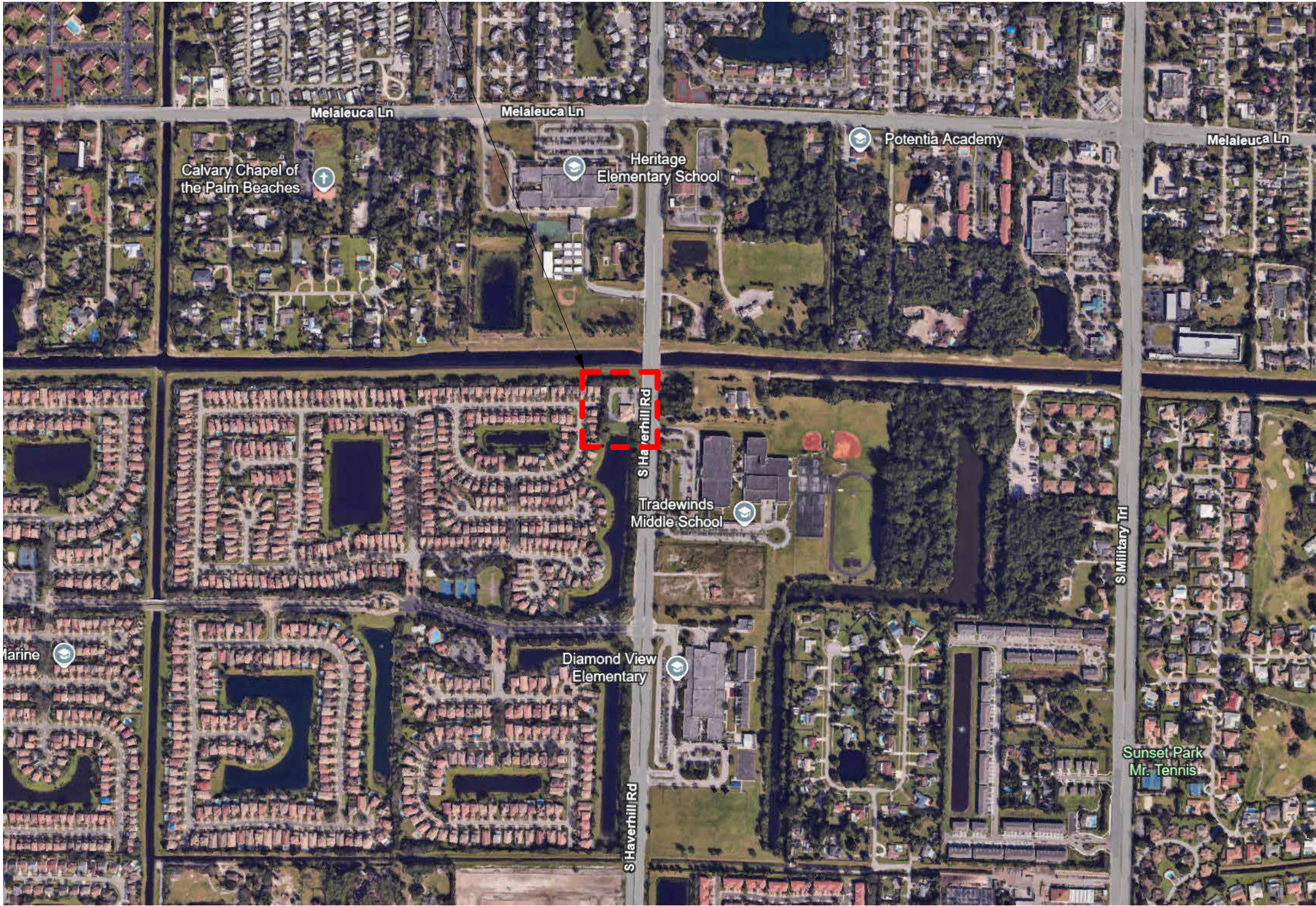


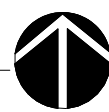
BLDG PLAN + LIFE SAFETY PLAN  
1/8" = 1'-0"



PROJECT LOCATION



LOCATION MAP  
N.T.S



# FIRE RESCUE STATION 95 LOUNGE RENOVATION

## CITY OF GREENACRES

5095 HAVERHILL ROAD  
GREENACRES, FLORIDA 33463

### PROJECT SCOPE + CODE RESEARCH

THE PROJECT SCOPE INVOLVES A LEVEL 2 INTERIOR ALTERATION TO CONVERT THE EXISTING OPEN BUNK ROOM—APPROXIMATELY 480 SQUARE FEET—INTO SIX PRIVATE LOUNGE ROOMS DESIGNED AS RESIDENTIAL **R-2 LIVE/WORK UNITS**. **THIS IS A TURNKEY PROJECT**, MEANING THE AWARDED CONTRACTOR WILL PROVIDE/INSTALL FOR TURNKEY DELIVERY, INCLUDING ALL FFE. OWNER WILL ONLY PROVIDE MATTRESSES.

THE ALTERATION INCLUDES:

- DEMOLITION AND INSTALLATION OF VCT FLOORING, BASE, AND ACT CEILING.
- CONSTRUCTION OF PARTITION WALLS WITH POCKET DOORS FOR EACH LOUNGE.
- ADDITION OF NEW ELECTRICAL OUTLETS, DATA, AND CABLE CONNECTIONS.
- INTEGRATION OF HVAC SUPPLY DIFFUSERS, WITH UNDERCUT DOORS FACILITATING RETURN AIR INTO THE HALLWAY WITH (1) THERMOSTAT LOCATED IN THE HALLWAY.

THE BUILDING IS FULLY SPRINKLER, AND IS EQUIPPED WITH FULL LIFE SAFETY DEVICES THAT CLEARLY IDENTIFY ALL EXIT SIGNS, EXIT ROUTES, LOCATIONS OF ALL FIRE ALARM SYSTEMS, FIRE EXTINGUISHERS AND BATTERY BACKUP LIGHT FIXTURES. ALL MEANS OF EGRESS EQUIPMENT ARE TO REMAIN OPERATIONAL AND CLEARLY VISIBLE THROUGH THE ENTIRE DURATION OF CONSTRUCTION AND AFTER PROJECT COMPLETION.

**GENERAL PLUMBING NOTES**  
ALL EXISTING PLUMBING FIXTURES / RESTROOMS ARE EXISTING TO REMAIN. THE ALTERATION DOES NOT INCREASE THE REQUIRED NUMBER OF PLUMBING FIXTURES FOR THE TENANT SPACE.

NO NEW PLUMBING FIXTURES ARE REQUIRED.

**GENERAL ELECTRICAL NOTES**  
ALL EXISTING LIGHT FIXTURES, BATTERY BACKUP FIXTURES AND RELATED CONTROLS WITHIN THE AREA OF WORK ONLY ARE TO BE REPLACE IN KIND.

NO OTHER ELECTRICAL WORK IS TO BE PREFORMED OUTSIDE THE AREA OF WORK.

**GENERAL MECHANICAL NOTES**  
ALL EXISTING MECHANICAL DUCTS WITHIN THE AREA OF WORK ARE TO BE RE-DIRECTED PER MECHANICAL PLAN.

NO OTHER MECHANICAL WORK IS TO BE PREFORMED OUTSIDE THE AREA OF WORK.

### INTERIOR FINISHES

INTERIOR FINISHES FOR **R-2 LIVE/WORK UNITS**

EXIT ENCLOSURES SHALL HAVE MINIMUM CLASS 'B'  
CORRIDORS SHALL HAVE MINIMUM CLASS 'B'  
ALL REMAINING SPACES SHALL HAVE MINIMUM CLASS 'B'

ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH:

CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED 0-450  
CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450  
CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450  
ASTM E 84. MATERIALS OTHER THAN TEXTILES SHALL BE TESTED IN ACCORDANCE WITH NFPA 286.

### ARCHITECT

ROBLING ARCHITECTURE CONSTRUCTION, INC.  
101 WALKER AVE.  
GREENACRES, FL 33463  
T: 561-649-6705

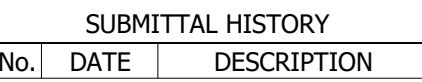
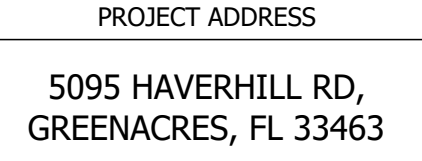
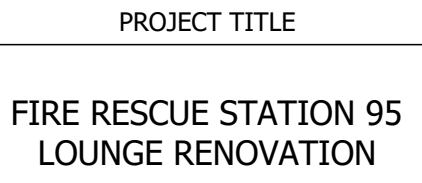
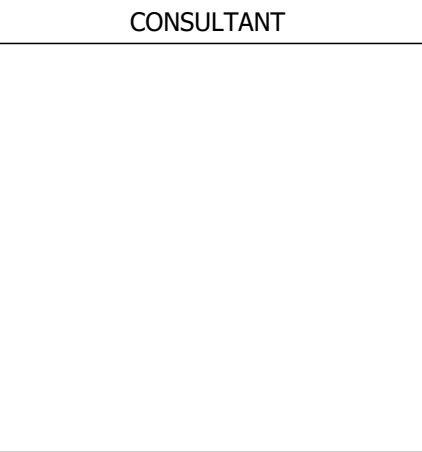
### MEP ENGINEER

BEACON CONSULTING ENGINEERS, LLC.  
625 CASA LOMA BLVD, SUITE 106  
BOYNTON BEACH, FL 33435  
T: 561-424-3270

THE ARCHITECTURAL DRAWING INDEX TAKES PRECEDENCE OVER ANY CONSULTANT INDEXES THAT MAY BE SHOWN ON CONSULTANT'S DRAWINGS. ANY INCORRECT DRAWING INDEX SHOWN ON CONSULTANT'S DRAWINGS SHALL BE DISREGARDED.

### SHEET INDEX

SHEET NO	SHEET NAME	ISSUE DATE	DRAWING HISTORY	
			REV NO	REV DATE
GENERAL				
T1.0	COVER SHEET	06/11/25		
T1.1	NOTES, ABBREVIATIONS & LEGEND	06/11/25		
ARCHITECTURAL				
A1.1	FLOOR PLANS	06/11/25	1	10/29/25
A2.1	REFLECTED CEILING PLANS	06/11/25		
A6.1	MISCELLANEOUS DETAILS	06/11/25		
A8.1	DOOR AND WINDOW SCHEDULE & ELEVATIONS	06/11/25	1	10/29/25
MECHANICAL				
M0.1	MECHANICAL NOTES, LEGEND, & SHEET INDEX	06/11/25		
M1.1	MECHANICAL PLAN	06/11/25		
M2.1	MECHANICAL DETAILS	06/11/25		
ELECTRICAL				
E0.1	ELECTRICAL NOTES, LEGEND, & SHEET INDEX	06/11/25		
E1.1	POWER PLAN	06/11/25		
E2.1	LIGHTING PLAN	06/11/25		
E3.1	PANEL SCHEDULES, ELECTRICAL RISER DIAGRAM	06/11/25		
FIRE PROTECTION				
FP0.1	FIRE PROTECTION NOTES, LEGEND, & SHEET INDEX	06/11/25		
FP1.1	FIRE PROTECTION PLAN	06/11/25		



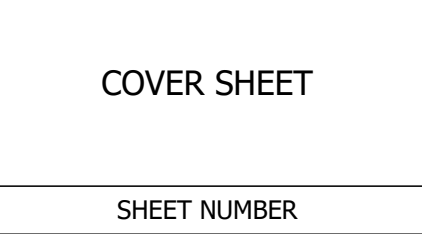
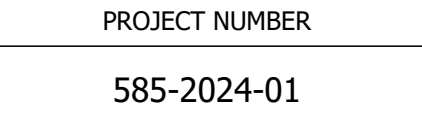
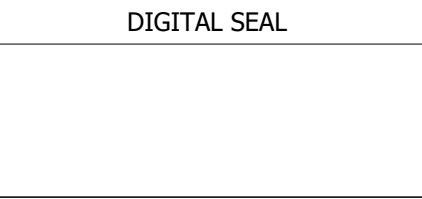
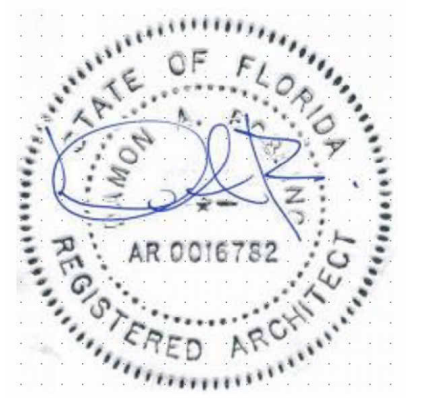
THE DRAWINGS AND SPECIFICATIONS INCLUDED OR REFERENCED HEREIN SHALL BE USED AS A COMPLETE SET AND SHALL NOT BE SEPARATED INTO INDIVIDUAL SHEETS OR BY DISCIPLINE.

