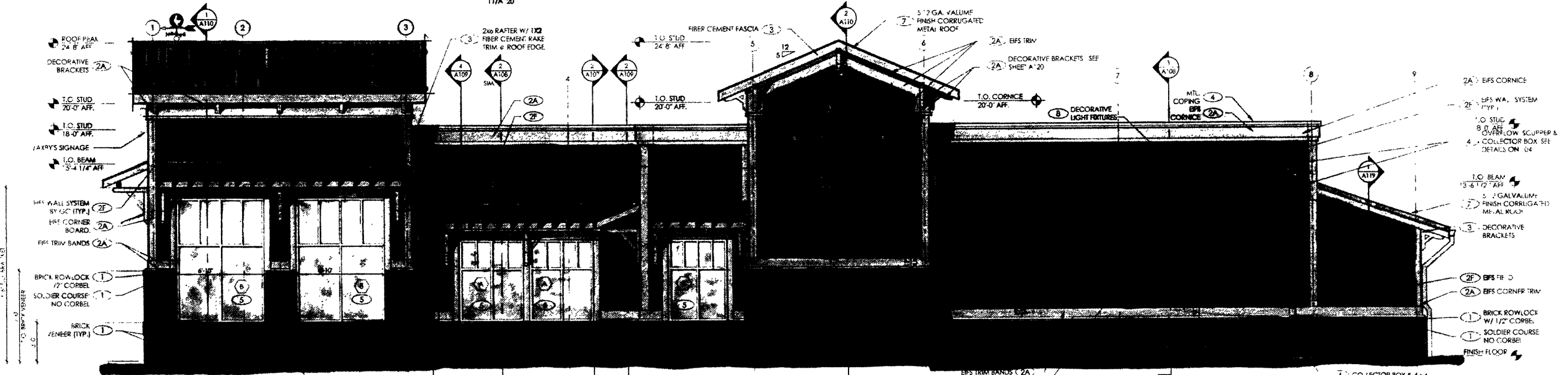
PROJECT #:

ZAXBY'S
90 MODEL

A105



SIDE ELEVATION
A106 1/4" = 1'-0"



SIDE ELEVATION
A106 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2 1/4" x 7 5/8" RUNNING BOND

COLOR BRICK: COMMONWEALTH (GENERAL SHALE) APPROVED ALTERNATE - M/S CHEROKEE NATCHEZ (CHEROKEE BRICK) MORTAR: COOSA ANTIQUE BUFF

3/8" THICK MORTAR JOINTS, ASTM C 270 TYPE N

1/2" POOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLID 4 FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS INDICATED

CONTINUOUS THROUGH-WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CEL. VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

1. CURB WALL HORIZ REINFC ON CMU FENCE
2. CURB WALL, DA 215 / 2A 720 TRIANGULAR MTL WAL. TIES (OR EQUAL)
3. @ 16" O.C. VERT & AT HORIZ STUD SPACING, 14 GA. SEE SECTIONS & SPECS ATTACH TO STUDS WITH (2) 1/8" x 1 1/2" SCREWS

2. STC TO HAVE "SWIRL" FINISH
STC BRAND EPS ON CMU OR SHEATHING
STC ESSENCE SPEC. E10;
ICFC EVALUATION REPORT NG ENR 1720

2A. FIELD COLOR STC 130D STOLI DARK / SW 2839 "ROYCROFT COPPER RED" NO. SUBSTITUTIONS)

2A. ACCENT COLOR EPS CORNERS, CORNICE FRIEZE & TRIM. DECORATIVE BRACKETS BEAMS OR PURLINS PAINT SHEPWIN WILLIAMS "BALANCED BEIGE" SW 7037

3. [HARDIE] CORNER BOARDS, CORNICE FRIEZE & TRIM. PAINT SHEPWIN WILLIAMS "BALANCED BEIGE" SW 7037

4. PREFINISHED METAL COPING OR GRAVEL STOP & ROOFING
COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR
ROOFING: REAR AWNING GALVANIZED / GALVALUME
MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR 0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:
A. BERRIDGE MANUF. CO., HOUSTON TX.
B. MM SYSTEMS TUCKER, GA.
C. MBCI
D. APPROVED EQUALS WILL BE ACCEPTED

5. PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS
A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED.
NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE

6. STOREFRONT: WINDOWS & ENTRANCE DOORS
ACCEPTABLE MANUFACTURER: KAWNEER REFER TO SPECIFICATIONS
ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES.

GLAZING - UNCOATED TINTED GLASS

APPEARANCE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.45	39.6	7.3
CLEAR NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	5

CONTACT PERSON @ QUALITY GLASS, JOHNNY DOSTER @ 706-548-4481

6. SELF-CLOSING & TEMPERED GLASS DRIVE-THRU WINDOW; ROUGH OPENING = 6' 0" WIDE x 5'-8" HIGH QUICKSERV MODEL SC-4030 SELF CLOSING HORIZ. SLIDER WINDOW FIT INTO A "STOREFRONT" FRAME. MATCH STOREFRONT IN COLOR & GLAZING

7. QUICKSERV DIVISION OF MCE SYSTEMS CORP
P.O. BOX 40466, HOUSTON, TX 77240-0466
P. 800-388-8307 F. 713-462-1936
STOREFRONT & SLIDER ALSO BY:
QUALITY GLASS P. 706-548-4481

7. GALVALUME 22 GA. CORRUGATED FINISH METAL ROOF (MBCI PBC OR EQUIV.)

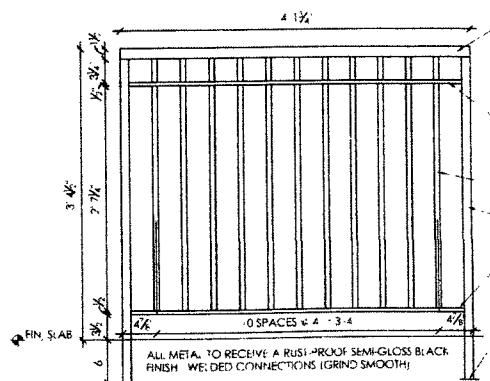
8. GALVANIZED METAL FINISH GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

9. ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS

9. LADDER PAINT FIELD COLOR

10. GLAZING. REFER TO SHEET A117

11. DOORS. REFER TO SHEET A115



3. DECORATIVE METAL GUARD RAIL
A106 1/4" = 1'-0"

1. 1 1/2" x 3/4" CONT. METAL CHANNEL LEGS UP W/ METAL RAIL CAP

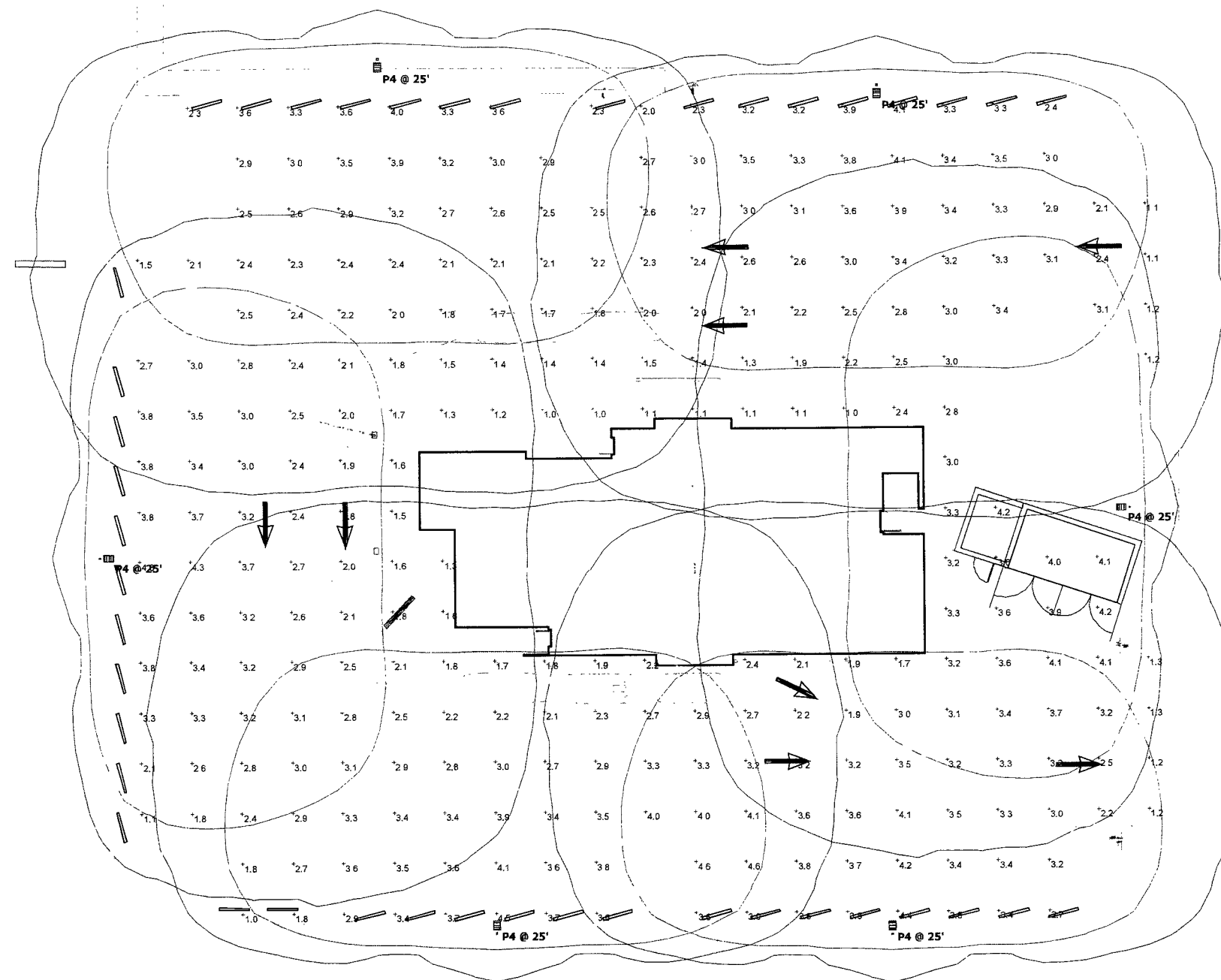
1 1/2" x 3/4" x CONT. METAL CHANNEL LEGS DOWN (CUT SQUARE HOLES AS REQ'D TO PASS BALUSTER THROUGH)

1/2" SQUARE METAL TUBE BALUSTER

1/2" SQUARE METAL TUBE POST

1 1/2" x 3/4" x CONT. METAL CHANNEL LEGS DOWN

WELD END PLATE TOP PULL OUT SET POSTS IN CONCRETE OF CORR DRILL CONC. & SET IN NON SHRINK GROUT



Plan View
Scale - 1" = 17'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot Light Levels	+	2.8 fc	4.6 fc	1.0 fc	4.6:1	2.8:1

Schedule									
Symbol	Label	Qty	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	P4	6	GLEON-AF-04-LED-E1-SL4-HSS	Single Head McGraw Edison Gleon Series LED Area Unit w/Type SL4 Distribution (Estimated 25ft. Pole Height) House Side Shield	225w of LED per Head (Type 04 Power Input)	64	304.1761	0.85	225