INFORMATION CONTAINED ON ONE SHEET MAY SPECIFICALLY APPLY TO INFORMATION OR CONDITIONS ILLUSTRATED ON OTHER SHEETS.

IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT SUCH ITEMS ARE COORDINATED AND INCLUDED IN ANY PRICING INFORMATION.

FIELD VERIFY AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS FROM THE PLANS AND / OR SPECS PRIOR TO CONSTRUCTION

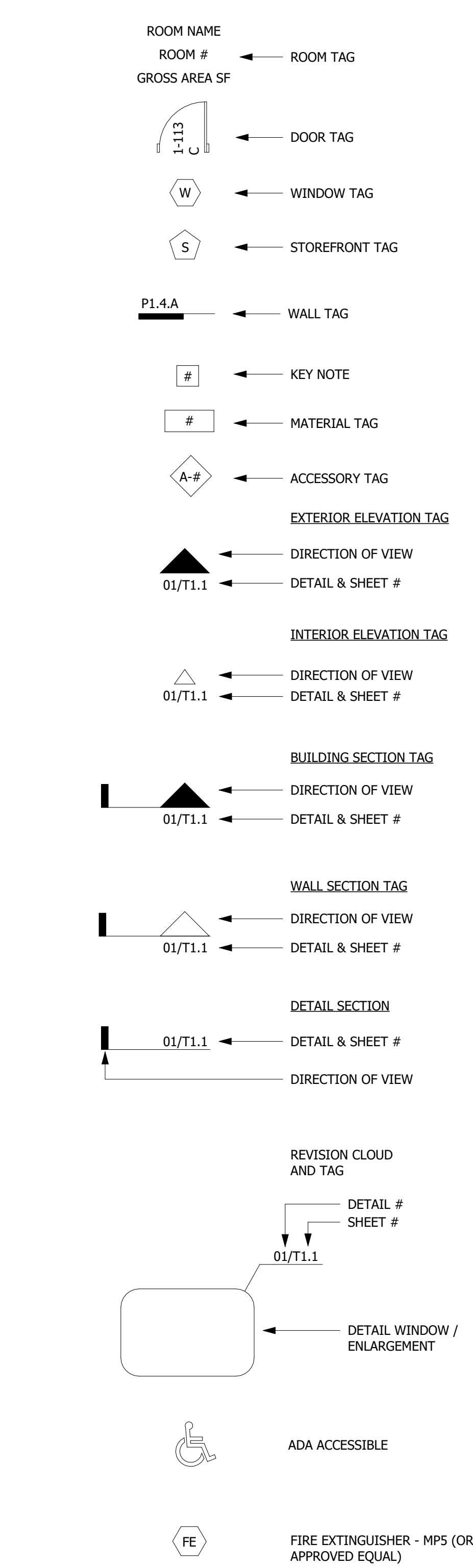
© ROBLING ARCHITECTURE CONSTRUCTION, INC.



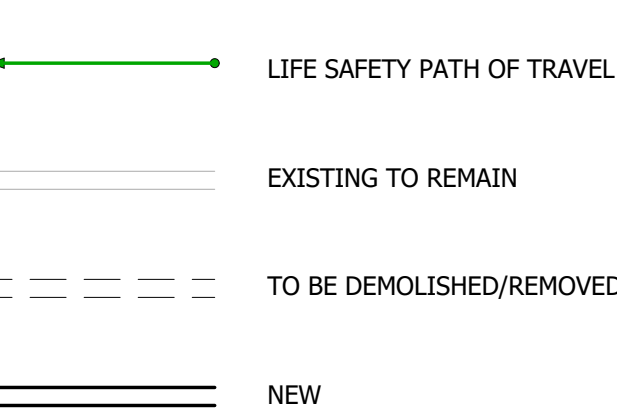
ARCHITECTURAL ABBREVIATIONS

ABV	ABOVE	JB	JOIST BEARING
A/C	AIR CONDITIONING	JT	JOINT
ACC	ACCESSIBLE	MANF	MANUFACTURER
ACT	ACCESTRICAL CEILING TILE	MAN	MANT
AD	AREA DRAIN	MAX	MAXIMUM
ADJ	ADJUSTIBLE	MECH	MECHANICAL
AFF	ABOVE FINISH FLOOR	MEP	MECHANICAL / PLUMBING
AHU	AIR HANDLER UNIT	MIN	MINIMUM
ALUM	ALUMINIUM	MISC	MISCELLANEOUS
APPROX	APPROXIMATE	MO	MASONRY OPENING
CP	BOARD	MTD	MOUNTED
BLDG	BUILDING	MTL	METAL
BLK	BLOCK	NIC	NOT IN CONTRACT
BM	BEAM	NOA	NOTICE OF ACCEPTANCE
BOB	BOTTOM OF BEAM	NTS	NOT TO SCALE
BUR	BUILT-UP ROOF	OH	OVERHEAD
CAB	CABINET	OC	ON CENTER
CJP	CAST IN PLACE	OD	OUTSIDE DIAMETER
CJ	CONTROL JOINT	OLF	OCCUPANT LOAD FACTOR
CL	CENTERLINE	OPP	OPPOSITE
CLF	CHAIN LINK FENCE	OTH	OTHER
CLO	CLOSET	PJ	PANEL JOINT
CLR	CLEAR	PLAM	PLASTIC LAMINATE
CLG	CEILING	PLYWD	PLYWOOD
CNU	CONCRETE MASONRY UNIT	POB	POINT OF BEGINNING
COL	COLUMN	PREFAB	PREFABRICATED
COORD	COORDINATE	PSF	POUNDS PER SQUARE FOOT
CONT	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CORR	CORRIDOR	PT	PRESSURE TREATED
CUST	CUSTODIAL	R	RISE
D	DEPTH	RA	RETURN AIR
DDC	DISTRICT DESIGN CRITERIA	RAD / R	ROUGH OPENING
DMS	DISTRICT MASTER SPECIFICATIONS	RO	ROOF DRAIN
DN	DOWN	REF	REFRIGERATOR
DWG	DRAWING	REINF	REINFORCING
EA	EACH	REQ'D	REQUIRED
EC	EASED CORNER	REVERSE	REVERSE
EF	EXHAUST FAN	RM	ROOM
EFG	EXPANSION JOINT	RO	ROUGH OPENING
ELECT	ELECTRICAL	RWL	RAIN WATER LEADER
ELEV	ELEVATION / ELEVATOR	SC	SOLID CORE WOOD
EQ	EQUAL	SCHED	SCHEDULE
EQUIP	EQUIPMENT	SHT	SHEET
EXIST	EXISTING	SHWR	SHOWER
EXP	EXPANSION	SIM	SIMILAR
ENV	ELECTRIC WATER COOLER	SP	SPACE
EXT	EXTERIOR	SPEC(S)	SPECIFICATION(S)
FD	FLOOR DRAIN	SS	STAINLESS STEEL
FE	FIRE EXTINGUISHER	STD	STANDARD
FEC	FIRE EXTINGUISHER COOLER	STO	STORAGE
FDN	FOUNDATION	STL	STEEL
FG	FIRE RATED GLAZING	STU	STUDENT
FHC	FIRE HOSE CABINET	SUSP	SUSPENDED
FIN	FINISH	T	THICKNESS / TREAD
FF	FINISH FLOOR	TBD	TO BE DETERMINED
FLR	FLOOR	TG	TEMPERED SAFETY GLAZING
FR	FIRE RETARDANT	TO/ B	TOP OF BEAM
FRT	FIRE RETARDANY TREATED	TO/ C	TOP OF CONCRETE
FT	FEET / FOOT	TO/ F	TOP OF FOOTING
GA	GAGE	TO/ M	TOP OF MASONRY
GALV	GALVANIZED	TO/ P	TOP OF PARAPET
GEN	GENERAL	TO/ S	TOP OF SLAB
GL	GLASS	TO/ W	TOP OF WALL
GUM	GLASS UNITY MASONRY	TYP	TYPICAL
GWB	GYPSPUM WALL BOARD	UNO	UNLESS NOTED OTHERWISE
GYP	GYPSPUM	VERT	VERTICAL
H / HGT	HEIGHT	VEST	VESTIBULE
HM	HOLLOW CORE WOOD	VIF	VERIFY IN FEILD
ID	INSIDE DIAMETER	VCT	VINYL COMPOSITION TILE
IG	IMPACT RATED GLAZING	W	WIDE / WIDTH
INSUL	INSULATION	W/	WITH
INT	INTERIOR	WD	WOOD
		WWF	WELDED WIRE FABRIC

SYMBOL LEGEND



LINE TYPE LEGEND



HATCH LEGEND



RENOVATION GENERAL NOTES

- THE NATURE OF RENOVATION PROJECTS POSE UNFORESEEN CONDITIONS FOR THE ARCHITECT AND CONTRACTOR. AN EFFORT HAS BEEN MADE TO ACCURATELY DEPICT EXISTING BUILDING AND SITE CONDITIONS, HOWEVER, DEVIATIONS MAY BE ENCOUNTERED MATERIAL COURSE OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCOVERIES THAT CONFLICT WITH THE DRAWINGS PRIOR TO CONSTRUCTION.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. **THE CONTRACTOR IS EXPECTED TO COORDINATE, FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE AND FUNCTIONAL INSTALLATION.** THE CONTRACTOR SHALL USE THE PLANS IN CONJUNCTION WITH THE SPECIFICATIONS AND PRIOR TO CONSTRUCTION. **IF A CONFLICT OCCURS WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR IS DEEMED TO HAVE BASED THE CONSTRUCTION COSTS ON THE MORE EXPENSIVE MATERIAL AND / OR METHOD OF COMPLETING THE WORK, UNLESS THE CONTRACTOR HAS REQUESTED AND RECEIVED A WRITTEN DECISION FROM THE ARCHITECT PRIOR TO SUBMITTING THE FINI / PRICE COSTS.**
- EXISTING CONDITIONS SHOWN IN THESE DRAWINGS ARE BASED ON FIELD OBSERVATIONS AND RECORD DOCUMENTS FURNISHED BY THE OWNER, THAT MAY NOT SHOW ALL BUILDING / SITE CONDITIONS. CONTRACTOR TO VISIT THE SITE AND FAMILIARIZE ITSELF WITH ALL EXISTING CONDITIONS AFFECTING THE WORK INCLUDING BUT NOT LIMITED TO: PRIVATE AND PUBLIC UTILITIES ON AND OFF THE SITE, ACCESS ROADS AND OTHER SUPPORT FACILITIES BEFORE SUBMITTING COST INFORMATION, BIDS OR COMMENCING WORK.
- UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN INSTALL ALL MATERIAL / PRODUCTS FOR THIS PROJECT IN STRICT ACCORDANCE WITH THE MANUFACTURERS LATEST PUBLISHED SPECIFICATIONS / RECOMMENDATIONS. IF CONFLICT ARISES, NOTIFY ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL COVER AND PROTECT ALL EXISTING TO REMAIN AND NEWLY INSTALLED FINISHES FROM DAMAGE OR UNNECESSARY SOILING THROUGHOUT THE DURATION OF CONSTRUCTION. ALL MATERIAL DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL FIELD MEASURE ALL DISTANCES AND CLEARANCES PRIOR TO COMMENCEMENT OF NEW WORK OR ORDERING OF MATERIALS. ANY DEVIATIONS TO THE CONTRACT DRAWINGS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THAT PORTION OF WORK. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO VERIFY WHICH PARTY WILL PAY FOR ALL CONSTRUCTION PERMITS, FEES AND LICENSES AND INSPECTIONS. NECESSARY FOR A PROPER COMPLETION OF ALL WORK ASSOCIATED WITHIN THESE CONSTRUCTION DRAWINGS.
- PERFORMANCE OF ALL WORK IS TO BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES & ORDINANCES. CONTRACTOR SHALL HAVE ALL APPLICABLE CODE REFERENCES ON SITE AND AVAILABLE TO ALL TRADES.
- THE CONTRACTOR SHALL USE ONLY THOSE ENTRANCES AND PARKING FACILITIES ASSIGNED BY THE OWNER FOR SITE ACCESS. ALL MATERIAL DELIVERIES AND DEMOLITION / TRASH SHALL BE REMOVED DAILY.
- THE CONTRACTOR SHALL ENSURE THAT ALL EXISTING / NEW CONSTRUCTION WILL BE SHELTERED FROM DAMAGE BY WEATHER AT ALL TIMES DURING THE CONSTRUCTION / DEMOLITION PROCESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING FIRE RATED WALLS AND FIRE / SMOKE BARRIERS, TO INCLUDE REPARATION OF NEW AND EXISTING DAMAGE AND / OR PENETRATIONS. CONTRACTOR SHALL REFER TO LATEST EDITION OF THE U.L. FIRE RESISTANCE DIRECTORY FOR SPECIFIC REQUIREMENTS OF THE RATED WALL ASSEMBLY U.L. DESIGN NUMBER AS INDICATED ON THE PARTITION TYPES IN THESE DOCUMENTS. FIRE SEALING OF PENETRATIONS SHALL CONFORM TO THE SPECIFIC U.L. THROUGH PENETRATION FIRESTOP SYSTEM AS COORDINATED WITH THE RATED WALL ASSEMBLY U.L. DESIGN NUMBER
- ALL SMOKE AND FIRE RATED WALLS SHALL BE LABELED ABOVE THE CEILING WITH RED, PAINTED STENCILED LETTERING IDENTIFYING THE APPLICABLE WALL RATING AND STATING EITHER "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS" AT SMOKE AND FIRE RATED WALLS OR "FIRE BARRIER - PROTECT ALL OPENINGS" AT FIRE RATED WALLS. STENCILED LABELING SHALL OCCUR ON BOTH SIDES OF EACH SMOKE AND FIRE RATED WALL AT NOT MORE THAN 15 FEET ON CENTER AND ALL WALL TERMINATION OR CHANGES IN DIRECTION SHALL BE DESIGNATED WITH A VERTICAL LINE PER FBCB 703.7.
- THE CONTRACTOR SHALL COORDINATE ELECTRICAL AND MECHANICAL SUBCONTRACTORS AS RELATES TO SCOPE OF ELECTRICAL WORK ASSOCIATED WITH THE COMPLETE AND FUNCTIONING MECHANICAL SYSTEM, FIRE ALARM SYSTEM WIRING, AND CONTROLS WIRING REQUIRED BY THE MECHANICAL DRAWINGS AND NOT INDICATED ON THE ELECTRICAL DRAWINGS. CONTRACTOR SHALL ALLOW IN BID FOR COST OF ELECTRICAL WORK NECESSARY TO COMPLETE INDICATED WIRING & TERMINATIONS.
- ALL EXPOSED WOOD AND / OR WOOD IN NON-PROTECTED CONCEALED SPACES SHALL BE FIRE RETARDANT TREATED WOOD.
- THE CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF PLUMBING PIPING AND FITTINGS SO THAT THEY ARE CONCEALED BEHIND FINISHED SURFACE OF WALL UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE IS A CONFLICT WITH THE WALL TYPE CALLED FOR IN THE PLAN.
- THE CONTRACTOR SHALL COORDINATE WALL DEPTH SO THAT ALL ELECTRICAL PANELS AND DEVICES ARE FLUSH MOUNTED IN WALL UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE IS A CONFLICT WITH THE WALL TYPE CALLED FOR IN THE PLAN.
- THE DRAWINGS INCLUDED IN THIS SET ARE DESIGNED AS A COMPLETE SET AND SHALL NOT BE SEPARATED INTO INDIVIDUAL SHEETS OR BY DISCIPLINE. INFORMATION CONTAINED ON ONE SHEET MAY SPECIFICALLY APPLY TO INFORMATION OR CONDITIONS ILLUSTRATED ON OTHER SHEETS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT SUCH ITEMS ARE COORDINATED AND INCLUDED IN ANY PRICING INFORMATION.
- PROVIDE CONTINUOUS SEALANT TO PROVIDE "WATER TIGHT" AND "AIR TIGHT" CONDITIONS AT THE PERIMETER OF ALL DOOR FRAMES, INTERIOR WINDOW FRAMES, EXTERIOR WINDOW FRAMES, WINDOW SILLS, CABINETS, CASEWORK, COUNTER TOPS, TOILET ACCESSORIES (BOTH RECESSED AND SURFACE MOUNTED), FIRE EXTINGUISHER CABINETS, FIRE DEPARTMENT VALVE CABINETS, ETC. (EVEN WHEN THE JOINT AT THE PERIMETER IS EITHER HIDDEN OR NOT CLEARLY VISIBLE).
- VARIOUS COMPONENTS OF CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND / OR OTHER SPECIALTIES MAY BE SHOWN IN THE ARCHITECTURAL DRAWINGS FOR INFORMATIONAL PURPOSES ONLY. REFER TO THE RESPECTIVE SPECIALTY DRAWINGS AND SPECIFICATIONS FOR INFORMATION.
- THE CONTRACTOR SHALL NOT ALTER, LOAD OR PENETRATE THE STRUCTURE IN ANY MANNER WHICH MAY COMPROMISE ITS INTEGRITY
- ANY EXISTING ELECTRICAL, PLUMBING OR HVAC DEVICES OR SYSTEMS WHICH ARE NEEDED TO MAINTAIN THE OPERATIONS OF THE SYSTEM, SHALL BE CAPPED OFF OR REROUTED AS NECESSARY TO MAINTAIN SYSTEM, REGARDLESS IF INDICATED HEREIN. WHEN REMOVING FIXTURES OR DEVICES, REMOVE ALL ASSOCIATED WIRE, BOXES, FRAMING, PIPING OR STRUCTURAL SUPPORT (UNO). SEE ELECTRICAL, HVAC, AND PLUMBING FOR ADDITIONAL DEMOLITION NOTES, AND DETAILS.
- ALL BUILDING SYSTEMS (I.E.: WATER, SANITARY, FIRE ALARM, ELECTRIC, ETC.) SHALL REMAIN IN OPERATION THROUGHOUT CONSTRUCTION. ALL NECESSARY INTERRUPTIONS FOR CONNECTION OF NEW WORK SHALL BE PERFORMED AFTER NORMAL BUSINESS HOURS AND APPROVED BY THE OWNER A MINIMUM OF 72 HOURS IN ADVANCE.
- THE CONTRACTOR SHALL SCHEDULE ALL WORK TO AVOID INTERRUPTIONS TO ADJACENT AREAS. ALL DISRUPTIVE WORK SHALL BE SCHEDULED AND PERFORMED BEFORE / AFTER NORMAL BUSINESS HOURS. WORK STOPPAGE DUE TO VIBRATIONS, ETC. THAT DISTURB THE OCCUPANTS SHALL BE COORDINATED WITH THE OWNER AND MAY NOT BE GROUNDS FOR ADDITIONAL CHARGES OR CHANGE ORDERS.
- CONTRACTOR TO COMPLY WITH FBC 8TH EDITION (2023) - 449.3.4.8 REQUIRING 4" CLEARANCE BETWEEN CONDUITS, PIPING AND DUCTWORK PARALLEL OR ADJACENT TO FIRE AND FIRE SMOKE RATED WALLS AND BARRIERS.
- APPLICABLE STANDARDS OF THE CONSTRUCTION INDUSTRY HAVE THE SAME FORCE AND EFFECT ON PERFORMANCE OF THE WORK AS IF COPIED DIRECTLY INTO CONTRACT DOCUMENTS OR BOUND AND PUBLISHED HEREWITH. COMPLY WITH STANDARDS IN EFFECT AS OF THE DATE OF CONTRACT DOCUMENTS, UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO FURNISH & INSTALL APPROPRIATE METAL (16 GA MIN) AND / OR WOOD BLOCKING REQUIRED FOR EQUIPMENT, ACCESSORIES, RAILINGS AND "BY OTHERS" ITEMS. BLOCKING SHALL BE CONSTRUCTED TO SUPPORT THE IMPOSED LOAD.

COORDINATION

THE INFORMATION RELATING TO EXISTING CONDITIONS CONTAINED IN THESE PLANS IS BASED ON INFORMATION FURNISHED BY OTHERS AND LIMITED FIELD OBSERVATIONS OF VISIBLE BUILDING ELEMENTS. **CONCEALED CONDITIONS MAY VARY SIGNIFICANTLY FROM WHAT IS DEPICTED HEREIN.**

PUNCHLIST REQUIREMENTS

- UPON COMPLETION OF THE WORK, CONTRACTOR SHALL INSPECT THEIR WORK AND PREPARE ITEMIZED, DATED PUNCH LIST(S) OF ITEMS REQUIRING CORRECTIVE ACTION.
- WHEN THE CONTRACTOR HAS PERFORMED HIS CORRECTIVE ACTIONS AND VERIFIED COMPLETION OF EACH ITEM, CONTRACTOR SHALL SIGN OFF, AND DATE EACH ITEM.
- UPON COMPLETION OF ITEM 2 ABOVE, THE CONTRACTOR WILL FORWARD A COPY OF SAID PUNCH LIST(S) TO THE DESIGN TEAM FOR REVIEW PRIOR TO THE ASSOCIATED SITE VISIT. ONCE NOTIFIED, THE DESIGN TEAM WILL SCHEDULE THEIR SITE VISIT WITHIN 7 DAYS. THE DESIGN TEAM WILL NOT SCHEDULE THEIR SITE VISIT WITHOUT REVIEWING THE CONTRACTORS COMPLETED PUNCH LISTS REFERENCED IN NOTE 1.
- UPON COMPLETION OF THEIR INSPECTION, THE ARCHITECT SHALL FORWARD THE PUNCH LIST(S) TO THE CONTRACTOR.
- THE CONTRACTOR SHALL CORRECT THESE ITEMS WITHIN A MUTUALLY AGREED TIME PERIOD.
- UPON COMPLETION OF ITEM 5 ABOVE, THE CONTRACTOR SHALL VERIFY THAT ALL CORRECTIVE ACTION HAS BEEN COMPLETED AND RETURN THE PUNCH LIST WITH CONTRACTOR'S SIGN OFF, AND DATE OF REINSPECTION TO THE ARCHITECT.
- THE DESIGN TEAM RESERVES THE RIGHT TO DEEM THE PROJECT "NOT READY FOR PUNCH LIST" IF THERE ARE MULTIPLE, SIMILAR OR REPETITIVE DEFICIENCIES OBSERVED. IN THIS CASE THE DESIGN TEAM MAY PREPARE A GENERAL PUNCH LIST BASED OFF THESE OBSERVATIONS AND ISSUE TO THE CONTRACTOR. THE CONTRACTOR SHALL REVISIT EACH SPACE TO CORRECT AND VERIFY THAT THESE ITEMS ARE COMPLETE PRIOR TO REQUESTING THAT THE ARCHITECT AND/OR CONSULTING TEAM RETURN TO PREPARE A PUNCH LIST.
- MULTIPLE VISITS BY THE DESIGN TEAM TO VERIFY COMPLETION OF ITEMS ON THE PUNCH LIST MAY BE CLASSIFIED AS ADDITIONAL SERVICES AND BILLED TO THE OWNER ACCORDINGLY.**

PERMITTING

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS COMPLY WITH THE MINIMUM APPLICABLE CODES.