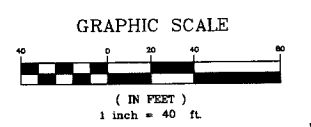
RECEIVED BY
CITY OF GREEN ACRES

DEC 10 2016

PLANNING & ENGINEERING

31-96-010

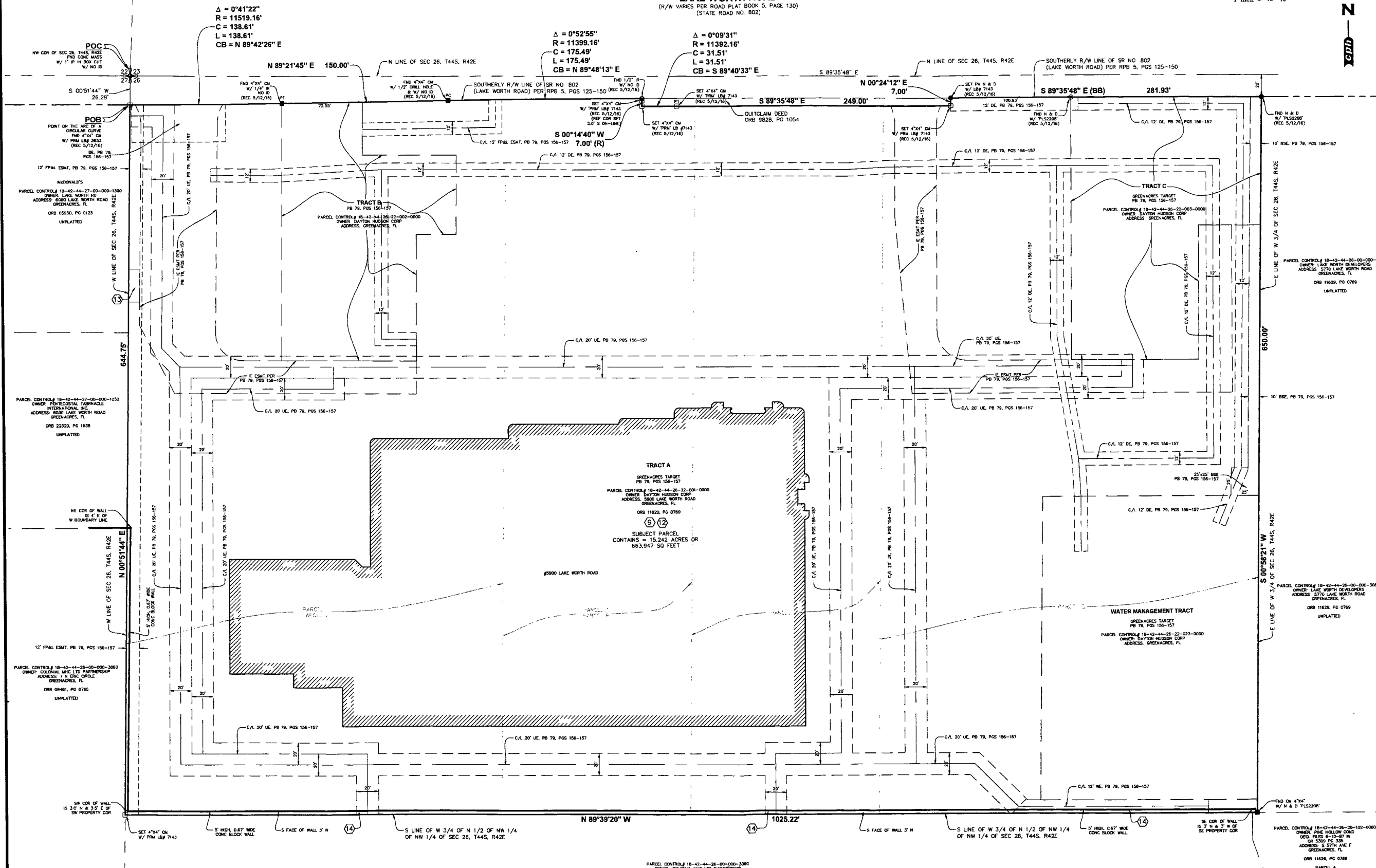
Designer
Adam Carrier
Date
12/9/2016
Scale
Not to Scale
Drawing No.
Summary



cph
www.cphcorp.com
A Full Service A & E Firm
Architects
Engineers
Environmental
Landscape Architects
M/E/P
Planners
Surveyors
Traffic / Transportation

Offices in:
• Florida
• Puerto Rico
• Connecticut
• Maryland
• Texas

LAKE WORTH ROAD
(R/W VARIES PER ROAD PLAT BOOK 5, PAGE 130)
(STATE ROAD NO. 802)



Revision	PK/J	By
1	UPDATE BOUNDARY AND VISIBLE IMPROVEMENTS	

No.	Date
1	5/12/16
2	7/11/16
3	8/11/16
4	8/11/16

Survey Prepared By
CPH, Inc.
600 West Fulton St.
Sarasota, FL 34237
Ph: 407.322.6841
Licenses:
Eng. C.O.A. No. 32315
Survey L.B. No. 7148
Arch. Lic. No. AA2800926
Landscape Lic. No. LC0500296

BOUNDARY & TOPOGRAPHIC SURVEY
(ALTA/NSPS LAND TITLE SURVEY)
TARGET CORPORATION
5900 LAKE WORTH ROAD
SECTION 26-TOWNSHIP 44 SOUTH-RANGE 42 EAST
PALM BEACH COUNTY, FLORIDA

Sheet No.
2
of 4

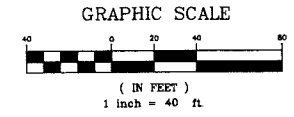
NOTE:
THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4.