APPLICABLE CODES

- FLORIDA BUILDING CODE (FBC) 8TH EDITION (2023)
  - FLORIDA BUILDING CODE - ACCESSIBILITY 8TH EDITION (2023)
  - FLORIDA BUILDING CODE - BUILDING 8TH EDITION (2023)
  - FLORIDA BUILDING CODE - ENERGY CONSERVATION 8TH EDITION (2023)
  - FLORIDA BUILDING CODE - EXISTING BUILDING 8TH EDITION (2023)
  - FLORIDA BUILDING CODE - FUEL GAS 8TH EDITION (2023)
  - FLORIDA BUILDING CODE - MECHANICAL 8TH EDITION (2023)
  - FLORIDA BUILDING CODE - PLUMBING 8TH EDITION (2023)
- FLORIDA FIRE PREVENTION CODE 8TH EDITION (2023)
  - NFPA 1 FIRE CODE 2021 EDITION
  - NFPA 101 LIFE SAFETY CODE 2021 EDITION
  - NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS 2019 EDITION
  - NFPA 70 NATIONAL ELECTRIC CODE 2020 EDITION
  - NFPA 72 NATIONAL FIRE ALARM & SIGNALING CODE 2019 EDITION
  - STATE FIRE MARSHAL'S RULE 69A-58 FAC

NOA / FLORIDA PRODUCT APPROVAL / SPECIALTY ENGINEERING

REVIEW AND APPROVAL REQUIRED  
CONTRACTOR SHALL SUBMIT NOA, FLORIDA PRODUCT APPROVAL OR SIGNED AND SEALED SPECIALTY ENGINEERING DOCUMENTS FOR THE INSTALLATION AND ATTACHMENT OF ANY ITEM EXPOSED TO WIND LOADS, INCLUDING BUT NOT LIMITED TO: DOORS, WINDOWS, GUTTERS, LIGHT FIXTURES, ROOF VENTILATORS, ROOF MOUNTED MECHANICAL EQUIPMENT, LP TANKS, GENERATORS ETC...

THE RESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW NOA / FLORIDA PRODUCT APPROVAL OR SIGNED AND SEALED SPECIALTY ENGINEERING SUBMISSIONS, RETURN TO THE CONTRACTOR AND THE CONTRACTOR SHALL FORWARD TO THE DISTRICT BUILDING CODE SERVICES DEPARTMENT FOR FINAL APPROVAL. ACTIONS TAKEN OR WORK ACCOMPLISHED PRIOR TO FINAL APPROVAL ARE DONE AT RISK.

SHOP DRAWINGS / PRODUCT DATA / FIELD VERIFICATION

THE CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND EXISTING CONDITIONS VERSUS WHAT IS SHOWN IN THESE DOCUMENTS **PRIOR TO SUBMITTAL OF SHOP DRAWINGS / PRODUCT DATA, FABRICATION, ORDERING OR INSTALLATION OF ANY ITEMS. ON EXISTING FACILITIES, THIS INCLUDES ROOF MOUNTED ITEMS AND ABOVE CEILING ITEMS (SUCH AS FANS) AND ANY ITEMS THAT MAY BE CONCEALED.** THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN WHAT IS SHOWN IN THESE DOCUMENTS VERSUS WHAT IS EXISTING IN THE FIELD PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS / PRODUCT DATA, FABRICATION, ORDERING OR INSTALLATION OF ANY ITEMS.

EXISTING UTILITIES

- THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL CENTER CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. (CALL SUNSHINE 1-800-638-4097)
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION BY USE OF RECORD DRAWINGS AND / OR ELECTRONIC LOCATING DEVICES.
- EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND BASED ON AVAILABLE RECORDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES, AND NOTIFYING THE ARCHITECT OF CONFLICTS AND VARIATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER, AND FOR DAMAGE TO EXISTING UTILITIES THAT ARE PROPERLY LOCATED.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, IF UPON EXCAVATION FINDS THE EXISTING UTILITY IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR OF A DIFFERENT SIZE OR MATERIAL FROM THAT SHOWN ON THE PLANS.

VERIFICATION OF EXISTING CONDITIONS

THE CONTRACTOR SHALL VERIFY EXISTING UTILITIES, SERVICES, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING ITEMS AND ELEMENTS ARE AS SHOWN IN THE PLANS. WHERE EXISTING ITEMS ARE IDENTIFIED IN THE PLANS TO BE REPLACED, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, TYPE AND SIZE OF THE EXISTING ITEM MATCHES THAT SHOWN ON THE PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO: DOORS, WINDOWS, HARDWARE, EXHAUST FANS, ROOF MOUNTED EQUIPMENT, ABOVE CEILING EQUIPMENT AND VERIFICATION THAT NEW ITEM IS COMPATIBLE WITH THE EXISTING VOLTAGE AND AMPERAGE. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. **ADDITIONAL COSTS SHALL NOT BE CONSIDERED UNLESS CONFLICTS OR DISCREPANCIES ARE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO SUBMITTAL OF SHOP DRAWINGS AND FABRICATION / PROCUREMENT.**


CONCEALED CONDITIONS

CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS IN THE DRAWINGS PRIOR TO CONSTRUCTION. **CONTRACTOR WILL NOT BE PAID FOR EXTRA WORK RESULTING FROM POOR COORDINATION BY THE CONTRACTOR.**

PROJECT MANAGEMENT APPLICATIONS/SOFTWARE


IT WILL BE AT THE ARCHITECT'S SOLE DISCRETION IF AND HOW THEY WILL PARTICIPATE IN THE USE OF THE CONTRACTOR'S PROJECT MANAGEMENT SOFTWARE FOR ANY AND ALL DESIGN TEAM RESPONSIBILITIES, INCLUDING, BUT NOT LIMITED TO: RFIS, SUBMITTALS, PUNCH LIST.

OWNER



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ARCHITECT



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CONSULTANT

PROJECT TITLE

FIRE RESCUE STATION 95  
LOUNGE RENOVATION

PROJECT ADDRESS

5095 HAVERHILL RD,  
GREENACRES, FL 33463

SUBMITTAL HISTORY

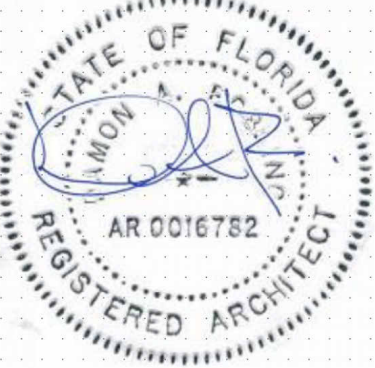
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THE DRAWINGS AND SPECIFICATIONS INCLUDED OR REFERENCED HEREIN SHALL BE USED AS A COMPLETE SET AND SHALL NOT BE SEPARATED INTO INDIVIDUAL SHEETS OR BY DISCIPLINE.

INFORMATION CONTAINED ON ONE SHEET MAY SPECIFICALLY APPLY TO INFORMATION OR CONDITIONS ILLUSTRATED ON OTHER SHEETS.  
IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT SUCH ITEMS ARE COORDINATED AND INCLUDED IN ANY PRICING INFORMATION.

FIELD VERIFY AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS FROM THE PLANS AND / OR SPECS PRIOR TO CONSTRUCTION

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PROJECT NUMBER

585-2024-01

SHEET TITLE

NOTES, ABBREVIATIONS & LEGEND

SHEET NUMBER

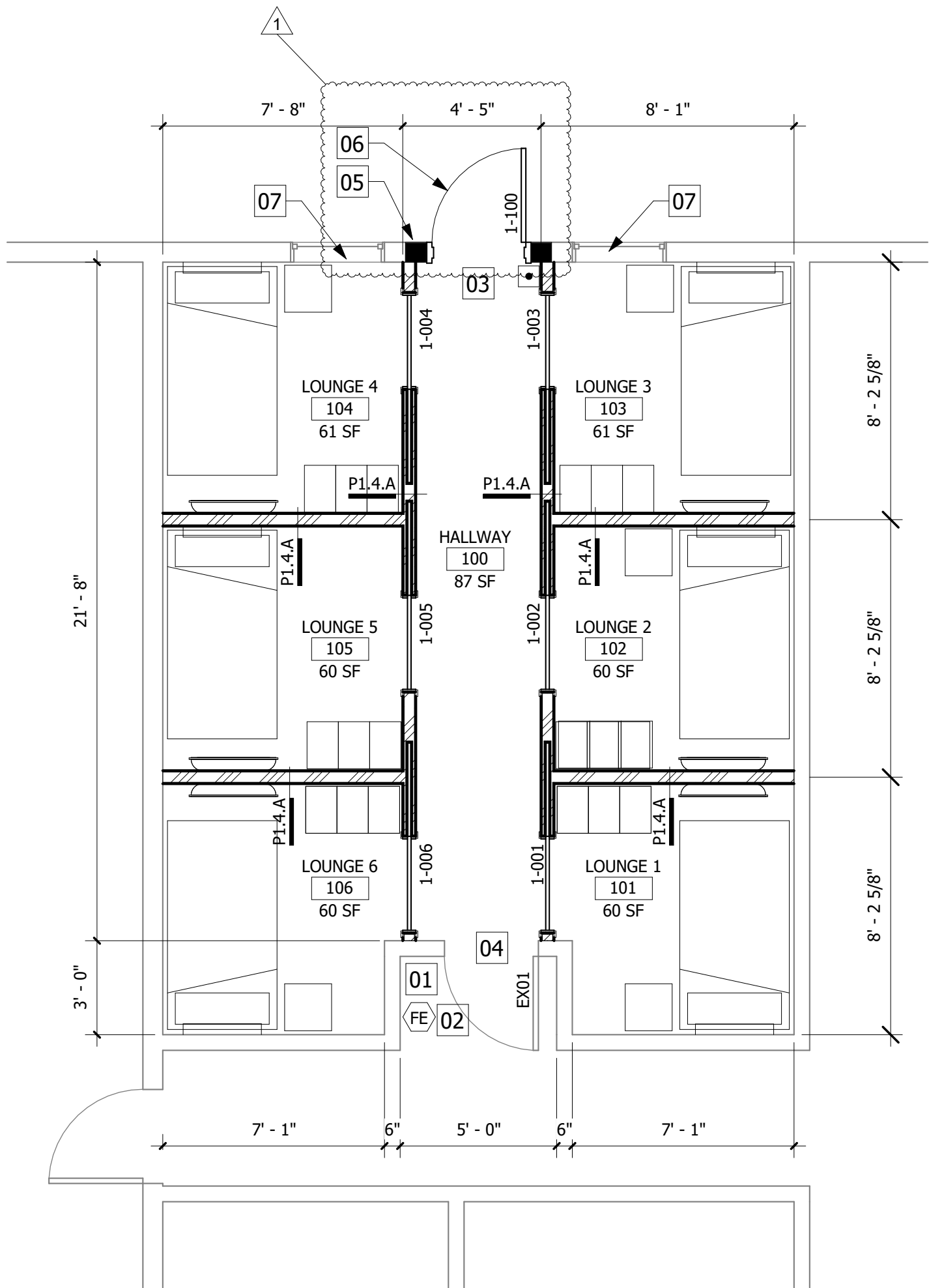
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FILE LOCATION  
PROJECT  
LAST PLOTTED

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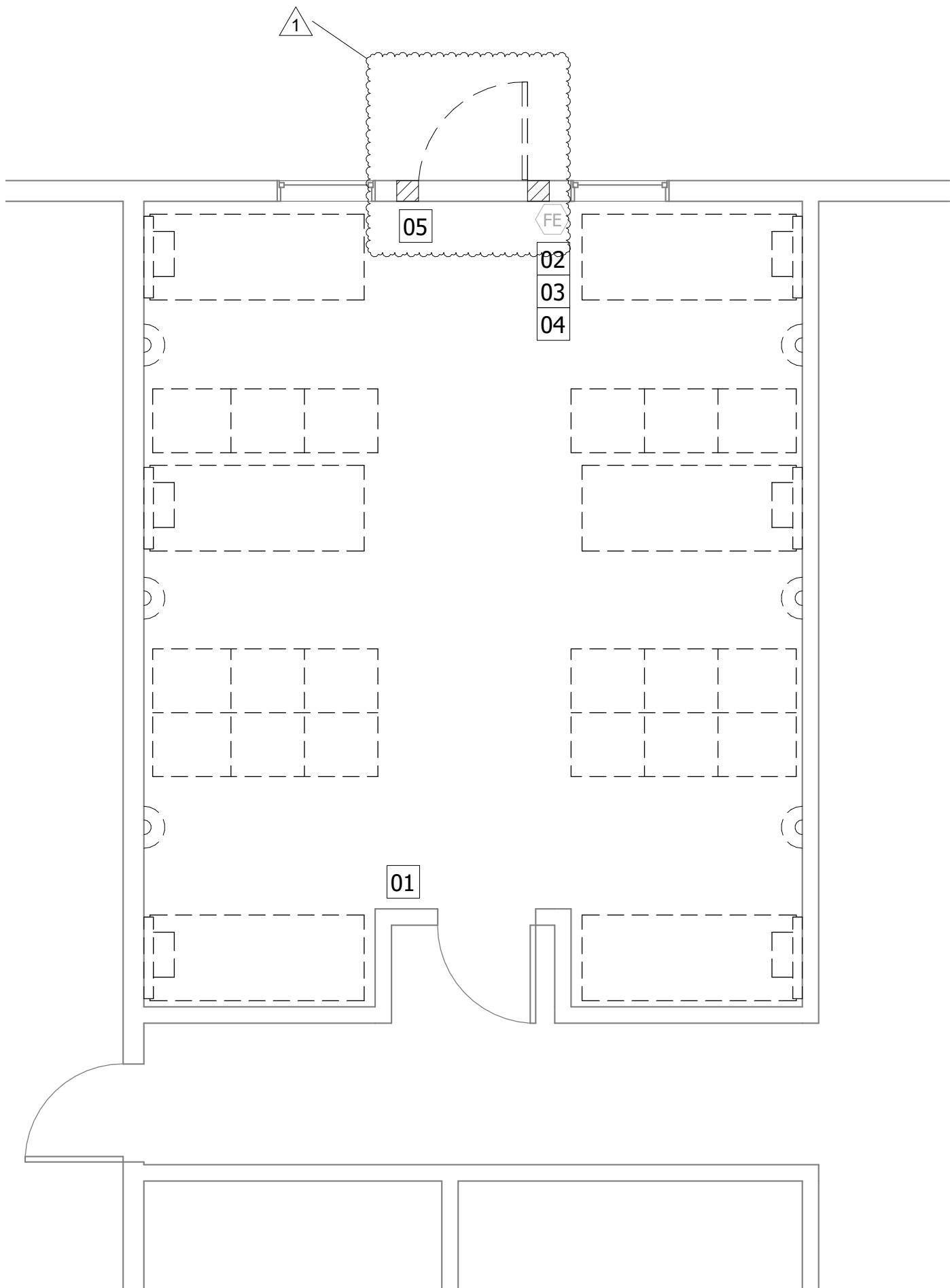
## 02 NEW WORK PLAN