TITLE BLOCK ABBREVIATIONS:
Eng = ENGINEERING L.R. = LICENSED BUSINESS
C.O.A. = CERTIFICATE OF AUTHORIZATION A&E = ARCHITECTURAL
Landscape = LANDSCAPE N/A = NOT APPLICABLE Lic = LICENSED
No. = NUMBER P.O. = POST OFFICE © = COPYRIGHT

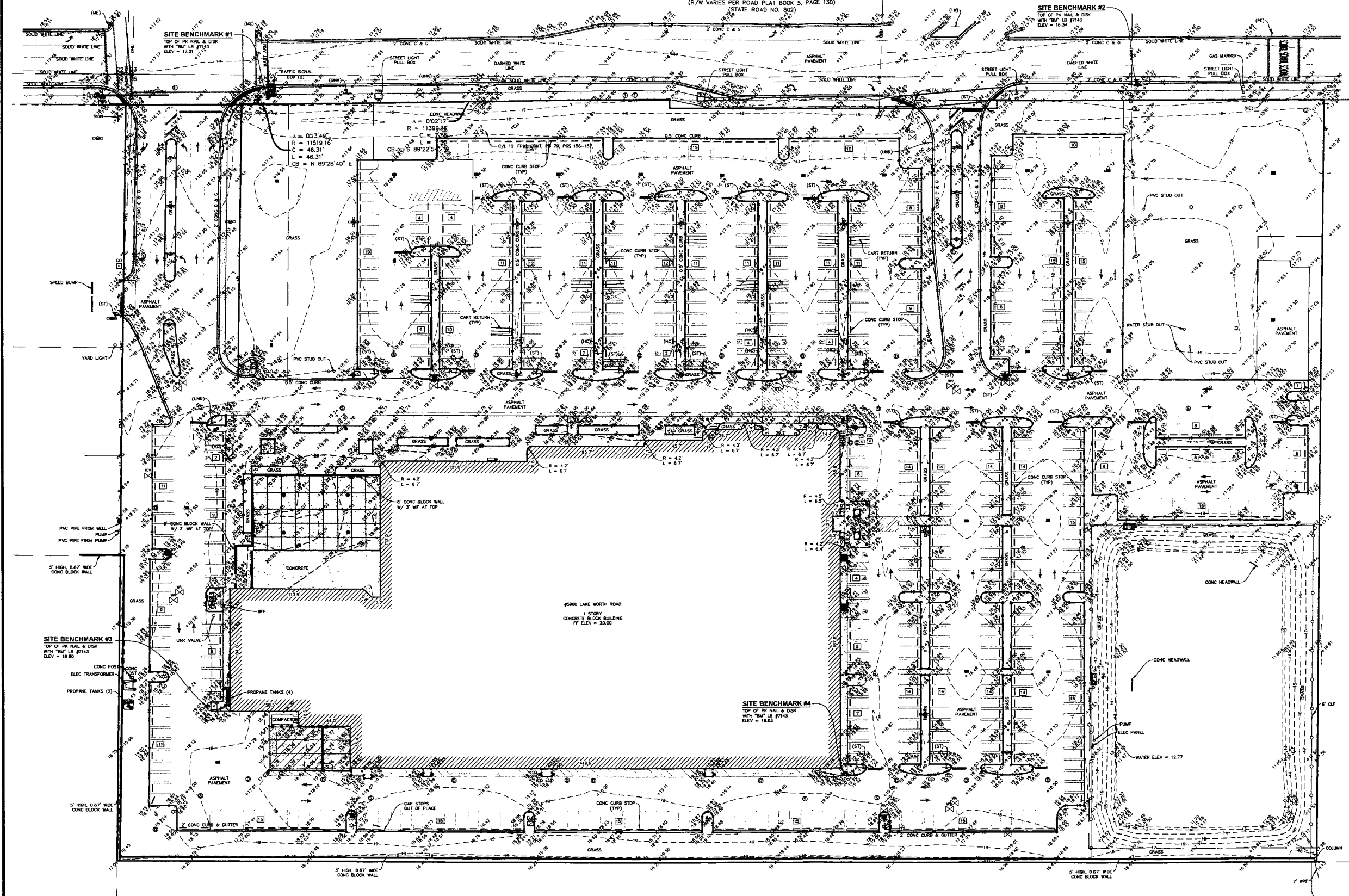
RECEIVED
GREEN

132

PLANNING & ENG



LAKE WORTH ROAD
(R/W VARIES PER ROAD PLAT BOOK 5, PAGE 130)
(STATE ROAD NO. 802)



NOTE: PLEASE SEE SHEET 4 OF 4 FOR ALL STORM AND SANITARY PIPES AND INVERT INFORMATION.

NOTE:
THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4.

TITLE BLOCK ABBREVIATIONS:
 Eng = ENGINEERING L.B. = LICENSED BUSINESS
 C.O.A. = CERTIFICATE OF AUTHORIZATION Arch = ARCHITECTURAL
 Landsc = LANDSCAPE N/A = NOT APPLICABLE Lic = LICENSED
 No = NUMBER P.O. = POST OFFICE © = COPYRIGHT

cph
www.cphcorp.com
**A Full Service
A & E Firm**

Architects
Engineers
Environmental
Landscape Architects
M/E/P
Planners
Surveyors
Traffic / Transportation

Offices in:
• Florida
• Puerto Rico