1/4" = 1'-0"



## 01 DEMOLITION PLAN

1/4" = 1'-0"



## FINISHES GENERAL NOTES

- ALL SPECIFIED FINISHES ARE "OR APPROVED EQUAL". CONTRACTOR TO SUBMIT FOR OWNER'S APPROVAL.
- ALL FINISHES TO BE LOW V.O.C.
- PROVIDE APPROPRIATE ADA COMPLIANT THRESHOLDS/ TRANSITION STRIP WHERE FLOOR CHANGES MATERIAL. SUBMIT TO OWNER/TENANT FOR APPROVAL.
- ALL WALLS SHALL BE PREPARED TO A LEVEL III FINISH AND PAINTED WITH THE COLOR & SHEEN SPECIFIED IN THE FINISH SCHEDULE. ALL PAINTED SURFACES SHALL BE PRIME D PRIOR TO THE APPLICATION OF A MINIMUM OF 2 FINISH COATS OF PAINT. COORDINATE WITH OWNER AND TENANT TO IDENTIFY WALLS.

## FINISH MATERIAL LEGEND

<b>FLOORING</b>	
F1	VCT ARMSTRONG WASHED LINEN, 51810
<b>BASE</b>	
B1	RUBBER BASE TARKETT TRADITIONAL WALL BASE, 281, GRIZZLY CB
<b>WALLS</b>	
W1	PAINT SHERWIN WILLIAMS SEDATE GRAY, SW6169, EGGSHELL
<b>DOORS</b>	
D1	PAINT SHERWIN WILLIAMS GREEK VILLA, SW7551, SEMIGLOSS
D2	PAINT SHERWIN WILLIAMS GREEK VILLA, SW7551, SEMIGLOSS
<b>CEILING</b>	
C1	ACT ARMSTRONG ULTIMA, TEGULAR, FINE TEXTURE, WHITE, 2X2 SUPRAFINE XL, EXPOSED TEE SUSPENSION SYSTEM, WHITE

## NEW WORK GENERAL NOTES

- CONTRACTOR TO VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCEMENT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- REPAIR ANY DAMAGE TO EXISTING CONDITIONS OCCURRED DURING CONSTRUCTION.
- REFER TO SHEET A6.1 FOR PARTITION/WALL DETAILS.
- REFER TO SHEET A8.1 FOR DOOR DETAILS AND SCHEDULE.
- ALL PIPE PENETRATIONS THROUGH RATED PARTITIONS MUST MEET UL APPROVED STANDARDS. SUBMIT SYSTEM TO ARCHITECT FOR APPROVAL.
- PROVIDE SOLID WOOD BACKING FOR ALL WALLS TO RECEIVE TV MOUNTS. THE INSTALLATIONS SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO COVERING. CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED.
- INSTALL NEW VCT FLOORING & WALL BASE AS SCHEDULED.
- PROVIDE INTERIOR SIGNS AT NEW AND EXISTING DOORS IN AREA OF WORK TO MATCH BUILDING STANDARDS. REFER TO SHEET A6.1 FOR MORE INFORMATION.

## NEW WORK KEYNOTES

- REINSTALL WALL MOUNTED PHONE.
- REINSTALL FIRE EXTINGUISHER.
- REINSTALL EMERGENCY WALL PACK LIGHT FIXTURE ABOVE EXISTING EXIT EGRESS DOOR, WALL MOUNTED. ENSURE FIXTURE IS BELOW EXIT SIGN.
- INSTALL NEW ADA TRANSITION.
- ACCESS CONTROL KEYPAD. MOUNTED AT FBC ADA COMPLIANT HEIGHT.
- INSTALL NEW DOOR, FRAME AND HARDWARE
- NEW UBLOCKOUT ULTIMATE BLACKOUT SHADE WINDOW TREATMENT BLACKOUT ROLLER WITH SIDE AND BOTTOM BAR
- NEW UBLOCKOUT ULTIMATE BLACKOUT SHADE WINDOW TREATMENT BLACKOUT ROLLER WITH SIDE AND BOTTOM BAR

## NEW WORK LEGEND

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REQUIRED EQUIPMENT, WIRING, AND ASSOCIATED COMPONENTS NECESSARY TO ENSURE PROPER FUNCTIONALITY, IN ACCORDANCE WITH THE INTENDED DESIGN AND THE SPECIFIC REQUIREMENTS PROVIDED BY THE END-USER.

**CONTRACTOR TO PROVIDE AN ADDITIONAL SET OF EACH (1) BED, (1) NIGHTSTANDS, (3) LOCKERS. THE EXTRA SET WILL NEED TO BE INSTALLED ELSEWHERE COORDINATE WITH OWNER.**

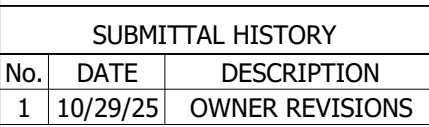
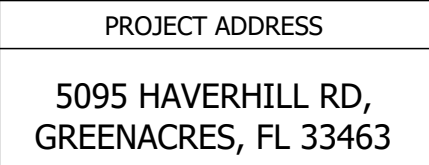
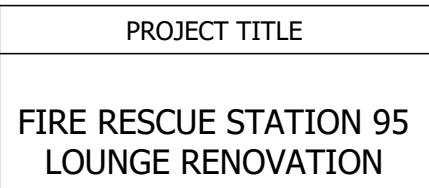
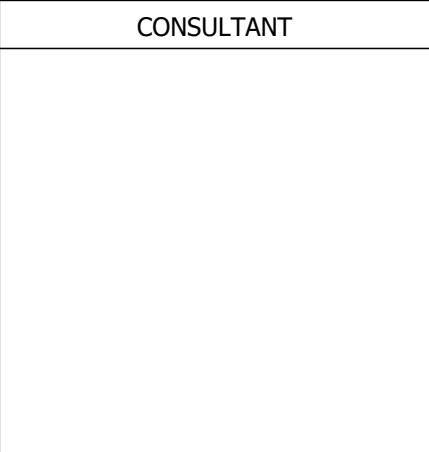
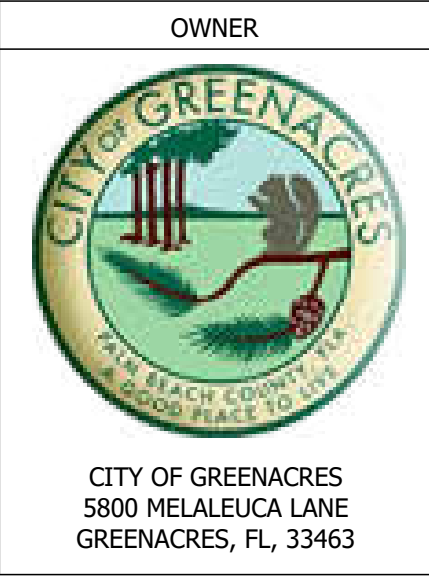
- BUILT FIREHOUSE TOUGH®  
SOLID-WOOD STORAGE LOCKER BED - TWIN HUNTINGTON  
MAPLE OR FINISH TO MATCH FURNITURE AT FR STATION 94  
PROVIDE 1 AT EACH LOUNGE
- SALSBURY INDUSTRIES MAPLE 12"W X 18"D X 72"H -  
HUNTINGTON MAPLE OR FINISH TO MATCH FURNITURE AT FR STATION 94 - PROVIDE 3 AT EACH LOUNGE
- BUILT FIREHOUSE TOUGH®  
SOLID-WOOD OPEN NIGHTSTAND WITH SIDE PANELS -  
HUNTINGTON MAPLE OR FINISH TO MATCH FURNITURE AT FIRE STATION 94 - PROVIDE 1 AT EACH LOUNGE
- WALL MOUNTED FLAT TV  
ONN 32" ROKU TV  
OUTLET AT 44" AFF. TV TO BE MOUNTED CENTER TO OUTLET.  
PROVIDE 1 AT EACH LOUNGE WITH TV MOUNT
- INTERIOR POCKET DOOR
- WALL SCONCE  
WAC LIMITED, METRO BATH & VANITY,  
WS-18120-30-BN
- ADA EXIT PUSH BUTTON  
BEA, SQUARE WITH TEXT AND LOGO, 10EMS4751  
MOUNTED AT FBC ADA COMPLIANT HEIGHT.

## DEMOLITION GENERAL NOTES

- ALL DEMOLITION WORK SHALL BE EXECUTED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ANY EXISTING BUILDING OR SITE ELEMENTS. EXTREME CAUTION SHALL BE EXERCISED TO INSURE THAT ABSOLUTELY NO DAMAGE OCCURS TO ITEMS WHICH ARE TO REMAIN, INCLUDING CONCEALED AND / OR SUBSURFACE ITEMS / UTILITIES. CONTRACTOR SHALL REPLACE OR REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES OR CLEANUP.
- THE CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY EXAMINE THE EXISTING CONDITIONS AND EXTENT OF THE WORK INVOLVED PRIOR TO BIDDING AND CONSTRUCTION.
- PORTIONS OF THE EXISTING BUILDING SITE MAY BE OCCUPIED DURING DEMOLITION WORK. CONTRACTOR SHALL MAINTAIN ALL REQUIRED EXITS AND LIFE SAFETY DEVICES DURING THE ENTIRE CONSTRUCTION PROCESS.
- REMOVE ALL FURNITURE AND EQUIPMENT FROM WORK AREA. COORDINATE WITH OWNER FOR STORAGE OF SALVAGEABLE ITEMS OR DISPOSAL.
- REMOVE EXISTING WALL MOUNTED DEVICES/LIGHTING, UNO. CONTRACTOR SHALL COVER ALL EXISTING WALL MOUNTED DEVICES THAT REMAINS, TO PROTECT FROM DUST AND DAMAGE.
- REMOVE FLOORING, BASE, AND ASSOCIATED ADHESIVE / SETTING MATERIALS. REPAIR SUBSTRATES.