• Connecticut
• Maryland
• Texas

Field Crew:	A.S.	Checked by:	Approved by:	Date:	Job No.:	File:	Revision	No.	Date
JAB/JTE	R.L.R.	PJK	N/A	5/12/16	T8712.1	1912.felwy	UPDATE BOUNDARY AND VISIBLE IMPROVEMENTS	1	8/12/16

Survey Prepared By
CPIA, Inc.
800 West Fulton St.
Sanford, FL 32771
Ph 407.323.8881
Lic# 00000011
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Landscape Lic. No. LC0000288

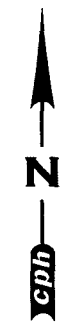
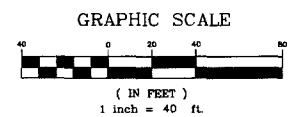
RECEIVED BY
CITY OF GREENAC

DEC 13 2016

BOUNDARY & TOPOGRAPHIC SURVEY
(ALTA/MSPS LAND TITLE SURVEY)
ALSO BEING AN
TARGET CORPORATION
5900 LAKE WORTH ROAD
SECTION 28, TOWNSHIP 44 SOUTH, RANGE 42 WEST
PALM BEACH COUNTY, FLORIDA

Sheet No.
3
of 4

LAKE WORTH ROAD
(R/W VARIES PER ROAD PLAT BOOK 5, PAGE 130)
(STATE ROAD NO 802)



cph

www.cphcorp.com

A Full Service
A & E Firm

Architects
Engineers
Environmental
Landscape Architects
M/E/P
Planners
Surveyors
Traffic / Transportation