## DEMOLITION KEYNOTES

- RELOCATE WALL MOUNTED PHONE. REFER TO NEW WORK PLAN FOR LOCATION.
- RELOCATE FIRE EXTINGUISHER. REFER TO NEW WORK PLAN FOR LOCATION.
- REMOVE FA STROBE AND PULL STATION. REFER TO ELECTRICAL DRAWINGS FOR NEW LOCATION.
- RELOCATE EMERGENCY WALL PACK LIGHT FIXTURE. REFER TO NEW WORK PLAN FOR LOCATION.
- REMOVE DOOR AND FRAME

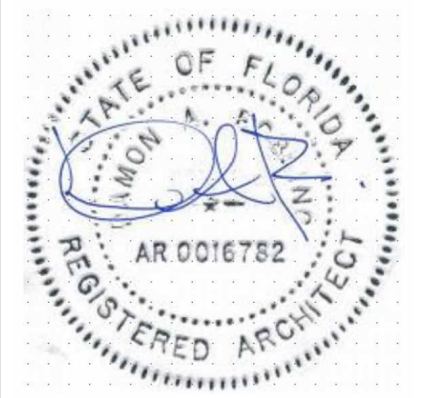


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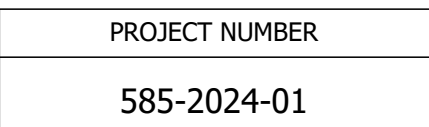
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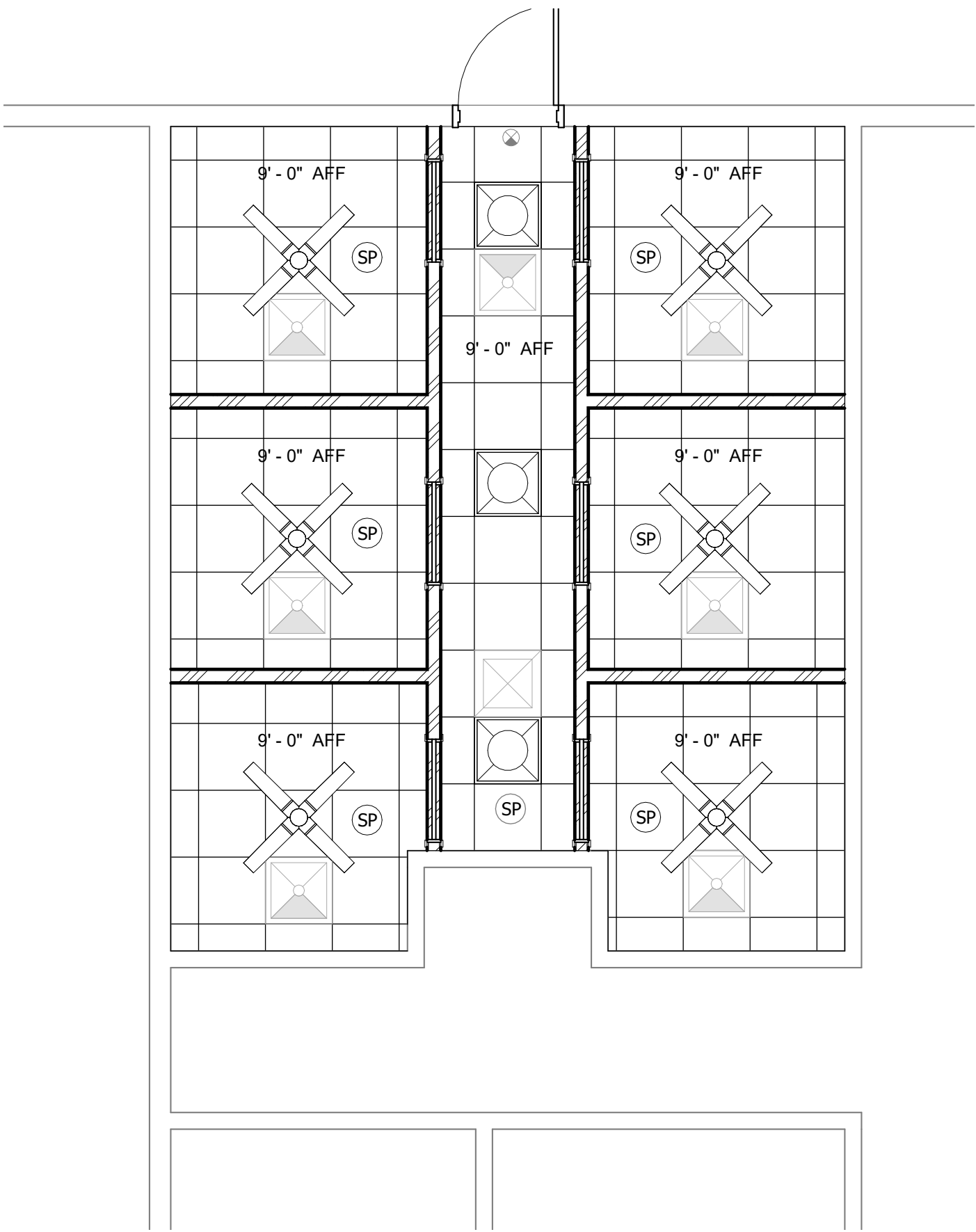
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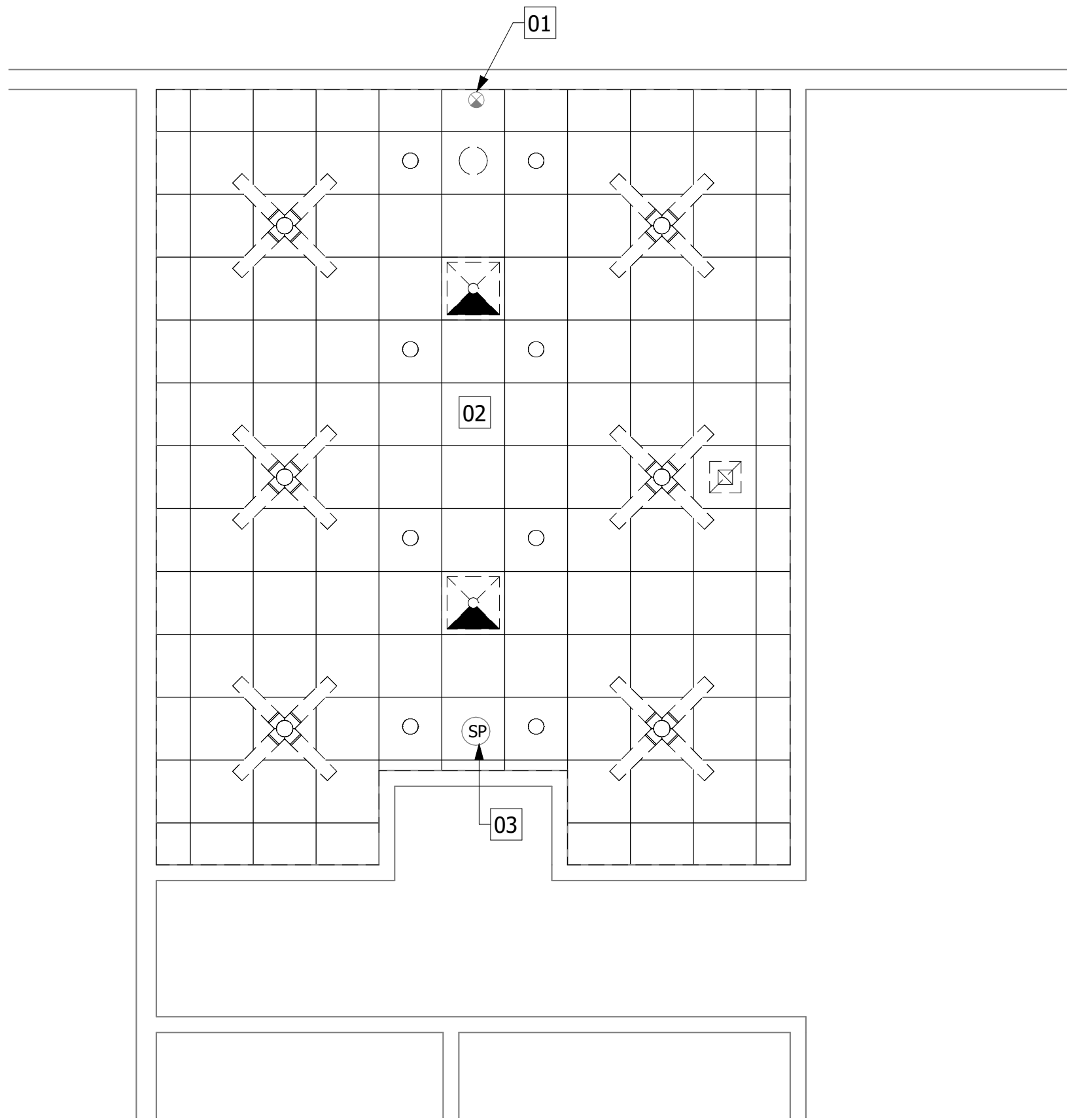
02 NEW WORK REFLECTED CEILING PLAN

1/4" = 1'-0"



01 DEMOLITION REFLECTED CEILING PLAN

1/4" = 1'-0"



## NEW WORK GENERAL NOTES

- ALL CEILING MOUNTED DEVICES, INCLUDING LIGHTS, HVAC REGISTERS AND EXHAUST FANS SHALL BE CENTERED IN THE TILE. ANY CONFLICTS SHALL BE REPORTED TO THE ARCHITECT UPON DISCOVERY. UNDER NO CIRCUMSTANCES SHALL ANY ITEM BE RELOCATED WITHOUT THE ARCHITECTS APPROVAL.
- REPAIR ANY DAMAGE TO EXISTING CONDITIONS OCCURRED DURING CONSTRUCTION.
- ALL CEILING FIXTURES SHOULD BE COORDINATED WITH MECHANICAL AND ELECTRICAL DRAWINGS TO AVOID CONFLICTS.
- CONTRACTOR TO COORDINATE VARIOUS TRADES TO AVOID ABOVE CEILING CONFLICTS.
- RELOCATE FIRE SPRINKLERS AS NEEDED TO ALIGN WITH THE NEW WORK PLAN. REFER TO FIRE PROTECTION DRAWINGS.
- INSTALL NEW LIGHT FIXTURES, REFER TO LEGEND BELOW.
- INSTALL NEW CEILINGS AS SCHEDULED. REFER TO SHEET A1.1 FOR FINISH SCHEDULE AND LEGEND.
- COORDINATE WITH MEP PLANS FOR ADDITIONAL CEILING MOUNTED DEVICES

## NEW WORK RCP LEGEND

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REQUIRED EQUIPMENT, WIRING, AND ASSOCIATED COMPONENTS NECESSARY TO ENSURE PROPER FUNCTIONALITY, IN ACCORDANCE WITH THE INTENDED DESIGN AND THE SPECIFIC REQUIREMENTS PROVIDED BY THE END-USER.

- EXISTING CEILING MOUNTED ILLUMINATED EXIT SIGN
- HOMMEE 52 IN. INDOOR MATTE BLACK LOW PROFILE CEILING FAN WITH INTEGRATED LED LIGHT KIT.
- DAY-BRITE FLUX PANEL SELECTABLE LED 2X2 RECESSED LIGHT
- CEILING MOUNTED SPEAKER FOR EACH ROOM WITH VOLUME CONTROL SPECO TECHNOLOGIES MODEL SPG66TC. 18 AWG STANDARD OR BETTER SPEAKER WIRE SHOULD SUFFICE.

## DEMOLITION GENERAL NOTES

- REFER TO MEP FOR ADDITIONAL INFORMATION.
- REMOVE LAY-IN CEILING TILE AND GRID, CEILING MOUNTED DEVICES AND LIGHTING, UNO. CONTRACTOR SHALL COVER ALL EXISTING CEILING MOUNTED EQUIPMENT THAT REMAINS, TO PROTECT FROM DUST AND DAMAGE.

## DEMOLITION KEYNOTES

- 01 CEILING MOUNTED, ILLUMINATED EXIT SIGN TO REMAIN.
- 02 ABOVE CEILING INSULATION TO REMAIN.
- 03 CEILING MOUNTED SPEAKER TO REMAIN.

X

OWNER



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ARCHITECT



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CONSULTANT

PROJECT TITLE

FIRE RESCUE STATION 95  
LOUNGE RENOVATION

PROJECT ADDRESS

5095 HAVERHILL RD,  
GREENACRES, FL 33463

SUBMITTAL HISTORY

No.	DATE	DESCRIPTION
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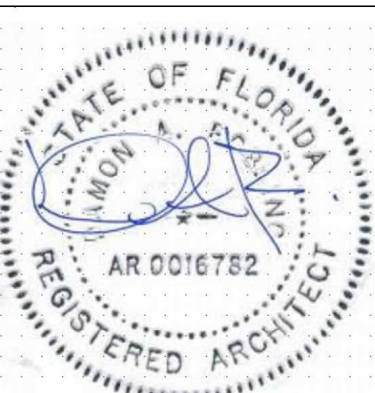
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CONSTRUCTION, INC.