Offices in:
• Florida
• Puerto Rico
• Connecticut
• Maryland
• Texas

PK	By
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

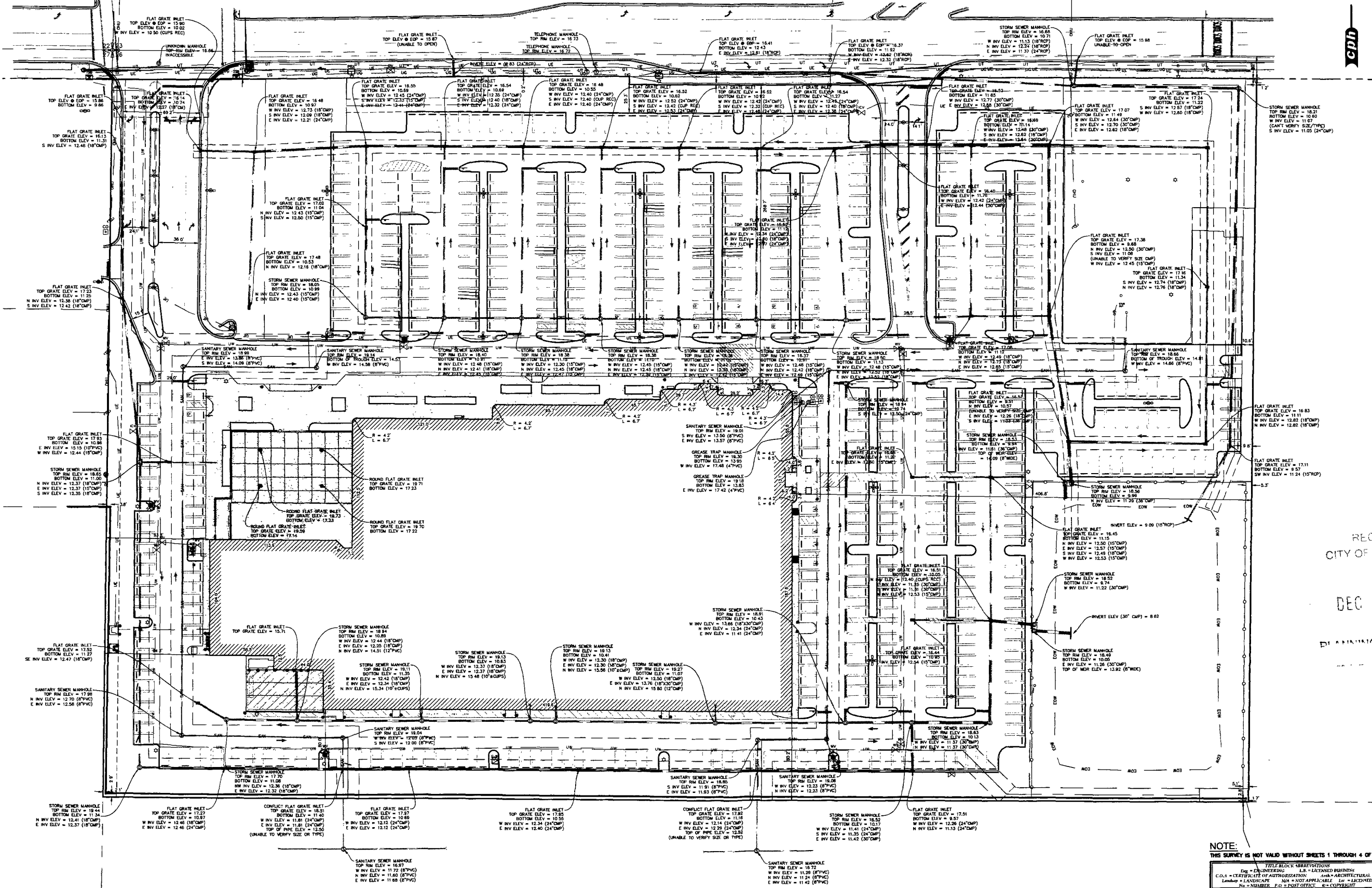
Field Crew:	Drawn by:	Checked by:	Approved by:	Date:	Job No.:	File:
K.S.	JAB/JTF	R.L.R.	P.J.K.	5/12/16	19712.1	© 2016

Survey Prepared by:
CPH, Inc.
600 West Fulton St.
Sanford, FL 32771
Ph: 407.322.6841
Licenses:
Eng. C.O.A. No. 3216
Survey L.S. No. 7143
Arch. Lic. No. AA2600926
Landscape Lic. No. LC0060298

BOUNDARY & TOPOGRAPHIC SURVEY
(ALTA/NSPS LAND TITLE SURVEY)
TARGET CORPORATION
5000 LAKE WORTH ROAD
SECTION 28-TOWNSHIP 4 SOUTH-RANGE 4 EAST
PALM BEACH COUNTY, FLORIDA

Sheet No.
4
of 4

NOTE:
THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4.
TITLE BLOCK ABBREVIATIONS:
Eg - ENGINEERING L.S. - LICENSED BUSINESS
C.O.A. - CERTIFICATE OF AUTHORIZATION A.S. - ARCHITECTURAL
Landscape - LANDSCAPE NW - NOT APPLICABLE Lic. - LICENSED
No. - NUMBER Pg. - PAGE OBJECT - COPYRIGHT



4-96-010