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PROJECT NUMBER

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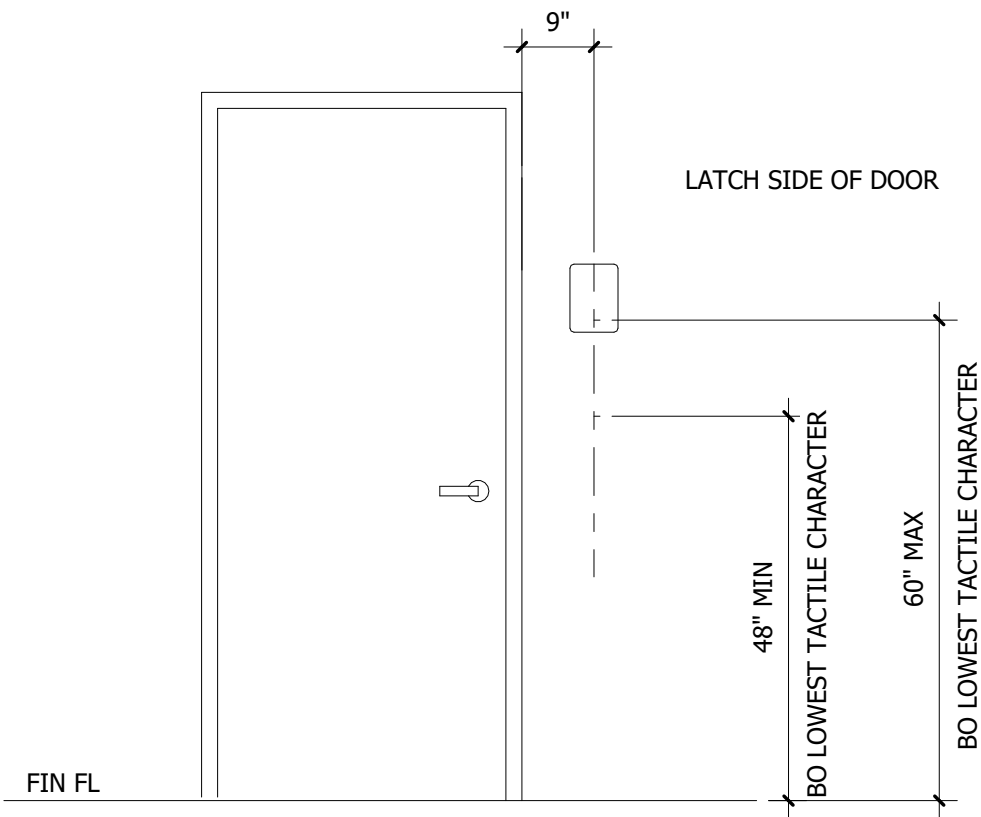
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REFLECTED CEILING  
PLANS

SHEET NUMBER

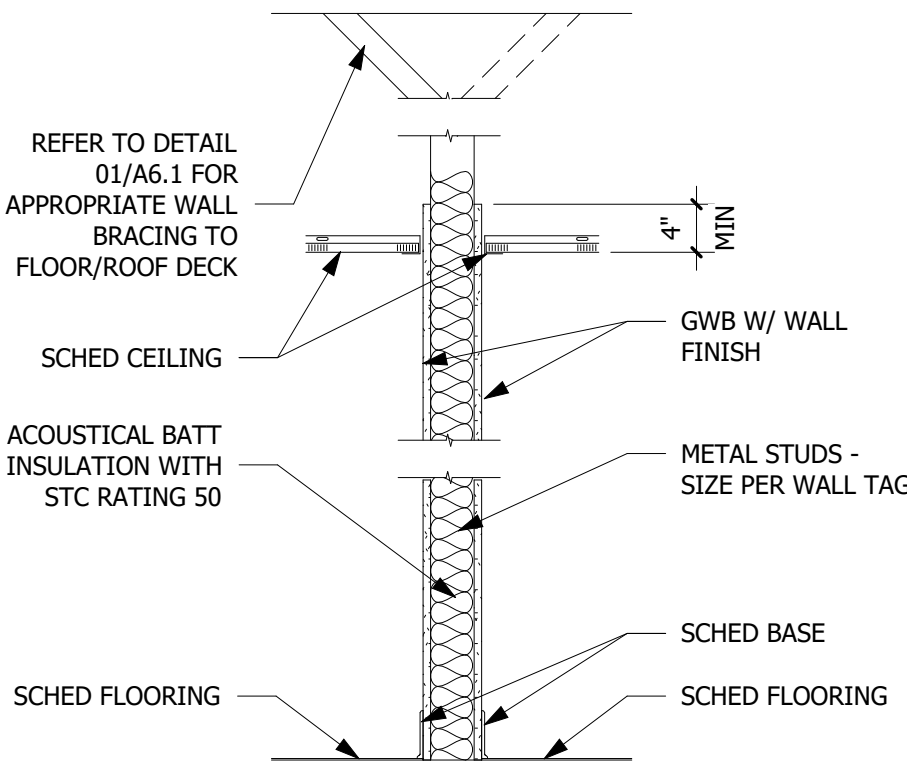
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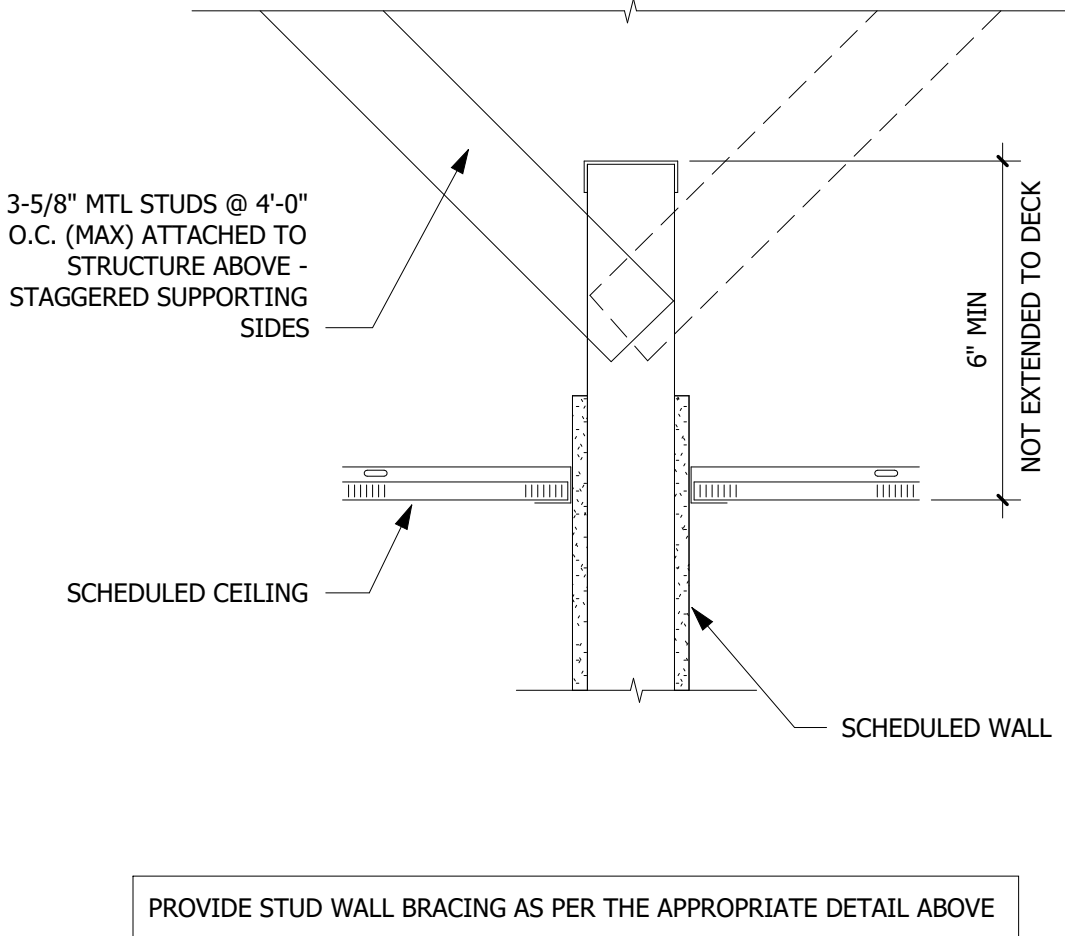
## 04 WALL MOUNTED SIGNAGE

1/2" = 1'-0"



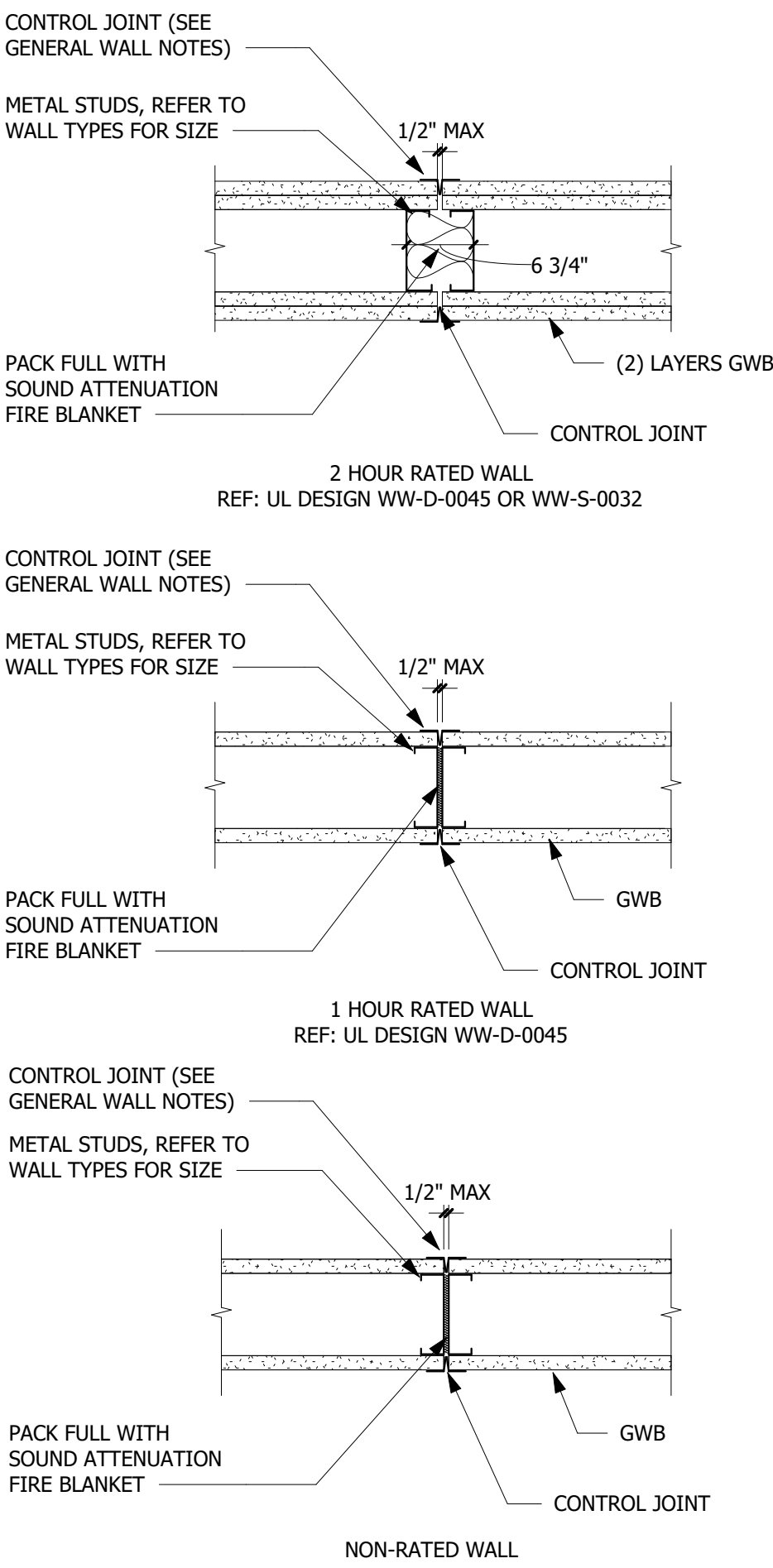
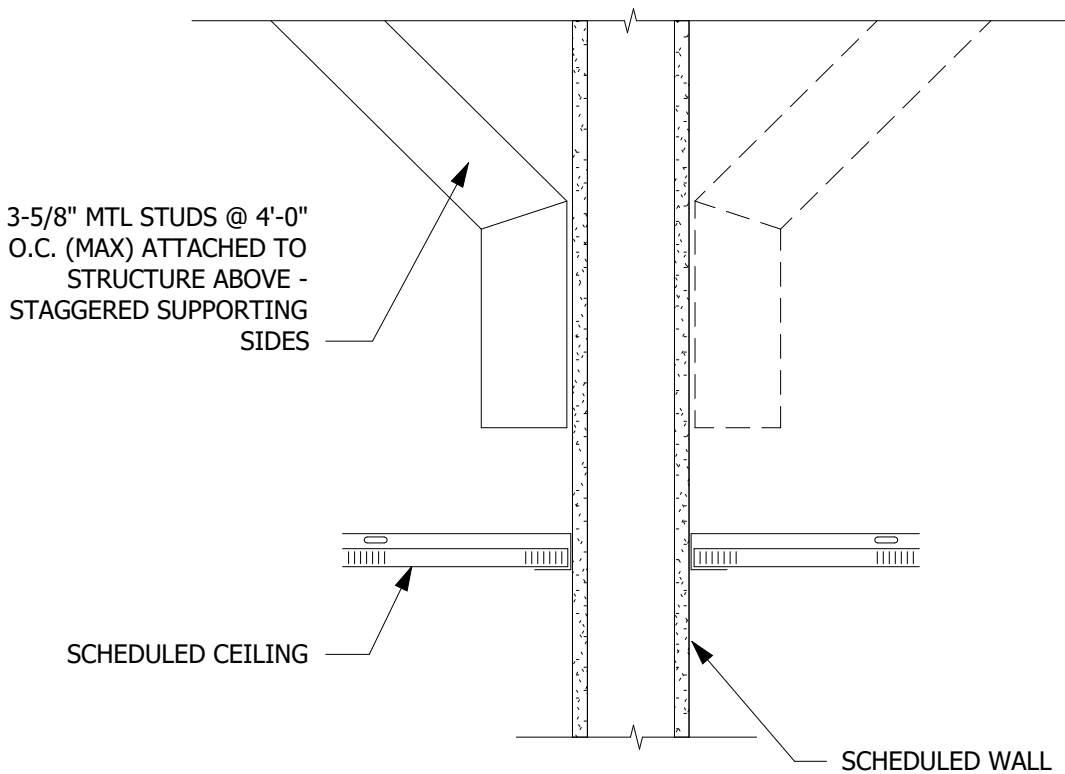
## 03 WALL TYPE P-1

3/4" = 1'-0"



## 01 WALL BRACING

3/4" = 1'-0"



## 02 WALL CONTROL JOINTS

3/4" = 1'-0"

## ROOM SIGNAGE NOTES

- ALL NEW SIGNS SHALL MATCH EXISTING SIGNS. COORDINATE WITH OWNER.
- SIGNAGE COLOR SAMPLES SHALL BE SUBMITTED FOR OWNER'S AND ARCHITECT'S APPROVAL.
- ALL DOOR SIGNS TO HAVE BRAILLE INSCRIPTIONS. LETTERS, NUMBERS AND CARICATURES TO BE RAISED 1/8" MIN. FONT TYPE TO BE ARIAL, UNO.
- SUBMIT SHOP DRAWINGS FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO MANUFACTURING.
- ALL SIGNS TO MEET A.D.A. AND FLORIDA ACCESSIBILITY CODE REQUIREMENTS.
- ROOM NUMBER SEQUENCE TO BE VERIFIED BY OWNER. ROOM NUMBERS DOES NOT HAVE TO MATCH WITH ARCHITECTURAL PLAN ROOM NUMBERS.

## GENERAL NOTES

- THESE WALL & PARTITION TYPES ARE DIAGRAMMATIC IN NATURE REFER TO BUILDING SECTIONS AND FIRE RESISTIVE DESIGNS FOR ADDITIONAL INFORMATION.
- WALL TAG DESIGNATION IS INTENDED TO INDICATE WALL TYPE ALONG AN ENTIRE WALL PLANE AND/OR SURFACE ALONG THE FULL LENGTH OF A SPACE OR CORRIDOR INCLUDING ASSOCIATED ALCOVES AND NICHES, UNLESS INDICATED OTHERWISE.
- REFER TO LIFE SAFETY PLANS FOR LOCATION AND FULL EXTENT OF FIRE RATED WALLS, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL WALL RATINGS (AS APPLICABLE).
- WALL FINISH TO EXTEND 4" ABOVE CEILING MINIMUM (UNO).
- IF A CEILING IS NOT REQUIRED IN A SPACE, CONTRACTOR SHALL CONTINUE WALL FINISH TO DECK ABOVE.
- INSULATION SHALL BE ENCAPSULATED BY GWB IN A PLENUM.
- INSULATION PERMITTED TO BE EXPOSED IN A CONCEALED SPACE SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25.
- LOCATE CONTROL JOINT FOR EVERY 30' OF UNINTERRUPTED STRAIGHT WALL OR SOFFIT. LOCATE CONTROL JOINT IN CEILINGS OVER 50' LONG OR 2500 SF. CONTRACTOR TO SUBMIT PROPOSED CJ LAYOUT TO ARCH IF NOT SPECIFICALLY DETAILED IN THESE DRAWINGS.
- PROVIDE CEMENT BOARD TO 5'-0" (MIN) AT ALL WET LOCATIONS. ALL GWB IN WET LOCATIONS TO BE MOLD / WATER RESISTANT.
- WALLS AND PARTITIONS WITHIN 2 FEET (610 MM) OF SERVICE SINKS, URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF NOT LESS THAN 4 FEET (1219 MM) ABOVE THE FLOOR, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE PER FBCB - 1210.2.2 (EPOXY PAINT OR FRP).

## PARTITION NOTES

- NON-BEARING STUD WALLS ONLY. SEE OTHER DETAILS FOR BEARING WALLS.
- ALL STUDS SHALL BE 22 GA (0.283 INCHES) MINIMUM UNLESS UNO. USE SAME GAUGE RUNNERS AND TRACKS AS STUDS. **SEE STUD SCHEDULE FOR THICKNESS AND GALVANIZATION REQUIREMENTS.**
- PROVIDE DOUBLE 18 GA STUDS AT WINDOW AND DOOR OPENINGS.
- TYPICAL FASTENER, STEEL STUDS TO STEEL STUDS OR TRACKS: #8-18 X 1/2" TEKS 2 WITH PHILIPS PAN HEAD FOR 22 GA. #10-16 X 9/16 TEKS 3 WITH PHILIPS PAN HEAD FOR INTERCONNECT OF 18 GA OR 20 GA.
- STEEL STUDS OR TRACKS TO STRUCTURAL STEEL (TUBE STEEL, WIDE FLANGE COLUMNS, BEAMS, GIRDERS, ETC.); TEKS 3 OR TEKS 4 - GAUGE AND LENGTH AS REQUIRED FOR THE COMBINED THICKNESS OF THE FRAMING TO BE DRILLED.
- METAL TRACK TO CONCRETE: FASTENED TO CONCRETE W/ 3/16" X 1 3/4" EMBEDMENT TAPCONS AT 16" O.C.
- METAL TRACK TO METAL DECK: #8-18 X 1/2" TEKS / 2 WITH PHILIPS PAN HEAD AT 16" O.C.
- GWB TO STEEL STUDS: #7 X 1 1/4" HI-LO TYPE S BUGLE HEAD SCREWS FOR 3/8" - GWB TO 22 GA OR 20 GA STUDS. #6 X 1 1/4" TYPE S-12 BUGLE HEAD SCREWS FOR 3/8" - 5/8" TO 18 GA OR 16 GA STUDS OR TRACK.
- AT PARTITIONS HIGHER THAN 12'-0", PROVIDE HORIZONTAL LATERAL BRACING W/ 1 1/2" 16 GA COLD-ROLLED CHANNELS AT 8'-0" VERT ANCHORED TO STUDS.
- ALL CONSTRUCTION SUPPORTED BY ROOF STRUCTURE SHALL BE SUPPORTED BY TOP CHORD OF STRUCTURAL JOISTS AND NOT FROM METAL DECK.
- FRAMING AT SHOWERS AND DOOR JAMBS SHALL BE 20 GA. MINIMUM.

## RATED WALL NOTES

- RATED STEEL STUD PARTITION WALLS AND WALL EXTENSIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH UL, GA, W-H, OR FM DESIGN NUMBERS.
- ALL JOINTS & PENETRATIONS OF RATED STEEL STUD PARTITION WALLS AND WALL EXTENSIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SYSTEMS INDICATED.
- ALL JOINTS & PENETRATIONS OF RATED MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SYSTEMS INDICATED.
- ALL JOINTS & PENETRATIONS OF RATED FLOOR / CEILING ASSEMBLIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SYSTEMS INDICATED.
- ALL ALTERNATE PENETRATION, JOINTS, HEAD OF WALLS, AND PROTECTION SYSTEMS MUST BE TEST CERTIFIED AND SUBMITTED FOR REVIEW AND APPROVAL.
- PROVIDE 1 HOUR FIRE RATED CONSTRUCTION AND OPENING PROTECTIVES AT ELECTRICAL ROOM WALLS WHEN CONTAINING TRANSFORMER W/ LOAD EXCEEDING 112.5 KVA PER NEC / NFPA 70 SECTION 450 WHETHER OR NOT IT IS INDICATED ON THE PLANS.

## LEGEND

- P = PARTITION  
W = MASONRY/ CONC. WALL  
C = CHASES  
K = LOW PARTITION WALL / KNEE WALL  
F = FENCE OR MESH PARTITION  
E = EXISTING W/ NEW COMPONENTS
- WALL TYPE DETAIL NUMBER
- INDICATES METAL STUD OR MASONRY / CONC. THICKNESS:  
METAL: E = EXISTING (VIF)  
4 = 3-5/8" STUDS  
6 = 6" STUDS  
8 = 8" STUDS  
CMU / CONC: E = EXISTING (VIF)  
4 = 4"  
8 = 8"  
12 = 12"
- IF SUFFIXED BY AN 'A' IT SHALL BE AN INSULATED PARTITION WITH INSULATION AS INDICATED IN DETAIL (UNO).
- 1  
P1.4.A
- "K" SERIES PARTITIONS ONLY: VALUE SHOWN INDICATES TOP OF WALL HEIGHT AFF IN FEET AND INCHES
- INDICATES WALL HOURLY FIRE RATING



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ARCHITECT



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CONSULTANT

PROJECT TITLE

FIRE RESCUE STATION 95  
LOUNGE RENOVATION

PROJECT ADDRESS

5095 HAVERHILL RD,  
GREENACRES, FL 33463

SUBMITTAL HISTORY

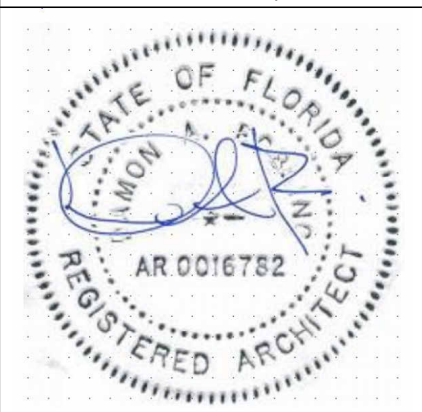
No. DATE DESCRIPTION

THE DRAWINGS AND SPECIFICATIONS INCLUDED OR REFERENCED HEREIN SHALL BE USED AS A COMPLETE SET AND SHALL NOT BE SEPARATED INTO INDIVIDUAL SHEETS OR BY DISCIPLINE.

INFORMATION CONTAINED ON ONE SHEET MAY SPECIFICALLY APPLY TO INFORMATION OR CONDITIONS ILLUSTRATED ON OTHER SHEETS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT SUCH ITEMS ARE COORDINATED AND INCLUDED IN ANY PRICING INFORMATION.

FIELD VERIFY AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS FROM THE PLANS AND / OR SPECS PRIOR TO CONSTRUCTION

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CONSTRUCTION, INC.



DIGITAL SEAL

PROJECT NUMBER

585-2024-01

SHEET TITLE

MISCELLANEOUS DETAILS

SHEET NUMBER

A6.1

